

**SPRINGDALE PLANNING COMMISSION
COUNCIL CHAMBERS
5:00 P.M.
201 SPRING
AUGUST 4, 2015
Agenda**

**I. Pre-Meeting Activities
Pledge of Allegiance
Invocation**

II. Call to Order

III. Roll Call

IV. Approval of Minutes (July 7, 2015)

V. Tabled Items

**A. R15-20 Daniel J. Lewis for
Signature Bank of Arkansas
From A-1 to C-6, C-2 & O-1
Presented by Melvin Milholland, P.E.**

**B. B15-31 Bank of the Ozarks
2773 & 2755 W. Sunset Avenue
A) Variance of distance between driveways
B) Variance for modification of Commercial
Design Standards
Presented by Crafton Tull**

VI. Public Hearing – Rezoning

**A. R15-21 Capho Investments, LLC
NW corner of Wagon Wheel Road
Acuff Drive
From A-1 to C-2
Presented by Bates & Associates**

VII. Public Hearing – Conditional Use

**A. C15-11 DarrellAnn Wise
7954 W. Miller Road
Use Unit 8 (Single Family Dwellings)
In A-1
Presented by Clifton Wise**

VIII. Preliminary Plats, Replats & Final Plats

- A. RP15-04 Replat of Lots 13-14 & 15
Industrial Park II, Phase III
N. side of Turnbow Ave., E.
Of Bain Street**
Presented by Engineering Services, Inc.

IX. Large Scale Developments

- A. L15-11 Advanced Monitoring Systems
SW corner of E. Wagon Wheel &
Acuff Drive**
Presented by Bates & Associates

- B. L15-12 Miller Commercial
SW corner of Dixie Industrial &
N. 40th Street**
Presented by Engineering Services, Inc.

- C. L15-13 American Tubing
E. of Bain, N. of Turnbow Ave.**
Presented by Engineering Services, Inc.

X. Board of Adjustment

- B15-29 Harris International Labs
2078 Ford Avenue**
Variance for modification of landscaping requirements
Per Chapter 56
Presented by Springdale Chamber of Commerce

- B15-37 RC Eastview, LLC
1945 Butterfield Coach Road**
Variance for offsite sign
Presented by Justin Williams

- B15-38 Darrellann Wise
7956 W. Miller Road**
Variance for reduction of side
Setback from 20' to 7'
Presented by Clifton Wise

B15-36 **Eric & Katlyn Siebert**
SE corner of Don Tyson Parkway
And Highway 265
Variance for reduction of required parking
Spaces from 3 to 2
Presented by Eric or Katlyn Siebert

XI. Waivers

W15-02 **Luis De La Torre**
9633 E. Brown Road
Waiver of sidewalk requirement
Presented by Luis De La Torre

W15-03 **Joshua & LeAnn Girshner**
4457 Bel Air Road
Waiver of sidewalk requirement
Presented by Joshua or LeAnn Girshner

W15-04 **Springdale Water Utilities**
Wager Drive and Kelly Road
Waiver of street improvements, pavement, curb
And gutter, and sidewalks
Presented by McGoodwin, Williams & Yates

XII. Other

L14-22 **Sam's Club**
SW corner of I-49 & W. Sunset Avenue
Request a one (1) year extension to begin construction
Presented by Stephen Giles

XIII. Planning Director's Report

XIV. Adjourn

The Springdale Planning Commission met in regular session on Tuesday, July 7, 2015 at 5:00 p.m. in the City Council Chambers.

Prior to the meeting being called to order, Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Bob Arthur gave the invocation.

The meeting was called to order by Chairman Parsley at 5:01 p.m.

Roll call was answered by:	Bob Arthur – Vice-chairman
	Gary Compton
	Roy Covert
	Joe Dunn
	Charles Gaines
	Vivi Haney – Secretary
	Kevin Parsley – Chairman
	Brian Powell

Also in attendance were Ms. Patsy Christie, Director of Planning and Community Development Division, Clayton Sedberry, GIS and Planning Coordinator for Planning and Ms. Sara Sparkman, Assistant City Attorney.

Commissioner Mitch Miller was not in attendance.

Ms. Haney moved to approve the June 2015 minutes. Mr. Dunn seconded the motion. By a voice vote of all ayes and no nays the June 2015 minutes were approved.

Public Hearing

A. Proposed amendment to the Master Street
Plan to remove extension of Electric Avenue
As a minor collector from Butterfield Coach Road
East to Habberton Avenue.
Presented by Ms. Patsy Christie

Ms. Christie said this is the year to review the Master Street Plan and to propose any changes to be made. She said the only proposed change they have looked at this year is the proposed extension of Electric Avenue from Habberton to Hylton would be changed so that it aligns with Julio Road and in conjunction with development with property in that area.

She further stated they had a work session/public input meeting in May. No one attended the meeting. She stated too that this is a public hearing and can entertain comments from the audience.

Ms. Christie said that if there were no comments the proposal can be moved forward to Council for approval.

Mr. Parsley asked if there were any questions or comments from the audience.

There were none.

Ms. Haney moved to forward to Council with a recommendation for approval. Mr. Parsley seconded the motion.

VOTE:

YES: Arthur, Covert, Dunn, Gaines, Haney, Parsley, Powell

NO: None

RECUSE: Compton

The motion was approved by a vote of seven (7) yes and one (1) recusal.

Ms. Christie stated for the record that this recommendation would be forwarded to council on July 14, 2015.

Tabled Items

- A. C15-10 Lidia Estupinian
812 N. Thompson
Use Unit 42 (Church/Synagogue)
In a C-2 zone
 Presented by Lidia Estupinian

Ms. Estupinian was present to answer any questions or comments.

Ms. Estupinian introduced herself and stated that she was the pastor of the church at 812 N. Thompson.

Ms. Christie asked her what she was currently doing at that location.

Ms. Estupinian said she isn't doing anything at the location at this time.

Ms. Christie asked where the church was operating at this time.

Ms. Estupinian stated they are not operating at this time because they have no place to hold services.

Ms. Christie read the Staff comments.

Acceptable Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

Unacceptable Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

No dedicated parking

Acceptable Refuse and service areas, with particular reference to the item in 1 and 2 above.

Acceptable Utilities, with reference to locations, availability and compatibility.

Acceptable Screening and buffering with reference to type, dimension and character.

Unknown Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.

N/A Yard requirements and other open space requirements.

Acceptable The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.

N/A Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.

Unacceptable General compatibility with adjacent properties and other property in the general district. **No dedicated parking, hours of operation not indicated.**

Ms. Christie stated that there was no dedicated parking and that presents the problem as there are other tenants at this address.

Ms. Christie asked what the hours of operation would be.

Ms. Estupinian said they would be open Fridays from 7:00 p.m. and Saturdays 7:00 p.m. and Sundays 2:00 p.m.

Ms. Christie asked how long the services would last.

Ms. Estupinian stated the services on Friday and Saturday would be from 7:00 to 10:00 p.m. and on Sunday 2:00 p.m. to 6:00 p.m.

Ms. Christie asked if she would have services on Monday through Thursday.

Ms. Estupinian stated she would not.

Ms. Christie said the other condition that would have to be met would be that her church would have to meet the City's noise ordinance.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Compton stated Ms. Estupinian indicated that there would not be any services Monday through Thursday but he wanted to know if there would be any activities on those days.

Ms. Estupinian stated said no.

Mr. Compton reiterated the question concerning no activities at the church Monday through Thursday.

Ms. Estupinian she said at this time they do not have any activities planned but hopefully will be able to open the doors during those days at a later date because of the need of the people she is trying to reach.

Mr. Parsley asked how many people she was talking about.

Ms. Estupinian said she didn't have a number at this time. At this time people are calling her and she is going to visit them but she would like, in the future, to be able to open the doors to her church every day.

Ms. Christie asked, as a follow-up on Mr. Compton's question, if she intended sometime in the future to open the doors during the week for people to come in for counseling, assistance, etc. She asked if she would be handing out food; what did Ms. Estupinian mean by providing help to people.

Ms. Estupinian said clothes, food, etc.

Ms. Christie asked if she should get to that point, what would the hours of operation be.

Ms. Estupinian said not too long, maybe four hours.

Ms. Christie said the reason the commission needs to know, is because there are other businesses in the building and they need the parking spaces so that they can operate. She stated that they need to know the hours of operation during the week if it gets to that point.

Ms. Estupinian said that Saturday is the best day for her from around 11:00 a.m. to 4:00 p.m.

Ms. Christie stated that at this point, it seems as though Ms. Estupinian does not have a plan for an open door policy for those who come in for assistance.

Ms. Christie said that Ms. Estupinian could possibly have it open Monday through Friday to offer assistance to those that needed it.

Ms. Haney asked what the occupancy was for the church.

Mr. Duane Miller, Springdale Fire Marshall, said that it is over 50 but he wasn't sure how many over 50 it would be. He did say that because it was over 50 they were required to have two exits.

Mr. Covert called for the vote.

VOTE:

YES: None

NO: Compton, Covert, Dunn, Gaines, Haney, Parsley, Powell, Arthur

The conditional use was denied by a unanimous vote.

Ms. Christie stated for the record that Ms. Estupinian could appeal the planning commission's decision in writing to the City Clerk's office within fifteen (15) days. In the appeal she must state why she feels the commission erred in their decision and must also re-notify the adjacent property owners.

- B. L15-07 Whataburger
NW corner of Elm Springs Road
And 40th Street
- B15-30 Variance for Modification of Commercial
Design Standards
Presented by Crafton Tull

Mr. Daniel Ellis with Crafton Tull was present on behalf of his client to answer any questions or comments.

Mr. Ellis said this will be the third Whataburger being built in Northwest Arkansas. He further stated that the variance is for the commercial design standards for the landscape foundation. Rather than putting landscaping around the foundation of the building. The prototypical design of the Whataburger makes it problematical to add the landscaping to the foundation. They are proposing to put in several planters and try to accomplish the same effect.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Planning Comments

- 1) Interior parking area landscaping is required in accordance with Chapter 56. Show the total area of the parking lot, the percentage of landscaping required and the percentage of landscaping provided. Include a drawing that identifies all areas included in the calculations.
- 2) All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
- 3) This development must comply with the City Of Springdale Commercial Design Standards or a variance is required.
- 4) Provide easement documents for all shared access.

Commercial Design Standards Comments

- 1) All sides of a principal building that directly faces an abutting public right-of-way shall feature at least one customer entrance unless, the principal building directly faces more than 2 abutting rights-of-way then only 2 entrances are required, one along the primary street and one along a secondary street.
- 2) A 5' wide sidewalk along the full length of the building along any side that features a customer entrance is required. This sidewalk shall be setback from the building foundation at least 6' to provide areas for foundation landscaping.
- 3) Foundation landscaping is required.
- 4) Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meter shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture.
- 5) All rooftop equipment shall be screened from public view with an architectural treatment that is compatible with the building architecture.

Engineering Comments

- 1) **The concept of detention** must be approved by the Planning Commission.
 - a. A drainage easement is required to allow permanent access to and use of the offsite detention pond.
- 2) ***DCM Section 5.4.10*** "An easement shall be provided in Plans for detention facilities. A minimum 20' wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system." Ownership of the detention facility will remain with the land .
3. Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/departments/planning_and_community_development/

Mr. Parsley asked if there were those in the audience that had any questions or comments.

Ms. Susan Meyer who is the property manager for A J Discount Storage which will be located behind the Whataburger when it is built spoke. She said their main concern is the shared driveway that goes from Elm Springs Road to A J Storage. She wanted to know if it was going to be shared with Whataburger.

Ms. Christie said Mr. Ellis indicated that there was already a dedicated access easement that Whataburger can use. They will be using the west side drive which is the one that goes back to the storage units.

Ms. Christie asked about the storage sign.

Mr. Ellis stated that the current owner wanted it to stay.

Ms. Christie said Staff would need an easement agreement for that sign to remain before a C of O would be issued.

Mr. Arthur moved to approve the concept of detention. Mr. Powell seconded it.

VOTE:

YES: Covert, Dunn, Gaines, Haney, Parsley, Powell, Arthur, Compton

NO: None

The concept of detention was approved by a unanimous vote.

Mr. Powell called for the vote for the variance.

VOTE:

YES: Dunn, Gaines, Haney, Parsley, Powell, Arthur, Compton, Covert

NO: None

The variance was approved by a unanimous vote.

Ms. Haney moved to approve the large scale development subject to Staff comments. Mr. Powell seconded the motion.

VOTE:

YES: Gaines, Haney, Parsley, Powell, Arthur, Compton, Covert, Dunn

NO: None

The large scale development was approved by a unanimous vote subject to Staff comments.

Public Hearing – Rezoning

- A. R15-19 Donna Lockett Wilson
787 N. 40th Street
From SF-2 to C-2
Presented by Amy Hutcheson, Jeff Whitmer, Anna Isfalt

Mr. Jeff Whitmer with Lindsey and Associates was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates commercial use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Encourage the development of a wide range of commercial development for the residents and tourists to include neighborhood, community and regional centers.

Mr. Parsley asked if there were those in the audience with any comments or questions.

There were none.

Mr. Powell called for the vote.

VOTE:

YES: Haney, Parsley, Powell, Arthur, Compton, Covert, Dunn, Gaines

NO: None

The rezoning was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, July 28, 2015 at 6:00 p.m.

B. R15-20 Daniel J. Lewis for Signature Bank
3572 Parsons Road
From A-1 to C-2 & C-6
By Melvin Milholland, P.E.

Mr. Milholland was present on behalf of his client to answer any questions or comments.

Ms. Christie asked why his client wanted both a C-2 and a C-6 zone.

Mr. Milholland said the front part would be for large truck maintenance (C-6) and the back part (C-2) would be sales for truck parts, which would be complementary to the front (C-6) part.

Ms. Christie asked if the truck parts would be sold in a new warehouse storage facility. She said it wasn't for used parts or a place to store vehicles and salvage parts off of them.

Mr. Milholland said it was strictly for new parts.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted comprehensive Land Use Plan indicates Low Density Residential use.

The C-2 zoning classification would provide a better buffer to the residential areas to the east and south and it is recommended that the C-6 be downgraded to C-2 in keeping with the following goals and policies.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Encourage the development of light to medium-intensity commercial development along arterial streets that provide adequate setbacks and buffering to adjacent residential neighborhoods.

She said the C-6 zoning classification itself is for large product retail sales district that is usually seen along major highways. She said this area is not a major access point. It is a very intense commercial use and that is not the type of area that district is seen in, therefore her recommendation is that it all be zoned to a C-2.

Mr. Parsley asked if there were those in the audience that had questions or comments.

Ms. Cheryl Renner spoke. She lives at 3537 Parsons directly across the street from the zoning request. She said her questions were: what are the hours of operation, what is the noise factor? She said that they can already hear the noise from JV Manufacturing. She also wanted to know if there would be bright lights late at night and how that would impact her and the neighbors sleep.

Ms. Christie said that when the commission rezones something, in this C-6, anything that is allowed in a C-6 can go in. She said that a C-6 zoning classification is considered a large product retail sales district and the permitted uses are:

1. Automotive Services
2. Parking Lot
3. Automobile Sales
4. Automotive, machinery and equipment open display retail sales

And by conditional use:

1. Utility facilities
2. Commercial large sites
3. Self-supporting tower, antenna structure or monopole
4. Automobile sales-damaged vehicles
5. Mobile vending site

She further stated there is nothing in the zoning regulations that would restrict the number of hours.

Ms. Renner stated they could operate 24 hours per day.

Ms. Christie said if they create noise problems and/or in violation of the noise ordinance it can be handled.

She further stated that if they get the rezoning, they must come back before the commission with a large scale development plan that shows how the property will be developed.

She also stated what is allowed in a C-2 zone.

1. Cultural, recreational and health
2. Offices, studios and related services
3. Eating places
4. Neighborhood shopping goods
5. Shopping goods
6. Trades and services
7. Automotive services
8. Parking lot
9. Temporary buildings and/or storage
10. Transportation services
11. Health care clinic
12. Flea market, indoor

Ms. Renner stated that she is opposed to the rezoning.

Ms. Annie Bean, who lives at 5553 (?) Parsons Road stated that she was also opposed to the rezoning.

Mr. Powell asked if the applicant would consider anything else but a C-6.

Mr. Milholland had a gentleman present that could address his question.

Mr. Milholland's client said if they could accomplish what their intentions are in a different zoning, he would be more than willing to accommodate that request. He is trying to repair semi-trucks, class 8, and 80,000 pound vehicle. He further stated because C-6 calls for large retail, people might assume they were going to build some type of manufacturing equipment. He said they would not be manufacturing any trucks, they are just repairing them. He said that if that can be done in a C-2 then he would be happy to comply with the request to downgrade the C-6 part to C-2.

Mr. Powell stated there would be no manufacturing just repair.

The client stated they would be just repair and that there would also be sales of parts that go into the vehicles that are being repaired.

Ms. Christie stated that a repair service is not allowed in a C-2. She said it would have to be a C-6 in order to operate a repair service at that location. She further stated as a reminder, that the gentleman has very good intentions of what he wants to do. The commission would not be rezoning it just for him or just for that use; because once it is rezoned anything allowed in that zone can go in there.

Ms. Haney pointed out that is a large piece of land so the amount of trucks that could be going in and out could be quite numerous.

Mr. Parsley asked if it was just truck repair or trailer repair as well.

The client said it would be repairing commercial equipment.

Ms. Haney said they would be coming into a residential area with large vehicles.

He said his plan is for hours of operation to be 8:00 a.m. to 5:00 p.m.

Mr. Gaines asked why that particular property was chosen.

The client said they would have Butterfield Coach Road coming up from Highway 412 which makes access to the property convenient for semi-trucks and the price was reasonable.

A gentleman, who did not give his name, stated when he has been in that area, it has a feel of being residential and in his opinion not suitable for commercial endeavors. He said his office is on Butterfield Coach so he knows the area well.

Ms. Christie asked if would be possible to go back and look at a smaller part of this area going to C-6 and using the rest as a buffer to the residential area. She said that would have less of an impact on the area rather than rezoning the 13+ acres to C-6.

She further stated that if it is denied and they wanted to come back with a smaller portion to be rezoned she wasn't sure if the commission would be able to hear it. Usually when a rezoning is denied, the applicant must wait a year before they can apply for another one.

Mr. Covert stated that although he is only one vote, he would prefer to see the request tabled rather than move forward with the possibility of it being denied.

Mr. Milholland stated his client wanted the rezoning tabled.

Ms. Christie reminded Mr. Milholland and his client that it can only be table one time and then the process has to start all over.

Preliminary Plats, Replats and Final Plats

- A. RP15-03 Replat of Lot 3 – Diesel Downs
 End of 45th Street, east side
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services was present on behalf of his client to answer any questions or comments. He said his client is taking Lot 3 and cutting it into two lots.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

- 1. All comments from the utility companies and other city departments must be addressed prior to approval.

Mr. Parsley asked if there were those in the audience that had any questions or comments.

Mr. Marlin Wallace who lives at 4810 Wildwood Lane stated he had the property just to the east of the requested replat.

He wanted to know if the property had sold and wanted to know who the players were in the scheme of things.

Mr. Appel stated the property is currently owned by ACME Brick Company.

Ms. Christie said they were actually replating it from the existing lot to two different lots.

Mr. Brian Moore with Engineering Services stated that technically it is one lot but when it went back to the bank there was a court order for it to be two lots. He further stated that when the property was financed years ago, it was financed by two banks. When it went to receivership the courts divided it into parcels and gave each bank a parcel.

Ms. Haney moved to approve the replat subject to Staff comments. Mr. Arthur seconded the motion.

VOTE:

YES: Parsley, Powell, Arthur, Compton, Covert, Dunn, Gaines, Haney

NO: None

The replat was approved by a unanimous vote subject to Staff comments.

Ms. Christie stated for the record that if Engineering Services wanted the replat to go to Council on Tuesday, July 14, 2015 they must have the Ordinance in the Mayor's office by noon on Thursday, July 9, 2015.

Board of Adjustment

- A. B15-24 Ronald & Jennifer Prophet
2633 Secretariat
 Variance for modification of incline of driveway
 Presented by Ronald or Jennifer Prophet

Mr. Prophet was present to answer any questions or comments. He said one of the inspectors told him that the driveway as it is would not pass inspection.

Mr. Parsley asked for Staff comments.

Ms. Christie stated the only comment she had was that it is noted on the building permit to Mr. Prophet's builder what the requirements for the driveway slope should be. She further stated that Staff didn't have a problem with this request.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Powell called for the question.

VOTE:

YES: Powell, Arthur, Compton, Covert, Dunn, Gaines, Haney, Parsley

NO: None

The variance request was approved by a unanimous vote.

- B. B15-25 Michael & Andrea Guidry
9375 Greenbriar Estate Road
 Variance for reduction of rear setback from
 35' to 20'
 Presented by Michael or Andrea Guidry

Mr. Guidry was present to answer any questions or comments. He stated that they were annexed into the city recently.

Mr. Parsley asked for Staff comments.

Ms. Christie said he got the building permit and dug the footings and when it was inspected, it was discovered that Mr. Guidry had encroached on the setback. She said if the zoning was residential and not A-1 they would not be hearing this variance.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Arthur called for the vote.

VOTE:

YES: Arthur, Compton, Covert, Dunn, Gaines, Haney, Parsley, Powell

NO: None

The variance request was approved by a unanimous vote.

- C. B15-26 Leonel Rivas
838 Underhill Lane
 Variance for reduction of front setback from
 35' to 28'
 Presented by Leonel Rivas

Mr. Rivas and his daughter were present to answer any questions or comments.

His daughter stated that all they were trying to do is expand the garage.

Ms. Christie asked if the pavement ended at the end of their property.

Ms. Rivas said it almost did. She presented pictures of the property for the commission to look at.

Ms. Christie asked if there was a business operating at the address or if was a resident.

Ms. Rivas said it is their residence.

Mr. Chamlee said they have an active building permit. The garage was converted to a living space and they want to add a new garage.

Mr. Parsley asked if there were those in the audience that had questions or comments.

Mr. Don McCandles stated they were the downhill neighbor to Mr. Rivas. He said the he felt that any other structures added going east will increase the amount of water going down that section. He said they were having a hard time with the flow now because of the recent rain. He felt anything added to the north side is going to increase the water flow that runs off the hill, which will impact him.

Mr. Covert asked if the structure that was diverting the water was on Mr. Rivas' property or Mr. McCandles.

It was determined that it is own Mr. Rivas' property.

Ms. Christie asked if it was going to be a two car garage.

Ms. Rivas said that it will be a two car garage.

Mr. Arthur clarified that if the variance is approved, whatever drainage problems it creates will be between Mr. Rivas and Mr. McCandles.

Mr. Powell called for the vote.

VOTE:

YES: Compton, Covert, Dunn, Gaines, Haney, Parsley, Powell, Arthur

NO: None

The variance was approved by a unanimous vote.

- D. B15-27 ISC South, Inc.
2100 Turner
Variance for reduction of front setback from
50' to 35'
Presented by Greg Edwards

Mr. Edwards was present to answer any questions or comments. He introduced Roy Johnson who rents the apartment at 2100 Turner.

The stairs that lead to the apartment have rusted out and will need to be replaced. Mr. Johnson asked Mr. Edwards if it would be possible to add some deck space on to the actual stairs.

Mr. Johnson wants to put in a small deck so that he can bar-b-que.

Mr. Parsley asked for Staff comments.

Ms. Christie stated that the apartment is a non-conforming use in a C-2 zone because living spaces aren't allowed. She said they would be doing an expansion to a non-conforming use.

She asked what size they were thinking about as Staff wasn't provided with any literature regarding the deck and its size. She said it looked to be an additional 22' out toward the street. There is also parking in that area.

She asked if there would be parking underneath the deck.

Mr. Johnson said there would be two spaces underneath it.

Ms. Christie asked how big the apartment is.

Mr. Johnson said it is approximately 1400 square feet.

Ms. Christie said it could be expanded up to 30% unless there are fire issues.

Fire Marshall Duane Miller said they were adding a combustible deck to possibly a type two b construction. It adds to overhang of the building which adds to the fire area which would require a water need analysis on the building itself. Also, there is a required exit for the furniture store that comes out of that end of the building which would be underneath deck material. If you park cars underneath, that creates a potential issue as well. He further stated they would have an issue trying to get around the building due to the length of it. The fire access is very limited there and he thought as of right now there is 17 feet that the fire department would not allow them to have for parking.

Ms. Christie said that basically Mr. Miller was saying they couldn't put that kind of deck at that location and still meet the fire code. They can put the existing stair case back just as it is.

She asked if they could build the deck out of material that was noncombustible and Mr. Miller said that is a possibility but there is still the question of the access and they would be adding to the fire area.

Mr. Johnson said the access door in question is directly underneath the landing. As far as the deck he would like to build would be off to the side. He asked if they made the landing of noncombustible material would they be able to build the deck.

Mr. Miller stated that the whole building itself if added to will be adding to the fire area.

Mr. Parsley asked if there were those in the audience that had any questions or comments.

There were none.

Ms. Haney said she had concerns regarding pulling in as it is so close to the street anyway plus the hazards of the furniture trucks coming and going.

Mr. Covert asked if the commission could actually vote on something that really shouldn't be there to begin with since it is going against the fire code.

Ms. Christie said she didn't know if the commission could grant a variance that goes counter to the fire code.

Ms. Sarah Sparkman, Assistant City Attorney, stated that they can hear the issue so long as the expansion is not up to 30%, but again no variances regarding fire code issues.

Ms. Christie asked that if he could meet the fire code and the commission gave him the variance then they, the commission, would be o.k.

She then asked Mr. Edwards if he wanted to continue or to table his request.

Mr. Edwards said that he wanted to table his request.

E. B15-28 Manuel Mondragon
211 Casteel
Variance for reduction of side setback from
20' to 8'
Presented by Maritza Mondragon

Mr. Mondragon's daughter Maritza was present on behalf of her father to answer any questions or comments. She stated that her father wanted to build a sunroom on a slab that was once used for a deck.

Ms. Christie stated that this is a piece of property that is currently zoned A-1. If it were in a residential zone it would have an 8' setback. The commission is not putting it beyond what it would normally be if it were residential.

Mr. Parsley asked if there were those in the audience with questions or comments.

Mr. Danny Wright with the Springdale Police Department said he drove by the location today. He saw some ordinance violations such as tall grass, parking in the front yard, etc. He wanted to make sure that they followed the rules and regulations with their property.

Ms. Christie asked if Ms. Mondragon understood what Mr. Wright was saying.

Ms. Mondragon said the sun room would be in the back yard. She said the yard was mowed yesterday so she was uncertain where Mr. Wright was talking about.

Ms. Christie said that the violations Mr. Wright referred to needs to be addressed. She asked if there was parking in the front yard.

Ms. Mondragon said they don't park in the yard.

Mr. Wright said they have a trailer parked on the side of the house. On the opposite side of the house it is paved in. There are two cars are parked beyond the house. He said the garage was never approved to be enclosed but it was probably done before the property was annexed into the city.

Ms. Christie asked Mischa if she could meet with the family to discuss the code violations. Mischa said that she would meet with the family.

Ms. Mondragon said that the condition of the house was like that when they purchased it and they were not aware of any code violations.

Mr. Powell called for the vote.

VOTE:

YES: Gaines, Parsley, Powell, Arthur, Compton, Covert

NO: Dunn, Haney

The variance was approved by a vote of six (6) yes and two (2) no.

- F. B15-30 Joe Neeley/Whataburger
NW corner of Elm Springs Road &
N. 40th Street
Variance for modification of Commercial Design Standards
Presented by Crafton Tull

This variance was approved by a unanimous vote in conjunction with the large scale development for Whataburger.

- G. B15-31 Bank of the Ozarks
2773 & 2755 W. Sunset Avenue
A) Variance for reduction of distance between Driveways
B) Variance for modification of Commercial Design Standards
Presented by Crafton Tull

These variances had to be tabled because Crafton Tull was not present for the presentation.

- H. B15-32 George's Inc.
1411 S. Thompson
 Variance of landscaping requirements per
 Chapter 56
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments. He said George's is in the process of tearing down the old Farris Insurance building and replacing it with a parking lot. The request is to allow no trees/islands in the parking area and to add two large trees to the frontage along with that area that was concrete to be green space. They are going for the same look as their corporate offices.

Ms. Christie stated they were getting more open space and landscaping but no parking islands.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Covert called for the vote.

VOTE:

YES: Gaines, Haney, Parsley, Powell, Arthur, Compton, Covert, Dunn

NO: None

The variance request was approved by a unanimous vote.

- I. B15-33 Donald & Carol Lynn Gibson
4959 Arkanshire Circle
 A) Variance for reduction of front setback from
 25' to 20'
 B) Variance for reduction of rear setback from
 20' to 15'
 Presented by Engineering Services, Inc.

Mr. Bo Wilkins with Engineering Services was present on behalf of his clients, who were also present in the audience.

Mr. Wilkins said they are trying to reduce the front setback and basically he said the corner of their garage is encroaching in the setback. He said there is water utility up front in the 25' easement. In the back they are trying to put in a pool within the building setback. There is also a 25' utility easement. ESI contacted all the utility companies and they have letters giving permission to be within the utility easement.

Ms. Christie said the commission could not hear the rear setback request because of the utility easement until those are actually vacated and action by the City Council.

Mr. Wilkins said their plan was to get the utilities' permission to actually be in the utility easement without vacating the easement.

Ms. Christie asked Ms. Sparkman if the commission could do what Mr. Wilkins was suggesting. She said it has always been done through Council to get it recognized.

Ms. Christie asked if they could approve the variances subject to working that procedure with either the recognition from the utility companies and/or having to go to council.

Ms. Sparkman stated she would not recommend circumventing anything that council traditionally does on that. She didn't know what kind of legalities they would run into. She said the commission could approve subject to.

Mr. Brian Moore with ESI said they are actually waiving/varying the setback not that they can't build in the easement. He stated that they were two separate deals.

Ms. Christie said they commission normally does not grant a variance to allow to reduce a setback if it is and they are going to be building in a utility easement.

Mr. Moore said they have many times.

Ms. Christie said they always go through council to get it done.

Mr. Moore said they have done it, no question. He further stated the difference is they have got letters and have built in easements before saying that they understand that if the utility company ever has to go into their easement, the owner is responsible for putting it back the way it was, not the utility company.

Ms. Christie said they have that but it usually goes to council for that council action so it is noted on the easement document itself.

Mr. Moore stated that he has never had to take one to council.

Ms. Christie stated that Staff has done several that way.

Ms. Christie asked if they could do the variance subject to getting the process taken care of. She asked Ms. Sparkman if that would be o.k. with her.

Ms. Sparkman stated it would be fine.

Mr. Parsley stated for the record that this is a variance subject to the approval

Ms. Christie interjected subject to following the procedure because it is in a utility easement. She said Staff would figure out what that is.

Mr. Arthur called for the vote subject to getting all the easements worked out.

VOTE:

YES: Haney, Parsley, Powell, Arthur, Compton, Covert, Dunn, Gaines

NO: None

The variances were approved by a unanimous vote subject to getting all the easement questions worked out.

Ms. Christie asked Mr. Moore to call her office so that they could get the issues resolved.

- J. B15-34 NanoMech, Inc.
2447 Technology Way
 Variance for reduction of front setback
 From 30' to 10'
 Presented by Engineering Services, Inc.

Mr. Jason Appel was present on behalf of his client to answer any questions or comments. He said this request is for a guard house on the eastern most entrance. He said they have worked out the traffic pattern with the fire department. They required a 14' drive on both sides of the guardhouse.

Ms. Christie stated that the guardhouse is already in position.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Powell called for the vote.

VOTE:

YES: Parsley, Powell, Arthur, Compton, Covert, Dunn, Gaines, Haney

NO: None

The variance was approved by a unanimous vote.

- K. B15-35 Michael & Julie Davis
4278 Osprey Street
 Variance for reduction of front setback from
 30' to 20'
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments. Mr. Appel stated that the homeowner was also present to answer any questions. He said the proposal is Mr. Davis has two fronts and would like to add a third car garage to the south. The garage would encroach on the setback.

Ms. Christie asked if the frontage of the attachment would be any further out than the house already. Her concern was if anyone pulled up to the corner, the driver may not be

able to see around it, however, there is already a fence so there is no issue and she has no problem with it.

Mr. Powell said he did not see any issue with sight distance.

Mr. Parsley asked if there were those in the audience with comments or questions.

There were none.

Mr. Powell called for the vote.

VOTE:

YES: Powell, Arthur, Compton, Covert, Dunn, Gaines, Haney, Parsley

NO: None

The variance was approved by a unanimous vote.

Planning Director's Report

Ms. Christie said the July work session is set for July 21. However, this date is for the kick off for the Downtown Master Plan which will be held at the Art Center of the Ozarks. It will be from 6:00 p.m. to 8:00 p.m. and she encouraged all the planning commission members to be there.

There being no further business, the meeting was adjourned at 6:45 p.m.

Kevin Parsley, Chairman

Vivi Haney, Secretary

**Patsy Christie, Director
Planning and Community Development Division**

Debbie Ponders, Recording Secretary

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: July 7, 2015
Re: R15-20 Rezone

A request by Daniel J. Lewis, Signature Bank of Arkansas for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) and Large Retail Sales District (C-6) for a tract of land containing acres 4.23 and 13.81 acres.

LOT LOCATION AND SIZE

The 18.04 acre tract is located on the north side of Parson Road, east of Butterfield Coach Road.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

AND

The requested zoning for this tract is a C-6 Large Product Retail Sales District. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, are automobile and other vehicular service establishments. The C-6 district is also intended to provide a location for the limited amount of merchandise, equipment and material being offered for retail sale that, because of the type of material or transportation requirements, is suitable for display and storage outside the confines of an enclosed building. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping centers since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.
- ii. All of the lots used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-6 large product retail sales.
 - a. Except as provided in Use Unit 43: Automobile Sales-Damaged Vehicles, automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
 - b. No permanent open display will be permitted on sidewalks, or public right-of-way.
 - c. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
 - d. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- v. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-6 district a site plan review shall be required. See article 2, section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-6 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

SETBACKS:

Front setback

30'

Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, or a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north is undeveloped and outside the City limits. The area to the east contains a mixture of residential structures outside the City limits. The area to the south contains single family dwellings in an MF-2 district. The area to the west contains an industrial use in I-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted comprehensive Land Use Plan indicates Low Density Residential use.

The Master Street Plan indicates Parsons Road as a minor collector.

STAFF COMMENTS AND RECOMMENDATIONS

The C-2 zoning classification would provide a better buffer to the residential areas to the east and south and it is recommended that the C-6 be downgraded to C-2 in keeping with the following goals and policies.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

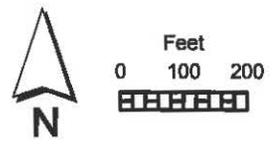
Encourage the development of light to medium-intensity commercial development along arterial streets that provide adequate setbacks and buffering to adjacent residential neighborhoods.



Public hearing sign posted: / / 2015

Public hearing sign posted by: CS

S Public Hearing Sign Location



FILE NUMBER: R15-20
APPLICANT: SIGNATURE BANK OF ARKANSAS
REZONING REQUEST: A-1 TO C-2
A-1 TO C-6

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
7/7/2015

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Daniel J. Lewis, Signature Bank of Arkansas

The record property owner(s), petitioning to rezone the following described area:

Legal Descriptions: SEE ATTACHMENTS LISTED:

- 1) Note "A": Exhibit "A" attached as COMMISSIONER'S DEED file 2010-00020923, "TRACT 2" only of said deed.
- 2) REZONING DESCRIPTIONS: TRACT I AND TRACT II

Layman's Description: 3572 Parsons Road, Springdale, Ar 72764, a Tract of land laying north of said road, containing 17.99 acres.

The **Petitioner** hereby states by oath that:

- 1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A. (See Note "A")
- 2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
- 3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) A-1

TO (proposed zoning) C-2 & C-6

The **Petitioner's** immediate intentions are to:

1. **Sell** the property Yes (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title Yes (Yes or No).
2. **Develop** the property Yes (Yes or No), and if so, the proposed use is Commerical.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: Very little, if any.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the **Petitioner**.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Melvin L. Milholland or Fredrick Dunn

Address: 205 W. Center St, Fayetteville, AR 72701

PETITIONER/OWNER **SIGNATURE**


Daniel J. Lewis

SIGNATURE BANK OF ARKANSAS
MAILING ADDRESS: 3878 N. CROSSOVER RD. SUITE 30 FAYETTEVILLE, AR 72702

TELEPHONE: 479-684-3700 DATE: 6-12-15

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)


Signature Bank of Arkansas

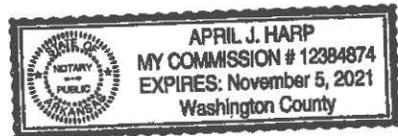
(Property Owner)

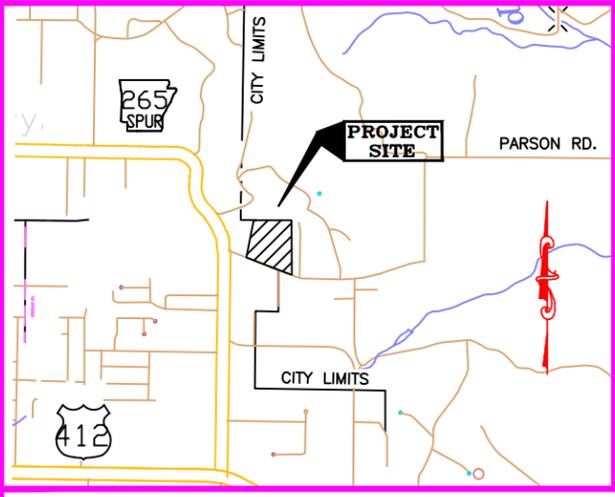
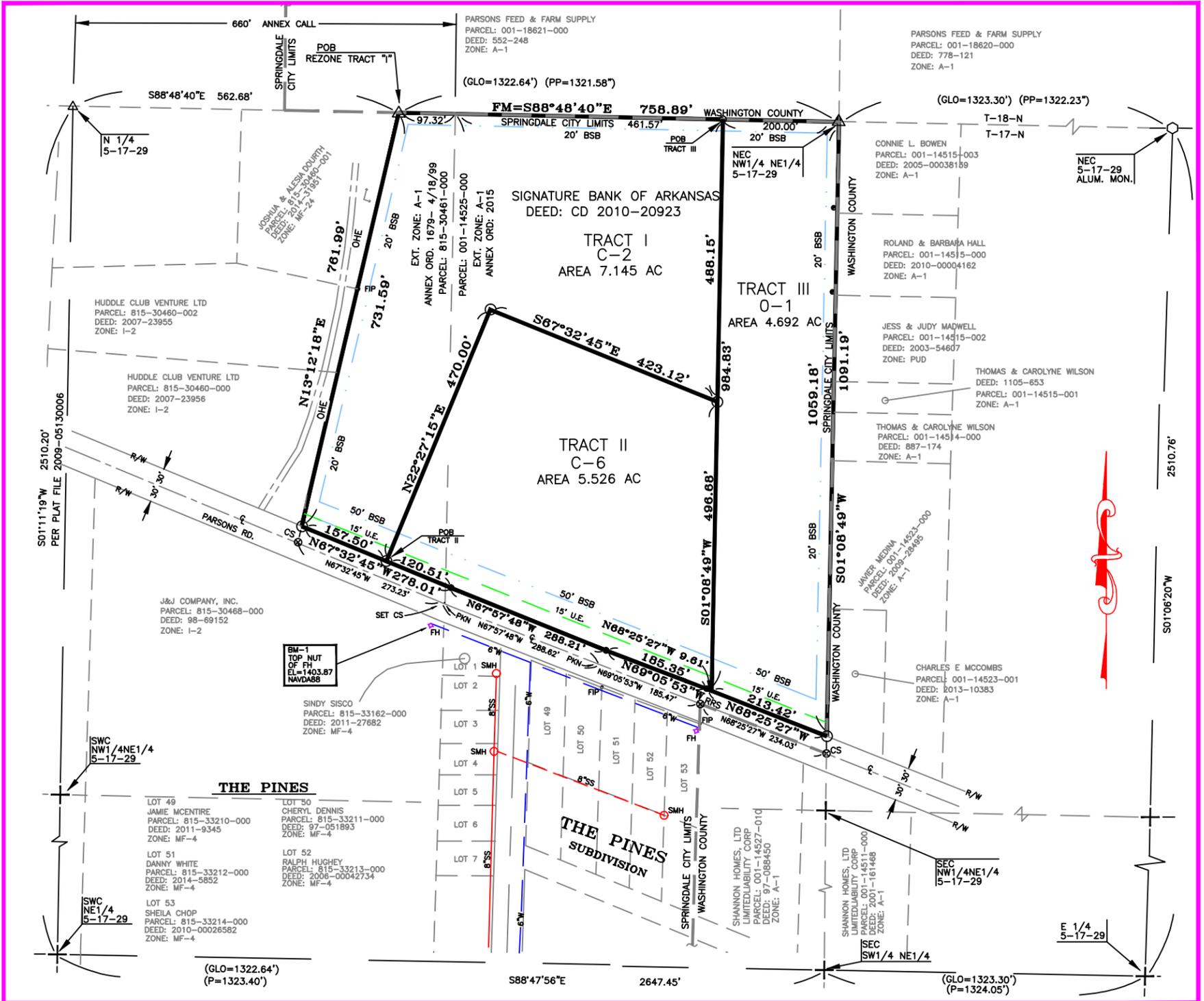
State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 12th day of June, 2015.

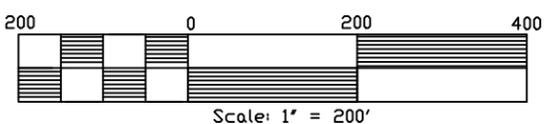


Notary Public





VICINITY MAP



LEGEND

● FIP	FOUND IRON PIN	R/W	RIGHT-OF-WAY
○ SIP	SET IRON PIN	℄	CENTER LINE ROAD
△	STONE	GW	GUY WIRE
◊	MONUMENT	◇ FH	FIRE HYDRANT
△ FIP W/MP	FOUND IRON PIN W/METAL POST	○ SMH	SEWER MAN HOLE
⊙ CS	COTTON SPINDLE	-X-X-	FENCE
⊙ RRS	RAILROAD SPIKE	-W-	2" WATER LINE
○ PP	POWER POLE	-6"-	6" WATER LINE
-OHE-	OVERHEAD ELECTRIC	-8"SS-	8" SANITARY SEWER LINE
-UGT-	UNDERGROUND TELEPHONE		

C-2 & C-6 BUILDING SETBACKS:

FRONT..... 30'
FRONT..... 50': (if parking is allowed between R-O-W and the bldg.)
SIDE..... 0'
SIDE..... 0': (subject to applicable fire and bldg codes)
SIDE..... 20': (when contiguous to a residential district)
REAR..... 20'

FLOOD DATA:
ACCORDING TO FLOOD INSURANCE RATE MAP No. 05143C0090F, MAP REVISED: MAY 16, 2008, PROJECT AREA IS "ZONE X", AREAS DETERMINED TO BE OUTSIDE THE 2% ANNUAL CHANCE FLOODPLAIN.

PROFESSIONAL ENGINEERS

Mitholland Company

SURVEYING SPECIALISTS

205 W. Center Phone:(479)443-4724 Fax:(479)443-4707 Fayetteville, Arkansas MCOEngr@swbell.net

TRACT I REZONE TO C-2

A PART OF THE NORTHWEST QUARTER (NW¼) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 5, T-17-N, R-29-W, MORE PARTICULARLY DESCRIBED AS COMMENCING AT A STONE MARKING THE NORTHWEST CORNER OF SAID 40-ACRE TRACT, AND CONTINUING THENCE ALONG THE COMMON BOUNDARY BETWEEN T-17-N AND T-18-N S88°48'40"E 562.68 FEET TO AN IRON PIN AND METAL POST ON SAID TOWNSHIP BOUNDARY; SAID IRON PIN MONUMENT BEING THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID TOWNSHIP BOUNDARY S88°48'40"E 558.89 FEET TO A SET IRON PIN; THENCE S01°08'49"W 488.15 FEET TO A SET IRON PIN; THENCE N67°32'45"W 423.12 FEET TO A SET IRON PIN; THENCE S22°27'15"W 470.00 FEET TO A SET IRON PIN ON THE NORTH RIGHT-OF-WAY OF PARSONS ROAD; THENCE ALONG SAID RIGHT-OF-WAY N67°32'45"W 157.50 FEET TO A SET IRON PIN; THENCE LEAVING SAID RIGHT-OF-WAY N13°12'18"E 761.99 FEET TO THE POINT OF BEGINNING, CONTAINING 7.145 ACRES, MORE OR LESS, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS

TRACT II REZONE TO C-6

A PART OF THE NORTHWEST QUARTER (NW¼) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 5, T-17-N, R-29-W, MORE PARTICULARLY DESCRIBED AS COMMENCING AT A STONE MARKING THE NORTHWEST CORNER OF SAID 40-ACRE TRACT, AND CONTINUING THENCE ALONG THE COMMON BOUNDARY OF T-17-N AND T-18-N S88°48'40"E 562.68 FEET TO AN IRON PIN AND METAL POST ON SAID TOWNSHIP BOUNDARY, AND THENCE CONTINUING S13°12'18"W 761.99 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY OF PARSONS ROAD, THENCE CONTINUING ALONG SAID RIGHT-OF-WAY S67°32'45"E 157.50 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY N22°27'15"E 470.00 FEET TO A SET IRON PIN; THENCE S67°32'45"E 423.12 FEET TO A SET IRON PIN; THENCE S01°08'49"W 496.68 FEET TO A SET IRON PIN ON SAID RIGHT-OF-WAY; THENCE ALONG SAID RIGHT-OF-WAY N68°25'27"W 9.61 FEET TO A FOUND IRON PIN, N69°05'53"W 185.35 FEET, N67°57'48"W 288.21 FEET TO A FOUND IRON PIN, AND N67°32'45"W 120.51 FEET TO THE POINT OF BEGINNING; CONTAINING 5.526 ACRES, MORE OR LESS, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS.

TRACT III REZONE TO O-1

A PART OF THE NORTHWEST QUARTER (NW¼) OF THE NORTHEAST QUARTER (NE¼) OF SECTION 5, T-17-N, R-29-W, MORE PARTICULARLY DESCRIBED AS COMMENCING AT A STONE MARKING THE NORTHWEST CORNER OF SAID 40-ACRE TRACT, AND CONTINUING THENCE ALONG THE COMMON BOUNDARY BETWEEN T-17-N AND T-18-N S88°48'40"E 562.68 FEET TO AN IRON PIN AND METAL POST ON SAID TOWNSHIP BOUNDARY, AND CONTINUING S88°48'40"E 558.89 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID TOWNSHIP BOUNDARY S88°48'40"E 200.00 FEET TO A FOUND IRON PIN AND METAL POST AT THE NORTHEAST CORNER OF SAID NW¼ OF THE NE¼; THENCE S01°08'49"W 1059.18 FEET TO A SET IRON PIN ON EAST BOUNDARY LINE OF SAID 40 ACRES, AND THE NORTH RIGHT-OF-WAY OF PARSONS ROAD; THENCE ALONG SAID RIGHT-OF-WAY N68°25'27"W 213.42 FEET TO SET IRON PIN, ON SAID RIGHT-OF-WAY; THENCE LEAVING SAID RIGHT-OF-WAY N01°08'49"E 984.83 FEET TO THE POINT OF BEGINNING, CONTAINING 4.692 ACRES, MORE OR LESS, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS

REZONING PLAT		3572 PARSONS RD.	SPRINGDALE, ARKANSAS
WASHINGTON COUNTY	DATE: 03-19-2015	CLIENT: Advance Capital Development, LLC	SCALE: 1"=200'
REVISIONS:	REVISIONS:	21732 Chinquapin Road Springdale, AR 72764	PLAT BOOK No(s):
REZONE: 5-26-2015	REZONE: 5-26-2015	PHONE: (479) 439-9799	DRAWN BY: RLA
07-24-2015	07-24-2015	FAX: (479) 439-9939	CHECKED BY:
OVERALL CLOSURE: 1: 598,903	OWNER: SIGNATURE BANK	3878 N. CROSSOVER RD. SUITE 30	DRAWING NO. E-891R
TRACT I: C-2 REQUESTED	TRACT I: C-2 REQUESTED	FAYETTEVILLE AR 72702	REF: S-2725
TRACT II: C-6 REQUESTED	TRACT II: C-6 REQUESTED	PHONE: (479) 684-3700	
CITY ZONE: A-1	COMMISSIONER'S DEED: 2010-00020923		
SEC 5, T-17-N, R-29-W	BASIS OF BEARINGS: GEODETIC		
	ELEVATION: 1988 NAVD - SPRINGDALE		

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B/5-31

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

L15-08

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Bank of the Ozarks - Melvin Edwards

Applicant's Mailing Address:

17901 Chenal Parkway
Street Address or P.O. Box
Little Rock, AR 72223
City, State & Zip Code

501-978-2204
Telephone Number

Property Owner's Name
(If different from Applicant): _____

Property Owner's Mailing Address:
(If different from Applicant):

Same as above
Street Address or P.O. Box

City, State & Zip Code

Telephone Number

Address of Variance Request: 2773 & 2755 W. Sunset, Springdale, AR

Zoning District: C-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.***

Variance from Parking CW130-Art 9 Sect 9.6/7 Minimum distance btwn

driveways on adjoining properties (see Exhibit A)

Variance from Commercial Design Standards requiring facades facing

public rights of way to have an entrance into the building. (Exhibit B)

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The locations of existing drives on adjacent properties coupled with the location of an existing multiple barrel box culvert crossing the site make it impractical to meet the code.

Due to security concerns regarding 2 entrances into the bank the applicant is requesting only one entrance be allowed fronting the primary street (Highway 412)

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

Regarding the variance related to driveway locations, the applicant will be deprived of safe and convenient access to their development.

Regarding the variance related to multiple entrances, the applicant will be deprived of proper security measures enjoyed by other banks in the area.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

Adjacent owners constructed the driveway locations in a manner which were offset from each other and close to the property lines.

Banks having multiple points of ingress and egress are known to have higher rates of robberies.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

H. J. Edwards
 Applicant Signature
Melvin L. Edwards
 Bank of the Ozarks

Applicant Signature*

Property Owner Signature*
 (If different from Applicant)

Property Owner Signature*
 (If different from Applicant)

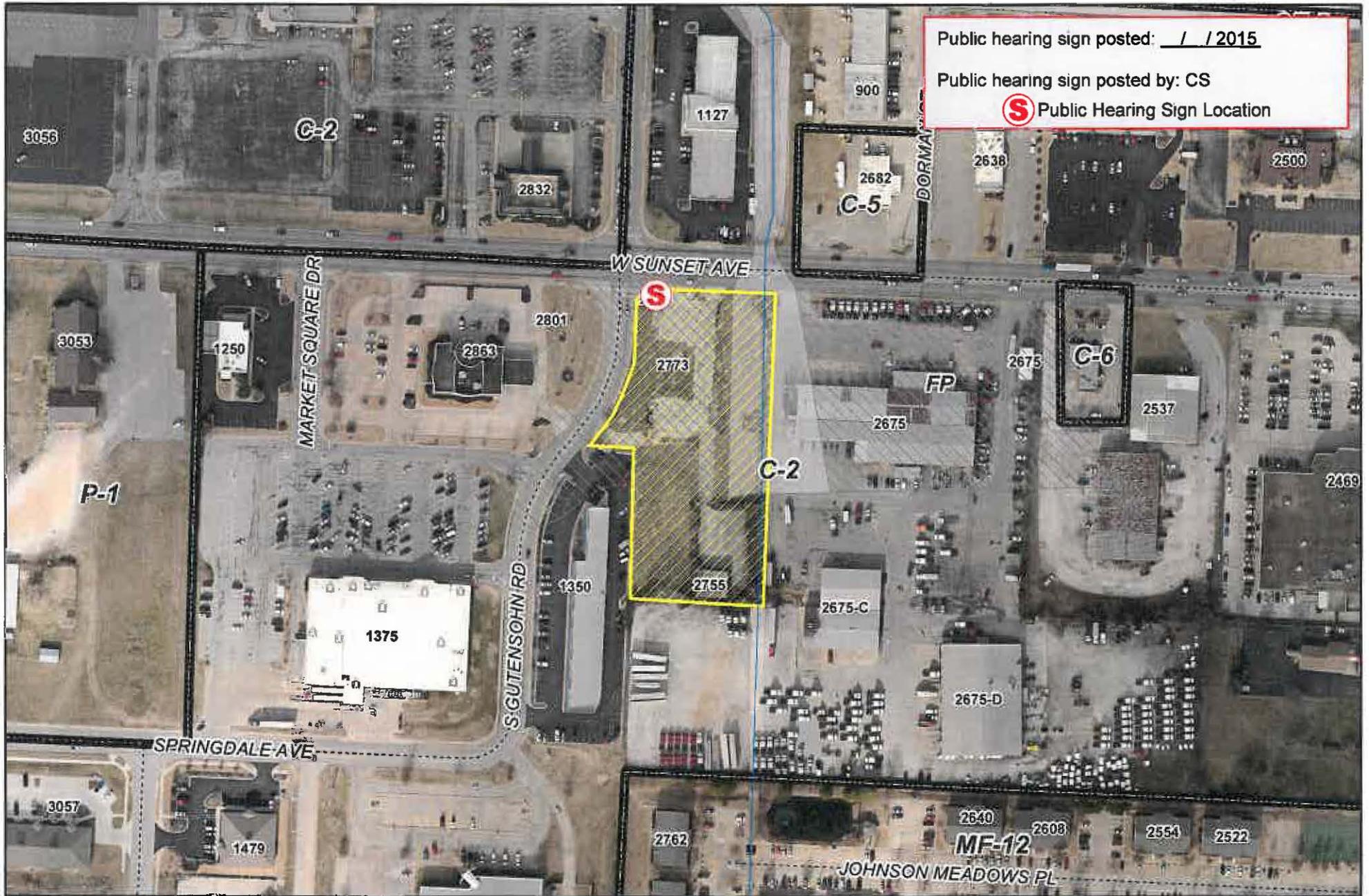
*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
 County of Pulaski) ss.

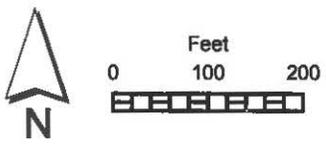
SUBSCRIBED AND SWORN TO before me, a Notary Public, this 15th day of June, 202015

Robbie L. Hargrove
 Notary Public

ROBBIE L. HARGROVE
 NOTARY PUBLIC-STATE OF ARKANSAS
 PULASKI COUNTY
 My Commission Expires 07-09-2022
 Commission # 12388608



Public hearing sign posted: / / 2015
Public hearing sign posted by: CS
S Public Hearing Sign Location



FILE NUMBER: B15-31
APPLICANT: BANK OF THE OZARKS
VARIANCE REQUEST: COMMERCIAL DESIGN
STANDARDS & DISTANCE BETWEEN DRIVES

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
7/7/2015

P39

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS

From: Patsy Christie, Planning Director

Date: August 4, 2015

Re: R15-21 Rezone

A request by Capho Investments, LLC for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing .98 acres.

LOT LOCATION AND SIZE

The .98 acre tract is located at 3497 Wagon Wheel Road, south side of Wagon Wheel Road between Acuff Drive and Twin Oaks Drive.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback	0
(subject to applicable fire and building codes)	
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a commercial structure that existed prior to annexation into the City of Springdale. The area to the north contains two single family dwellings and a commercial use in A-1 zoning. The area to the east contains a commercial use in A-1 zoning. The area to the south and east contain a mixture of commercial and residential uses in A-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Neighborhood Commercial use.

The Master Street Plan indicates Wagon Wheel Road as a principal arterial and Acuff Drive and Twin Oaks Drive as local streets.

STAFF COMMENTS AND RECOMMENDATIONS

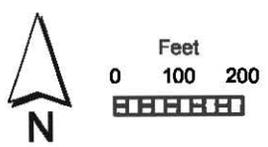
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Public hearing
Public hearing
S Pu



FILE NUMBER: R15-21
APPLICANT: CAPHO INVESTMENTS, LLC
REZONING REQUEST: A-1 TO C-2

PLA

L15-11

File No. R15-21

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Capho Investments, LLC, the record property owner(s), petitioning to rezone the following described area:

Legal Description:

(PARCEL # 21-00171-090)

A PART OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO WIT: BEGINNING AT A POINT WHICH IS N86°44'01"W 155.43' FROM THE NORTHEAST CORNER OF SAID WEST HALF OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER AND RUNNING THENCE S02°01'52"W 200.05', THENCE N86°44'01"W 114.28', THENCE THENCE N03°15'59"E 200.01, THENCE S86°44'01"E 109.97' TO THE POINT OF BEGINNING, CONTAINING 0.51 ACRES, MORE OR LESS. SUBJECT TO A 50' ACCESS EASEMENT ON THE EAST SIDE AND WAGON WHEEL ROAD RIGHT-OF-WAY ON THE NORTH SIDE OF HEREIN DESCRIBED TRACT AND SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

Layman's Description: Northwest corner of Wagon Wheel Rd and Acuff Dr.

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning): A-1

TO (proposed zoning): C-2

The **Petitioner's** immediate intentions are to:

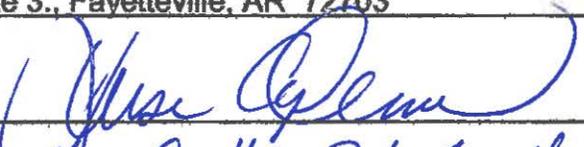
1. **Sell** the property YES (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title YES (Yes or No).
2. **Develop** the property NO (Yes or No), and if so, the proposed use is _____
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: The uses surrounding properties to the North, West and East of the parcel to be rezoned are Commercial in nature, so a C-2 zoning would be inline with the current uses in the immediate vicinity. Therefore, the applicant feels that the effects of the proposed zoning change would be negligible.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Bates & Associates, Inc.

Address: 91 W. Colt Square Drive Suite 3., Fayetteville, AR 72703

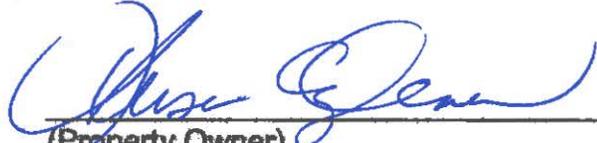
PETITIONER/OWNER SIGNATURE: 

MAILING ADDRESS: 3018 North Gulley Rd. Fayetteville

TELEPHONE: 479-530-4247 DATE: 7/2/15

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.



(Property Owner)

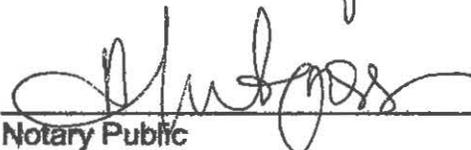
(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this ~~13th~~ day of ~~January~~,
~~2015.~~

2nd day of July, 2015.

OFFICIAL SEAL
ALYSIA GASS
NOTARY PUBLIC, ARKANSAS
WASHINGTON COUNTY
COMMISSION #12394208
COMMISSION EXP. 07/12/2023



Notary Public

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: August 4, 2015
Re: C15-11

A request by Darrellann Wise for a Conditional Use Permitted on Appeal as a Use Unit 14 (Medium density single family affordable housing) in an Agricultural District (A-1).

LOCATION

7954 W. Miller Road

EXISTING CONDITIONS

Single family dwelling on a non-conforming lot.

SITE PLAN REVIEW REQUIRED: Yes No

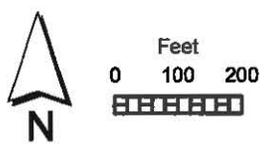
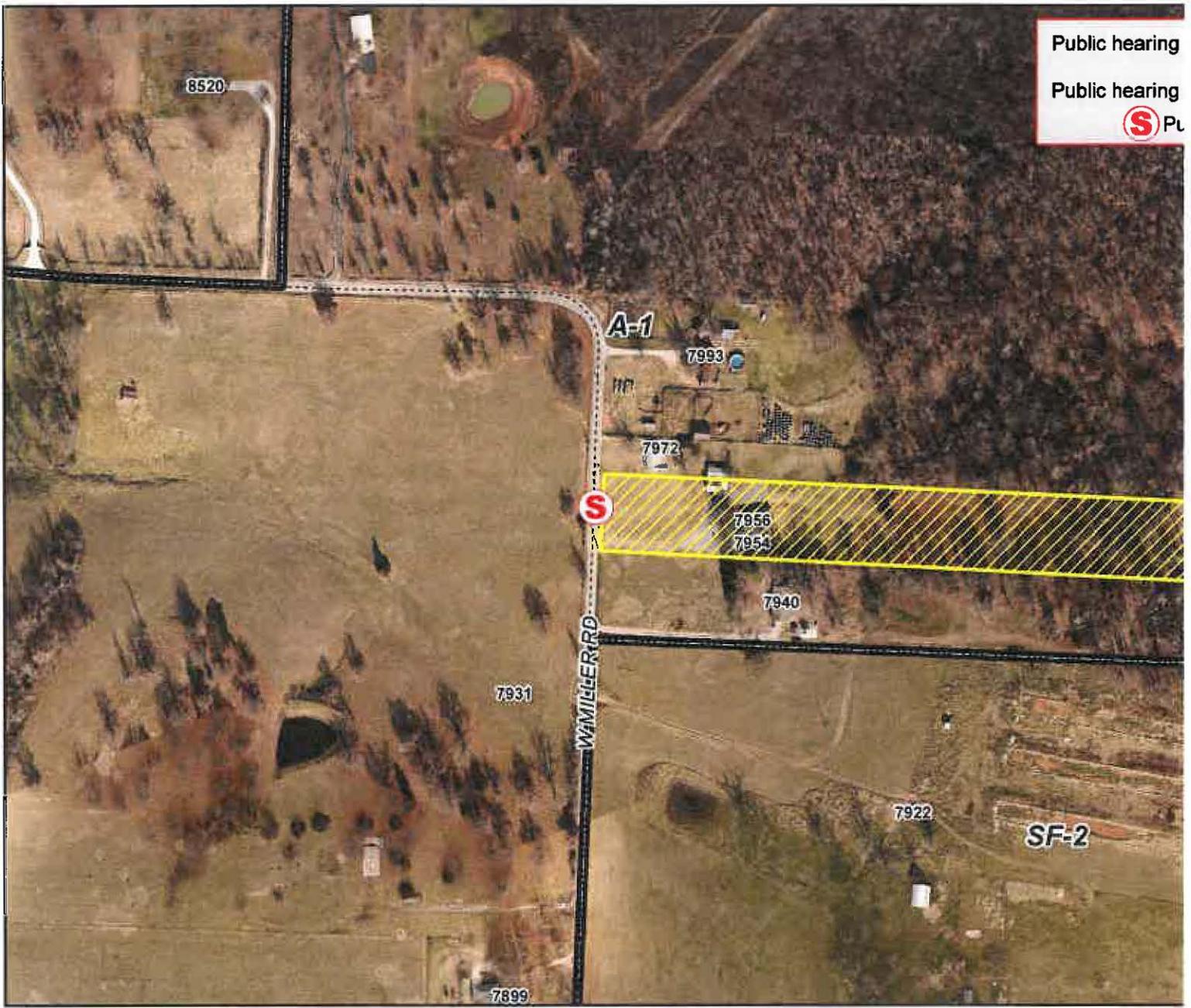
DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

- | | |
|---------------------|--|
| Unacceptable | Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe. |
| Unacceptable | Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district. |
| Acceptable | Refuse and service areas, with particular reference to the item in 1 and 2 above. |
| Unknown | Utilities, with reference to locations, availability and compatibility. Septic system requirements not addressed |

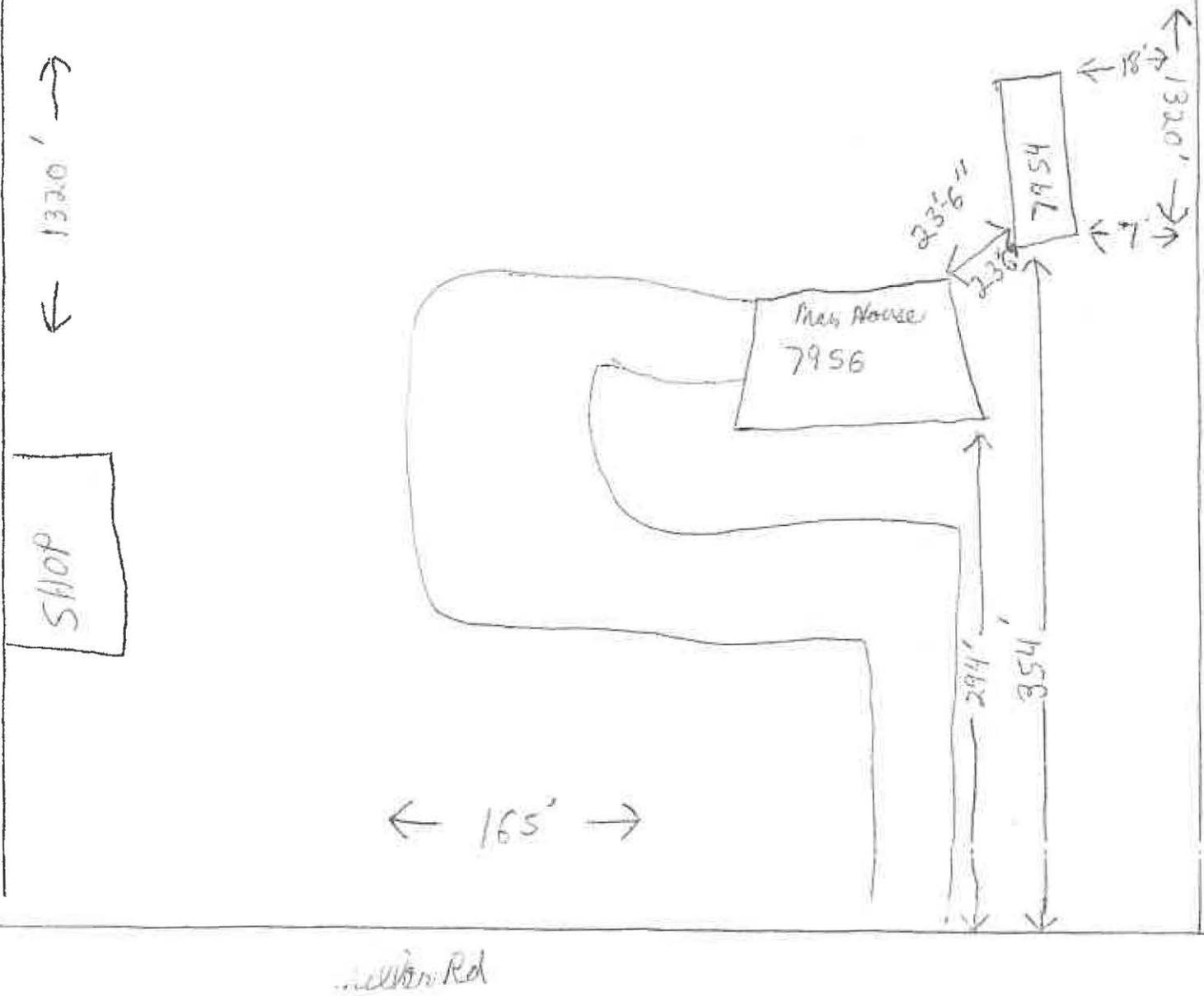
N/A	Screening and buffering with reference to type, dimension and character.
N/A	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
Unacceptable	Yard requirements and other open space requirements.
Unacceptable	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
N/A	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
Unacceptable	General compatibility with adjacent properties and other property in the general district.

Public hearing
Public hearing
S PL



FILE NUMBER: C15-11 & B15-38
APPLICANT: DARRELLANN WISE
VARIANCE REQUEST: SETBACK
CONDITIONAL USE REQUEST: USE UNIT 14: MOBILE HOME PLA

7956 - 7940 W. Miller Rd.
Clifton & Darrellann Wise



B15-38

File No. C15-11

APPLICATION FOR CONDITIONAL USE
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: DARRELLANN WISE
Address: 7956 W. MILLER Rd. SPRINGDALE, Ar. 72762

Phone: 479-238-3642 / 479-427-0030 Profit: Non-Profit

2. Property Location (street address or layman's description):
7954 W MILLER RD SPRINGDALE, Ar. 72762

3. Record Title Holder of Property: DARRELLANN WISE
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested 14 in A-1 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:
The manufactured home is set to allow elderly mother close & easy access to the main home. The property line is too close and we are asking for a conditional use to allow it to stay to be in immediate proximity to the main house to be able to safely allow mother to visit.

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?
To my knowledge, none.

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Danellan Wise

Signature of Applicant

Danellan Wise

Date: 7-10-15

Date: 7-10-15

VERIFICATION

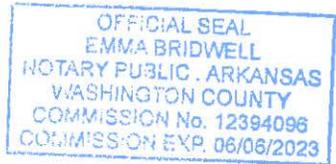
I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

State of Arkansas)
County of Washington) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 10 day of July, 2015

Emma Bridwell
Notary Public

My commission expires: 6-10-23



NOTICE OF PUBLIC HEARING BEFORE THE
SPRINGDALE PLANNING COMMISSION
ON AN APPLICATION FOR CONDITIONAL USE

To All Owners of land lying adjacent to the property at:

Location: 7956 W. Miller Rd Springdale, Ar. 72762

Owned by: Darrellann Wise

NOTICE IS HEREBY GIVEN THAT an application has been filed for conditional use of the above property requesting use as parking a manufactured home on property

If approved, the conditional use will occur only upon the property described above.

The Purpose of this request is to:
receive permission for the use of a manufactured home for my mother to be placed as close as possible to the existing house.

A public hearing on said application will be held by the Springdale Planning Commission in the Council Chambers at the City Administration Building, 201 Spring Street, on August 4th, 2015 at 5:00 p.m.

All parties in interest may appear and be heard at said time and place or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the Planning Office, Room 200 City Administration Building, 201 Spring Street, 750-8588, and to review the application and discuss same with the Planning Staff.

Memo

To: Planning Commission

From: Staff

Date: August 4, 2015

Re: RP15-04 Replat Lots 13, 14 & 15 Industrial Park II, Phase III

1. All comments from the utility companies and other city departments must be addressed prior to approval.

Memo

To: Planning Commission
From: Staff
Date: August 4, 2015
Re: L15-11 Large Scale Development Advanced Monitoring Systems

Planning Comments

- 1) This property must be rezoned.
- 2) The developer is required to dedicate right-of-way of an abutting street in conformance with the City of Springdale Master Street Plan. A separate dedication document shall be submitted to the City for filing.
- 3) Need to show dumpster location.
- 4) All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
- 5) This development must comply with the City Of Springdale Commercial Design Standards or a variance is required. Front, side, and rear elevations, lighting plan, and a written response to design standard comments are required at the time of resubmission. See attached design standard comments.

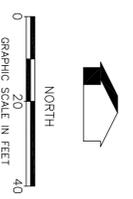
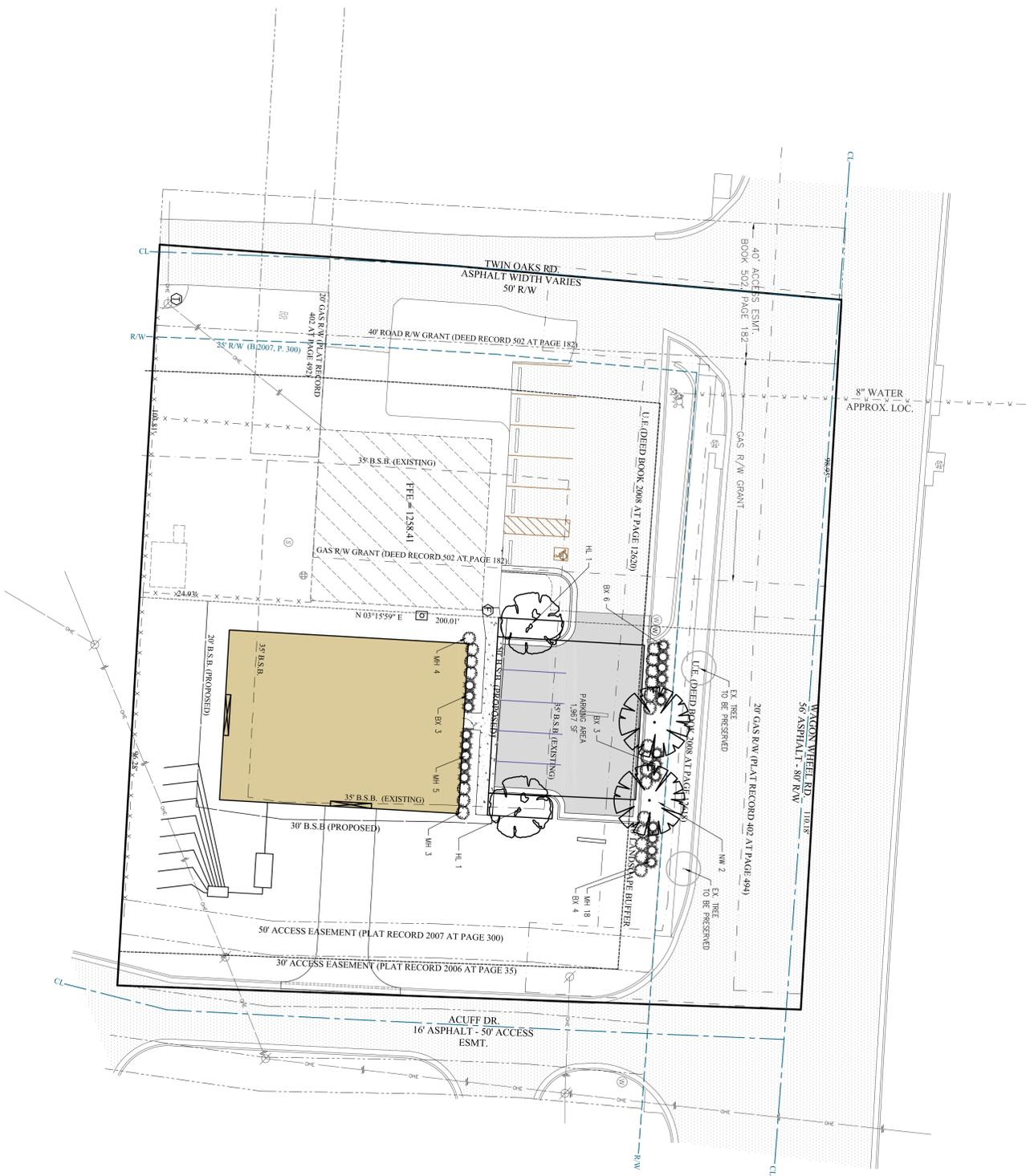
Commercial Design Standards Comments

- 1) Continuous internal pedestrian walkways, no less than 5' in width from the public sidewalk to the principal customer entrance of all principal buildings on the site are required.
- 2) Provide at least two of the items listed under Central Feature and Community Spaces in the Springdale Commercial Design Standard.
- 3) Central features and community spaces shall have direct access to the public sidewalk.

- 4) Outdoor storage, trash collection, and loading areas must not be visible from the public right-of-way.
- 5) Outdoor storage, trash collection, and loading areas must not be located within 20' of any public street, public sidewalk, or internal pedestrian walkway.
- 6) Outdoor storage, trash collection, and loading areas must be landscaped so that their functions are fully contained and out of view of the adjacent property and the public right-of-way.
- 7) Building façades shall include a repeating pattern with no less than three of the following: color change; texture change; material module change; expressions of architectural or structural bay through a change in plane no less than 12 inches in with, such as an offset, reveal, or projecting rib. At least one element must repeat horizontally and no element shall repeat at intervals of greater than 30' horizontally or vertically.
- 8) Predominate exterior building materials shall be high quality materials including, without limitation, the following: brick, native/natural stone, synthetic stone, concrete masonry units (smooth face units with integral color), synthetic stucco/EFS, architectural precast concrete, decorative face concrete tilt-up panels, glass, wood (natural or composite).\
- 9) Predominant exterior building materials shall not be: smooth-faced concrete block, tilt-up concrete panels, or pre-fabricated steel panels.
- 10) Need detailed drawings of enclosures and screening methods.
- 11) Trash containers, trash compactors, and recycling bins shall be screened from public view on all four sides with a solid fence, wall, or gate constructed of cedar, redwood, masonry, or other compatible building material, and shall be appropriately landscaped.

Engineering Comments

- 1) ***Parking Ch130-Art 7 Sect 9. Entrance/Exit Drives***
 - a. An access easement is needed between the two parcels to allow access to the new parking lot.
- 2) Sect 107 The site area of disturbance is between 0.5 and 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$250.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / [Grading at http://www.springdalear.gov/departement/planning_and_community_development/](http://www.springdalear.gov/departement/planning_and_community_development/)



- LANDSCAPE**
- PREPARE TOPSOIL FOR SHRUB AND GROUND COVER BEDS BY TILING A 2 INCH LAYER (165 CF PER 1000 SQ. FT.) OF COMPOST INTO THE UPPER 6 INCHES OF SOIL.
 - ALL PLANTING BEDS THAT ABOUT LAWN AREAS TO BE BORDERED BY STEEL EDGING.
 - SOIL SLAB 500 BERMUDA GRASS OR BERMUDA SEED TO BE PLANTED IN ALL TURF AREAS.
 - TOPSOIL DEPTH SHALL BE MINIMUM 18" IN ALL SHRUB AND GROUND COVER BEDS.
 - APPLY 3" OF ORGANIC MULCH TO ALL SHRUB AND GROUND COVER BEDS.
 - APPLY 1/2 POUND ORGANICOTE 8-6-12 EVERY OTHER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
 - IRRIGATION SHALL BE EITHER UNDERGROUND AUTOMATIC SYSTEM OR SHALL UTILIZE HOSE BIBS EVERY 100'.
 - TREAT ALL LANDSCAPE AREAS TO CONTROL WEED GROWTH PRIOR TO STARTING CONSTRUCTION.
 - ALL LANDSCAPE BEDS SHALL BE FREE OF SOIL AND MULCH SHALL COVER THE BARE SOIL TO EXIST MAINTENANCE.
 - DIG DOWN THE EDGE OF ALL BEDS WHERE THEY ARE ADJACENT TO WALLS, WALKWAYS OR CURBS, SO THAT THE WALL, WALKWAY, OR CURB WILL WORK AS A BED EDGE TO CONTAIN THE MULCH OR GRAVEL.
 - PLANTING BEDS SHALL HAVE AMENDED SOIL TO INSURE THE HEALTH OF THE PLANT MATERIALS.
- TREES**
- EXCAVATION FOR TREE PITS SHALL BE 8" IN DIAMETER, ORCLE TO BE CENTERED ON TREE AND TRUE IN FORM.
 - STAKE ALL TREES BY USING THREE METAL FENCE POST STAKES AND THREE TIES. DRIVE STAKES APPROXIMATELY 6" OUTSIDE OF TREE ROOTBALL AND AN EQUAL DISTANCE FROM TREE TRUNK.
 - ALL PRESERVED MATURE TREES ON THE SITE SHALL HAVE A MULCH RING ADDED AROUND THE TRUNK.
 - ALL PLANTING HOLES FOR TREES AND SHRUBS SHALL BE BACKFILLED WITH AMENDED SOIL, FREE OF SOIL.
 - ALL LANDSCAPE TREES PLANTED TO MEET STREET TREE, MITIGATION TREE OR OTHER LANDSCAPE CODE REQUIREMENTS MUST BE SINGLE STEM, MINIMUM 2" CALIPER TREES. NO DOUBLE OR TR-STEM TREES WILL BE COUNTED TOWARDS MEETING REQUIREMENTS.
 - IF PLANTING MATERIAL IS TO BE B&B THEN THE B&B MUST BE NATURAL FIBERS AND NOT SYNTHETIC.

PLANT WARRANTY

WARRANT ALL PLANT MATERIAL TO BE IN HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 2 YEARS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

- ALL LANDSCAPE AREAS WILL BE IRRIGATED BY AUTOMATIC IRRIGATION OR HOSE BIBS.

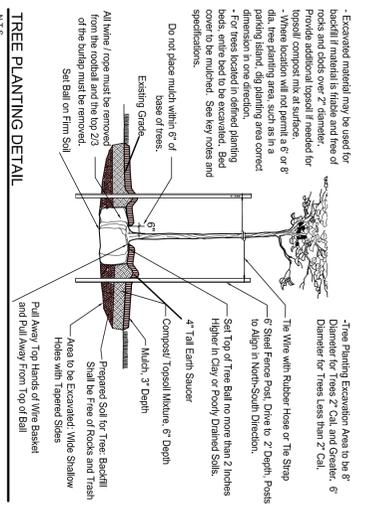
LANDSCAPE REQUIREMENTS

FRONTAGE LANDSCAPING OPTION 1 (SEC. 56-31) OF STREET FRONTAGE SHALL BE 7' SHRUBS PER 25' LINEAR FEET OF STREET FRONTAGE. LINEAR STREET FRONTAGE: 546 FT.

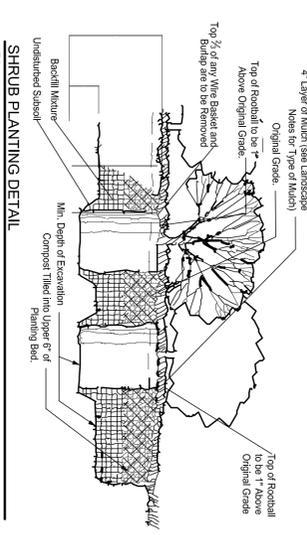
REQUIRED TREES / SHRUBS: 4 TREES / 28 SHRUBS
 EXISTING TREES PRESERVED: 2 TREES
 PROVIDED TREES / SHRUBS: 2 PR. + 2 EX. TREES / 30 SHRUBS

INTERIOR LANDSCAPING:
 8% OF PARKING LOT AREA FOR INTERIOR PLANTING:
 PROPOSED PARKING LOT AREA: 1,967 SF.
 INTERIOR LANDSCAPE AREA REQUIRED: 157 SF.
 INTERIOR LANDSCAPE AREA PROVIDED: 223 SF.

PLANT LIST	QUANTITY	COMMON NAME / BOTANICAL NAME	ROOTBALL SIZE	NOTES
1	2	WIDELEAF WHITE ACER	B&B 2' CAL.	
2	2	SMOOTHLEAF THORNLESS HONEYLOCUST	B&B 2' CAL.	
3	13	BOXWOOD	CONT. 1 GAL.	
4	18	RED TIGER GLAZED HYDRANGEA	CONT. 1 GAL.	
5	18	WINTERGREEN HYDRANGEA	CONT. 1 GAL.	



TREE PLANTING DETAIL
 N.T.S.



SHRUB PLANTING DETAIL
 N.T.S.

DRAWN BY: J. Young ENGINEER: G. Bates

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 NO. 9810
 GEOFFREY H. BATES

CERTIFICATE OF AUTHORIZATION
 BATES & ASSOCIATES, INC.
 NO. 9810

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REVISIONS	DATE
FIRST SUBMITTAL	07/02/15
REVISIONS PER TECHNICAL PLAT REVIEW	07/22/15

ADVANCED MONITORING SERVICES
 LARGE SCALE DEVELOPMENT PLANS

LANDSCAPE PLAN

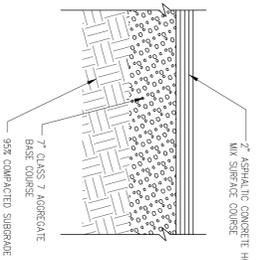
SPRINGDALE, ARKANSAS

Bates & Associates, Inc.
 Civil Engineering & Surveying

91 W. Colt Square Dr. Suite 3
 Fayetteville, Arkansas 72703 Phone • 479.442.9350 Fax 479.521.9350

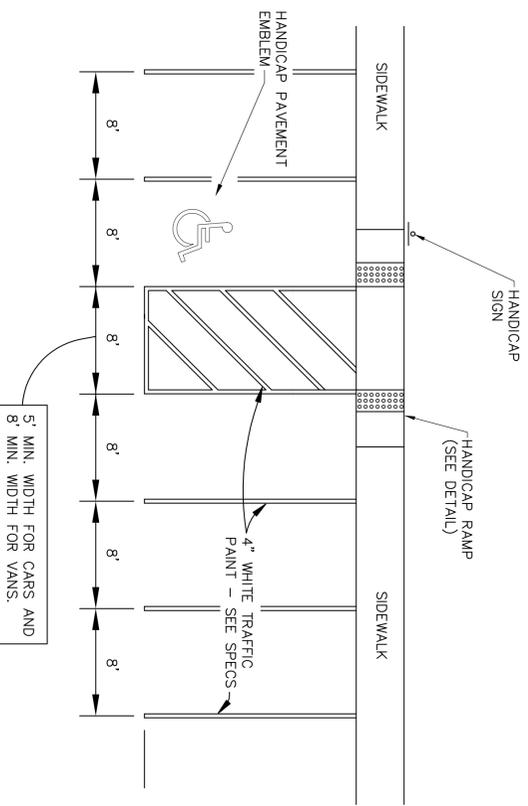
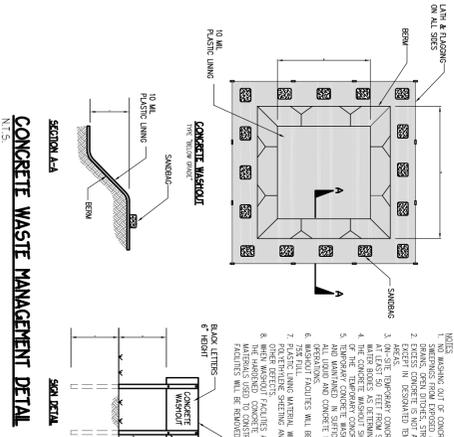
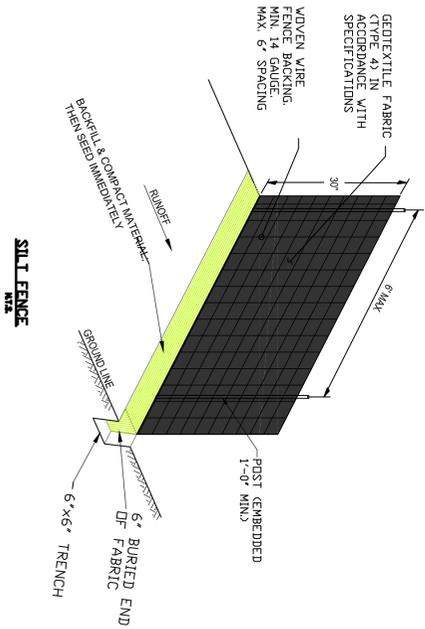
PROJECT NO. 15-151

DRAWING NO. 05

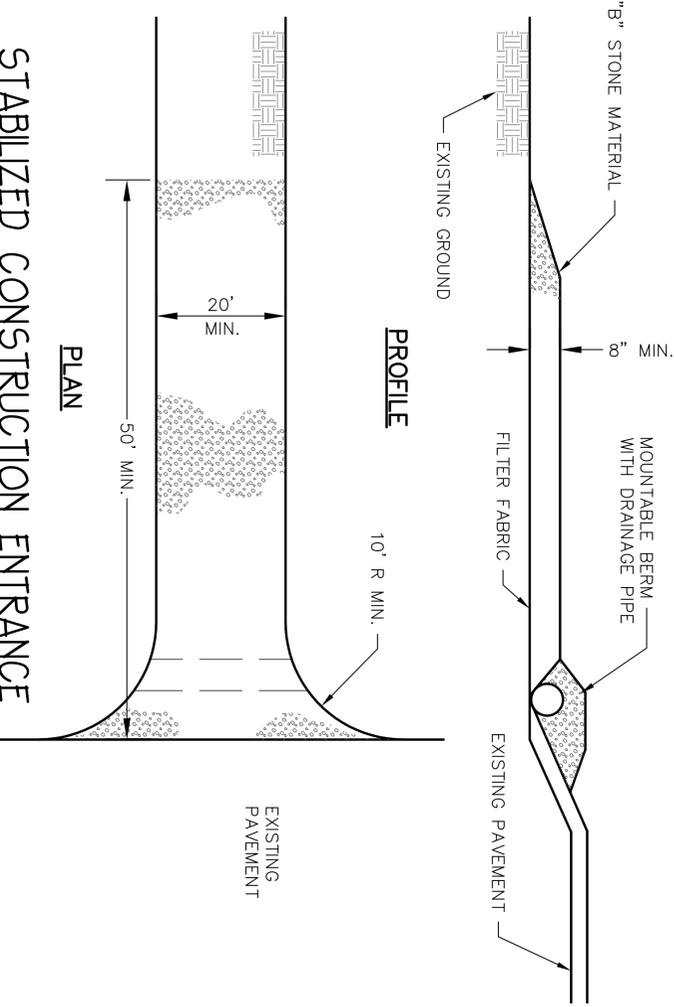


ASPHALT PAVEMENT SECTION
 N.T.S.

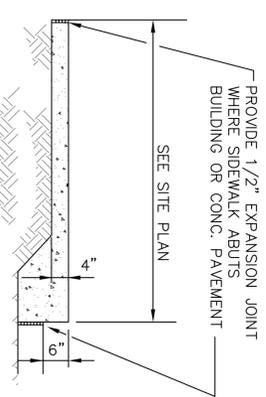
- SILT FENCE NOTES:**
1. POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE UNDISTURBED GROUND.
 2. WARDEN POSTS MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
 3. THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER TO A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE.
 4. THE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. HERE FENCES CANNOT BE TRENCHED IN G.O.G.
 5. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE SETTLED WITH COMPACTED MATERIAL.
 6. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED.
 7. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 8. ALL SILT FENCE SHOULD BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



TYP. PARKING STRIPING LAYOUT
 N.T.S.



STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.



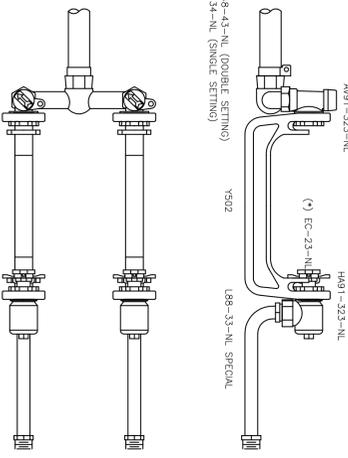
TYP. SIDEWALK SECTION
 N.T.S.

SINGLE SETTING MATERIAL LIST

QTY	DESCRIPTION	EQD.	CATALOG NUMBER	MATERIAL	MFG.
1	INLET CONNECTION	184-34-NL		P-15531N	747924-22 1X3/4
1	YOKER	184-34-NL		P-15531N	747924-22 1X3/4
1	YOKE BAR	Y502		H-5202N	14-2 3/4 4/02
1	YOKE ANGLE CHECK VALVE	H481-323-NL		H-4248N	702-3/4E 33
1	METER BOX ASSEMBLY	348-182XKX24D W/UD		H-5538N	710UP 33X30X6

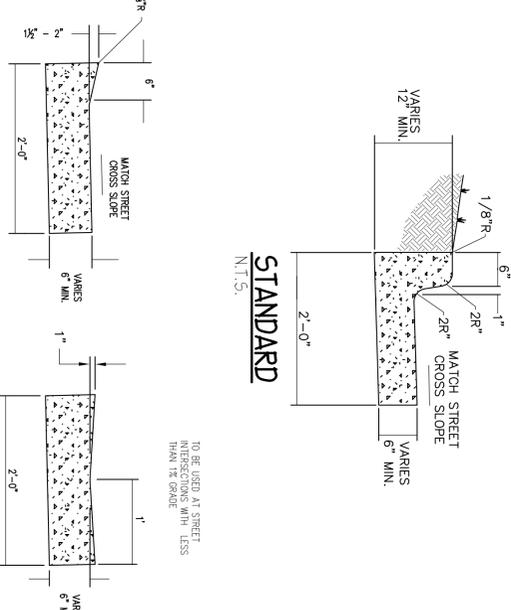
DOUBLE SETTING MATERIAL LIST

QTY	DESCRIPTION	EQD.	CATALOG NUMBER	MATERIAL	MFG.
1	ANGLE B BRANCH	U48-43-65-NL		P-15368N	708724 1X3/4 6.5
1	YOKER	Y502		H-4202N	14-2 3/4 4/02
1	YOKE ANGLE CHECK VALVE	H481-323-NL		H-4248N	702-3/4E 33
1	METER BOX ASSEMBLY	348-182XKX24D W/UD		H-5538N	710UP 33X30X6



TYPICAL 5/8" DOUBLE METER SETTING

- NOTES:**
- 1. ALL MATERIALS INSTALLED IN PORTABLE WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.
 - 2. *LETER AND EXPANSION CONNECTION EC-23-NL ARE PROVIDED BY THE DEPARTMENT.



STANDARD
 N.T.S.

- NOTES:**
1. CONCRETE FOR CURB AND GUTTERS TO BE CLASS A, 3000 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
 2. ALL CURB AND GUTTER SHALL HAVE A BROOKED FINISH UNLESS OTHERWISE SPECIFIED.
 3. WORNED CURB (TYPE I) SHALL BE PLACED ACROSS ALL DRAINWAY ENTRANCES.
 4. WORNED CURB (TYPE II) SHALL BE PLACED ACROSS ALL SIDE SHEETS WHERE THE LONGITUDINAL GRADE IS LESS THAN 1%.
 5. SAW CUT JOINTS AT 15' O.C. SEAL WITH ONE PART COLD APPLIED SOLID JOINT SEALER OR OTHER APPROVED SEALANT. ALL JOINTS TO BE SEALED FROM TO THRU ASPHALT TORSION.
 6. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGNATED FIBERGLASS OR OTHER APPROVED MATERIAL) AT THE END OF CURBS, DRAINWAYS - SEE DETAIL, OR AS DIRECTED BY ENGINEER.

CURB AND GUTTER DETAILS
 N.T.S.

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 GEOFFREY H. BATES
 No. 9810
 BATES & ASSOCIATES, INC.
 CERTIFICATE OF AUTHORIZATION
 BATES & ASSOCIATES, INC.
 ENGINEER: G. Bates
 DRAWN BY: J. Young
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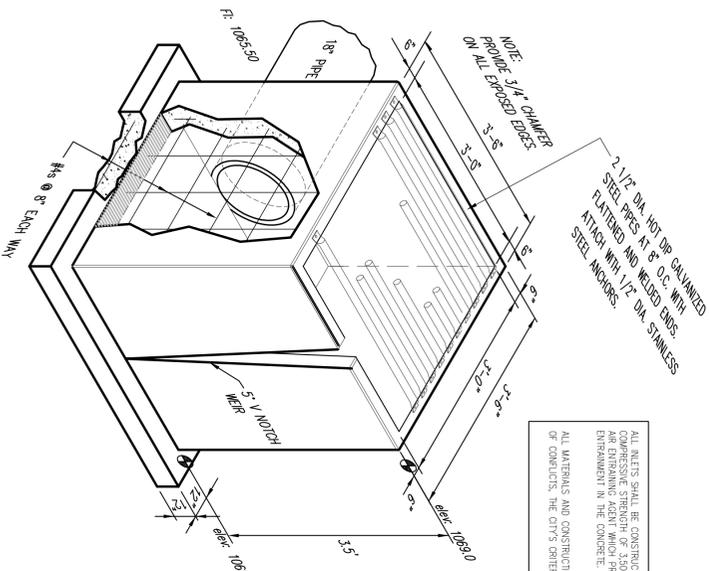
REVISIONS

NO.	DATE	DESCRIPTION
1	07/07/15	FIRST SUBMITTAL
2	07/22/15	REVISIONS PER TECHNICAL REVIEW 7/9/15

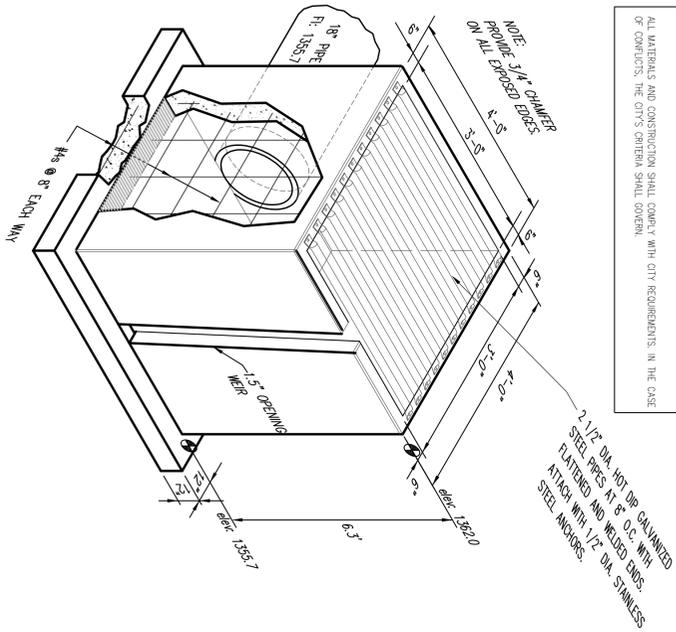
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CENTRAL ELECTRICAL CONTRACTORS
 LARGE SCALE DEVELOPMENT PLANS
 TONTITOWN, ARKANSAS

PROJECT NO. 15-198
 DRAWING NO. 06



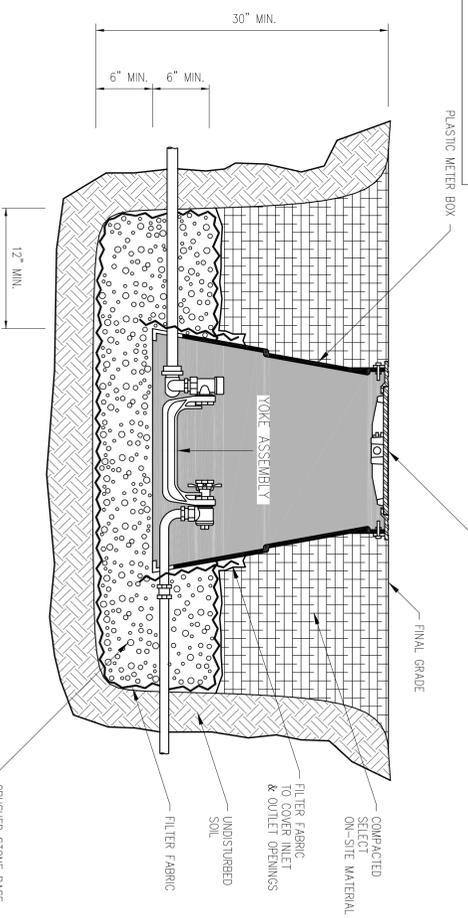
DETENTION OUTLET STRUCTURE
 N.T.S.



DETENTION OUTLET STRUCTURE
 N.T.S.

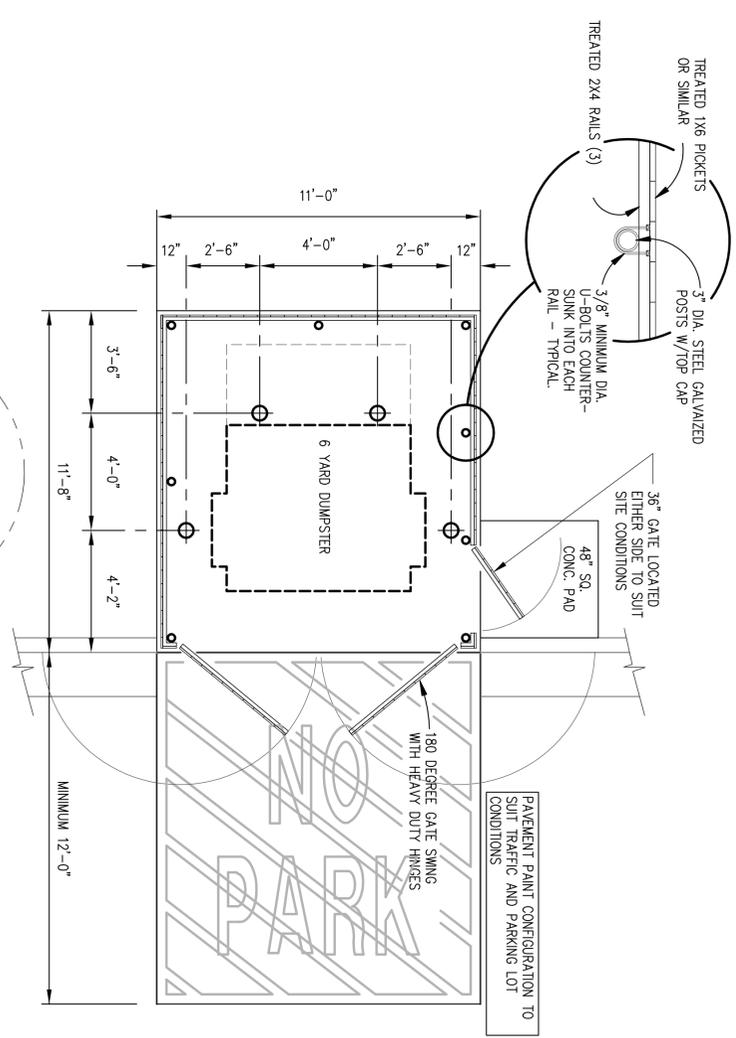
ALL METS SHALL BE CONSTRUCTED OF PORTLAND CONCRETE WITH A MINIMUM 28 DAY AIR ENTRAINING AGENT WHICH PRODUCES THE PERCENT PLUS OR MINUS TWO PERCENT AIR ENTRAINMENT IN THE CONCRETE.
 ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.

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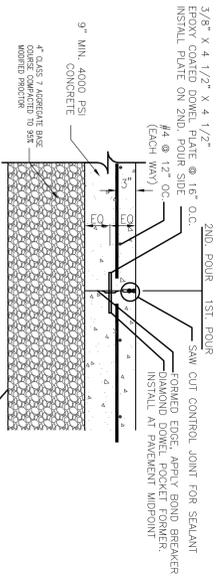


POLYETHYLENE METER BOX DETAIL
 N.T.S.

NOTE - SEE "TECHNICAL SPECIFICATIONS" FOR MATERIAL AND INSTALLATION SPECIFICATIONS
 SPLIT 5/8" X 3/4" METER SETTER (SHOWN)
 SINGLE 5/8" X 3/4" AND 1" METER SETTERS (SIMILAR)



GENERIC SCREENED DUMPSTER
 N.T.S.



JOINT CONTROL DETAIL CONCRETE PAVEMENT SECTION
 N.T.S.

PROJECT NO

15-198

DRAWING NO
07

**CENTRAL ELECTRICAL CONTRACTORS
 LARGE SCALE DEVELOPMENT PLANS**
 TONTITOWN, ARKANSAS

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 Civil Engineering & Surveying
 91 W. Colt Square Dr. • Fayetteville, Arkansas 72703 • 479.442.9350 • Fax 479.521.9350

REVISIONS	DATE
FIRST SUBMITTAL	07/07/15
REVISIONS PER TECHNICAL REVIEW	7/9/15

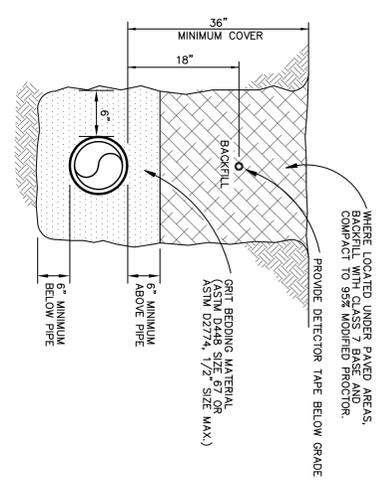
DRAWN BY: J. Young ENGINEER: G. Bates

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 G. BATES
 No. 9810

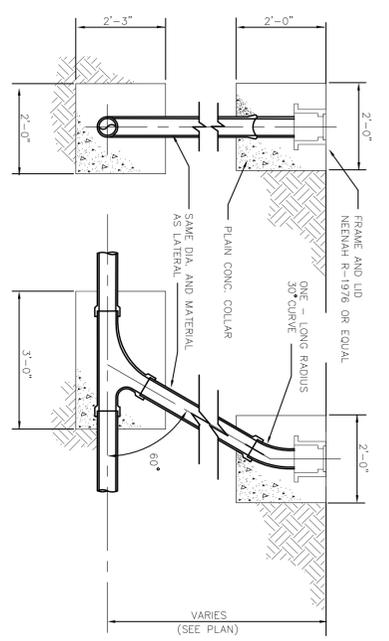
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 No. 9810

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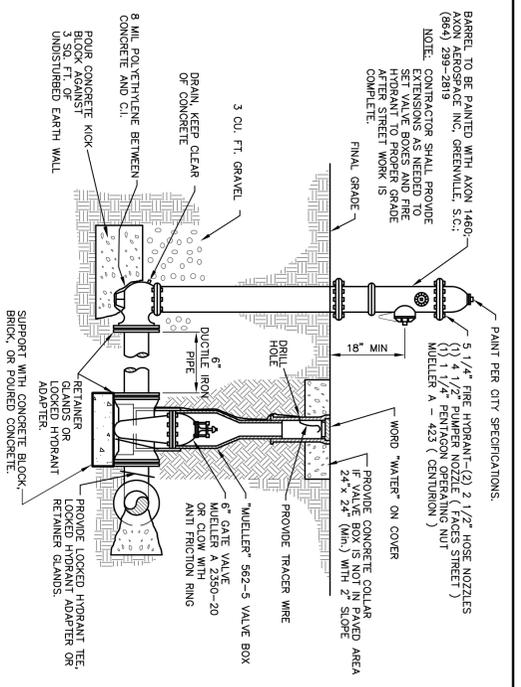
SEWER/WATER MAIN PIPE BEDDING DETAIL
 N.T.S.



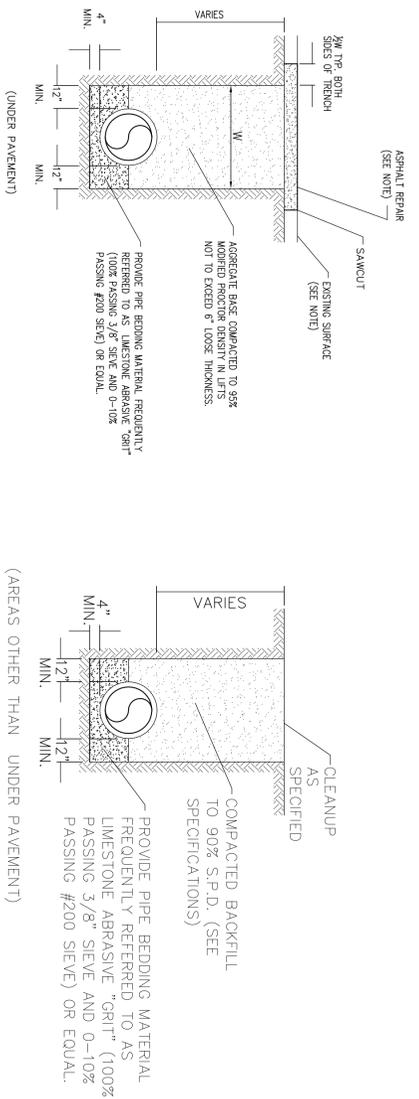
TYP. SANITARY SERVICE CLEANOUT
 N.T.S.



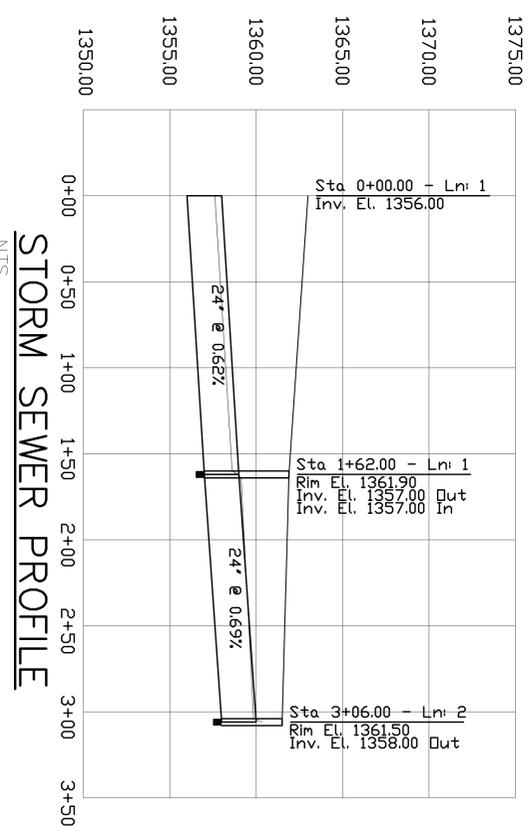
FIRE HYDRANT AND GATE VALVE DETAIL
 N.T.S.



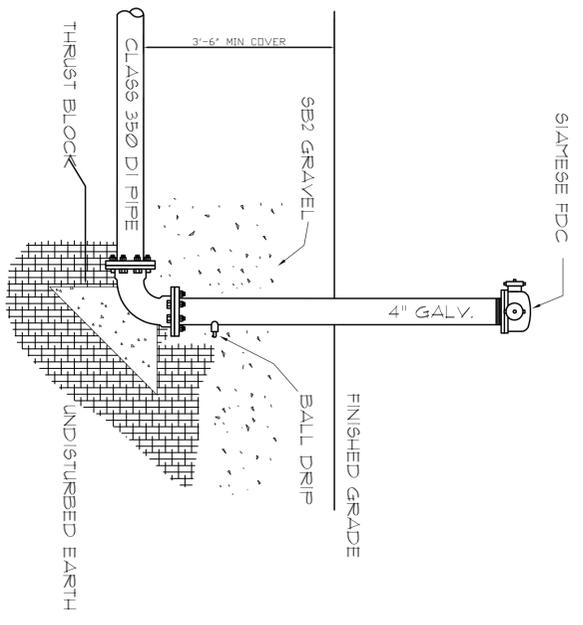
STORM SEWER BEDDING AND BACKFILL
 N.T.S.



SCALE: 1(in) = 50 (ft) H, 1(in) = 5(ft) V



FDC DETAIL
 N.T.S.



Memo

To: Planning Commission
From: Staff
Date: August 4, 2015
RE: L15-12 Large Scale Development Miller Commercial, LLC

Planning Comments

- 1) A screening fence is required in accordance with Chapter 56. Show trees associated with screen.
- 2) All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
- 3) This development must comply with the City Of Springdale Commercial Design Standards or a variance is required.
- 4) Provide shared access/parking easement document.
- 5) Canopy crosses the property line, confirm requirements with Fire Marshal and Building Inspection Division. A lot combination may be required.

Commercial Design Standards Comments

- 1) All sides of a principal building that directly faces an abutting public right-of-way shall feature at least one customer entrance unless, the principal building directly faces more than 2 abutting rights-of-way then only 2 entrances are required, one along the primary street and one along a secondary street.
- 2) A 5' wide sidewalk along the full length of the building along any side that features a customer entrance is required. This sidewalk shall be setback from the building foundation at least 6' to provide areas for foundation landscaping.
- 3) Need detailed drawings of enclosures and screening methods.

- 4) When a commercial development includes a fence or wall, the following guidelines and standards apply:
 - a. Maximum height of a fence or wall shall be 8'
 - b. Constructed of high quality materials such as, decorative blocks, brick, stone, cypress, cedar, redwood, and/or wrought iron.
 - c. Maximum length of a continuous, unbroken, and uninterrupted fence or wall shall be 50'. Breaks shall be provided through the use of columns, landscaping pockets, transparent sections, and/or a change to different materials.
- 5) Submit a unified lighting plan per Springdale Commercial Design Standards.

Engineering Comments

- 1) Sect 107 The site area of disturbance is between 0.5 and 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$250.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / [Grading](http://www.springdalear.gov/department/planning_and_community_development/) at http://www.springdalear.gov/department/planning_and_community_development/

PLANS FOR A
LARGE SCALE DEVELOPMENT

TO SERVE

MILLER COMMERCIAL, LLC

A COMMERCIAL DEVELOPMENT

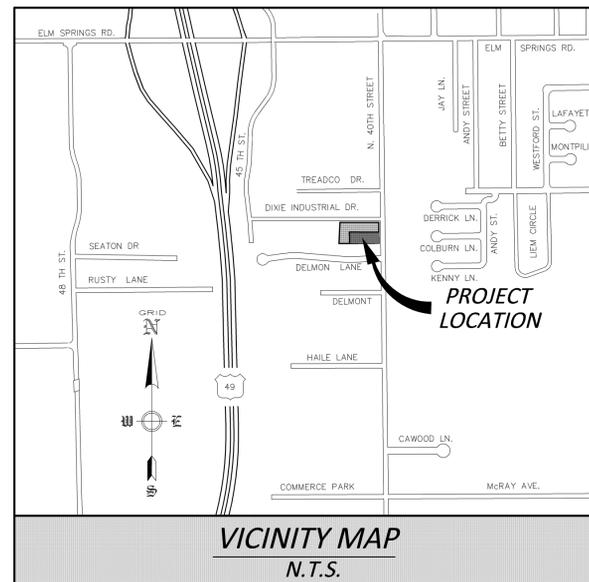
IN

SPRINGDALE, ARKANSAS

L15-12



INDEX OF SHEETS	
SHEET No.	DESCRIPTION
1	LARGE SCALE DEVELOPMENT
2	TYPICAL DETAILS
3	SWPPP
4	LANDSCAPE PLAN



July 22, 2015

BY
ENGINEERING SERVICES INC.

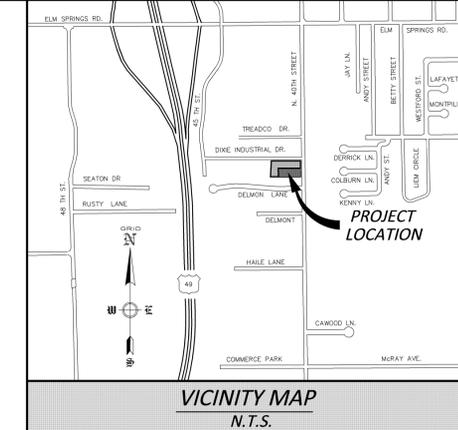
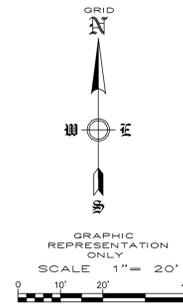


CONSULTING ENGINEERS
 SPRINGDALE, ARKANSAS
 PHONE: 479-751-8733
 FAX: 479-751-8746
 WWW.ENGINEERINGSERVICES.COM

THOMAS J. APPEL, P.E. No. 13828
 ENGINEERING SERVICES, INC.

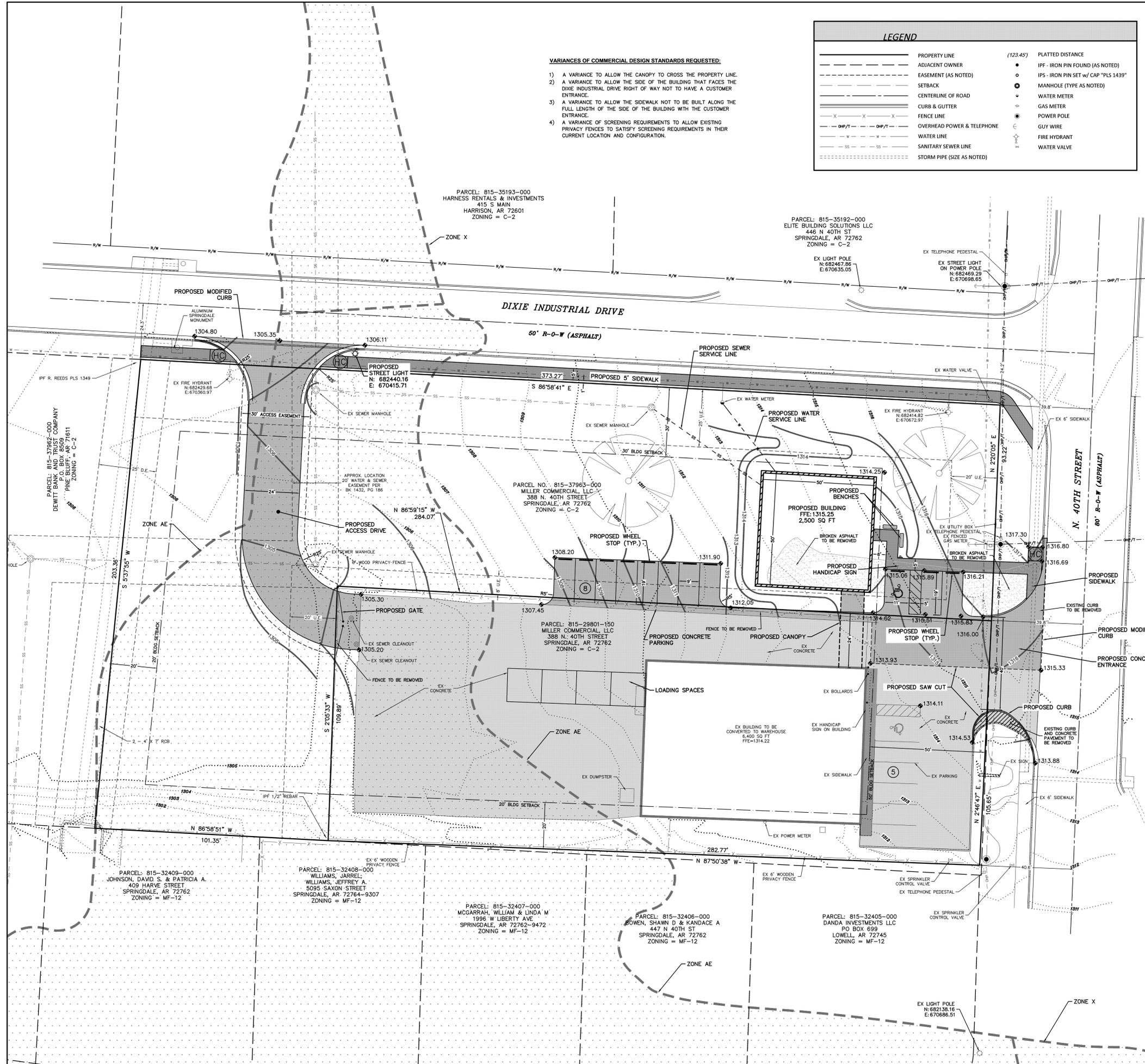
NOTES :
 ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE
 REQUIREMENTS OF THE CITY OF SPRINGDALE, ARKANSAS.

LEGEND	
—	PROPERTY LINE
- - -	ADJACENT OWNER
- - -	EASEMENT (AS NOTED)
- - -	SETBACK
- - -	CENTERLINE OF ROAD
- - -	CURB & GUTTER
- - -	FENCE LINE
- - -	OVERHEAD POWER & TELEPHONE
- - -	WATER LINE
- - -	SANITARY SEWER LINE
- - -	STORM PIPE (SIZE AS NOTED)
(123.45)	PLATTED DISTANCE
●	IPF - IRON PIN FOUND (AS NOTED)
○	IPS - IRON PIN SET w/ CAP "PLS 1439"
○	MANHOLE (TYPE AS NOTED)
○	WATER METER
○	GAS METER
○	POWER POLE
○	GUY WIRE
○	FIRE HYDRANT
○	WATER VALVE



VARIANCES OF COMMERCIAL DESIGN STANDARDS REQUESTED:

- 1) A VARIANCE TO ALLOW THE CANOPY TO CROSS THE PROPERTY LINE.
- 2) A VARIANCE TO ALLOW THE SIDE OF THE BUILDING THAT FACES THE DIXIE INDUSTRIAL DRIVE RIGHT OF WAY NOT TO HAVE A CUSTOMER ENTRANCE.
- 3) A VARIANCE TO ALLOW THE SIDEWALK NOT TO BE BUILT ALONG THE FULL LENGTH OF THE SIDE OF THE BUILDING WITH THE CUSTOMER ENTRANCE.
- 4) A VARIANCE OF SCREENING REQUIREMENTS TO ALLOW EXISTING PRIVACY FENCES TO SATISFY SCREENING REQUIREMENTS IN THEIR CURRENT LOCATION AND CONFIGURATION.



OWNER/DEVELOPER:	MILLER COMMERCIAL, LLC 388 N 40TH STREET SPRINGDALE, AR 72762
SURVEYOR:	ENGINEERING SERVICES, INC. 1207 S. OLD MISSOURI ROAD P.O. BOX 282 SPRINGDALE, AR 72765
CITY ZONING:	C-2
SETBACKS:	FRONT - 50' W/ PARKING SIDE - 0' REAR - 20' WHEN CONTIGUOUS TO RESIDENTIAL DISTRICT
GROSS AREA:	(ACREAGES ARE APPROXIMATE) PARCEL # 815-29801-000 0.70 ACRES PARCEL # 815-37963-000 1.05 ACRES TOTAL APPROXIMATE GROSS AREA = 1.75 ACRES
NET AREA:	(ACREAGES ARE APPROXIMATE) PARCEL # 815-29801-000 0.70 ACRES PARCEL # 815-37963-000 1.05 ACRES TOTAL APPROXIMATE NET AREA = 1.75 ACRES
EXISTING BUILDING SIZE:	CONVERTED WAREHOUSE: 6,400 SQ. FT. (WAREHOUSE 1 PER 1,200 SQ. FT. = 6 SPACES)
PROPOSED BUILDING SIZE:	TOTAL PROPOSED BUILDING: 2,500.00 SQ. FT. OFFICE: 1,550 SQ. FT. SHOWROOM: 950 SQ. FT. (SHOWROOM 1 PER 200 SQ. FT. = 5 SPACES)
PARKING SPACES REQUIRED:	17 (INCLUDING 1 A.D.A. ACCESSIBLE)
PARKING SPACES PROVIDED:	17 (INCLUDING 2 A.D.A. ACCESSIBLE)

PARCEL NUMBER: 815-29801-150
LEGAL DESCRIPTION:
PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SE 1/4) OF SECTION THIRTY-THREE (33), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTY (30) WEST, WASHINGTON COUNTY, ARKANSAS, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT 385 FEET SOUTH OF THE NORTHEAST CORNER OF SAID 40 ACRES TRACT, AND RUNNING THENCE SOUTH 110 FEET; THENCE WEST 320 FEET; THENCE NORTH 110 FEET; THENCE EAST 320 FEET TO THE POINT OF BEGINNING, CONTAINING 0.81 ACRES, MORE OR LESS.

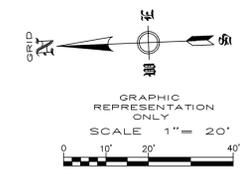
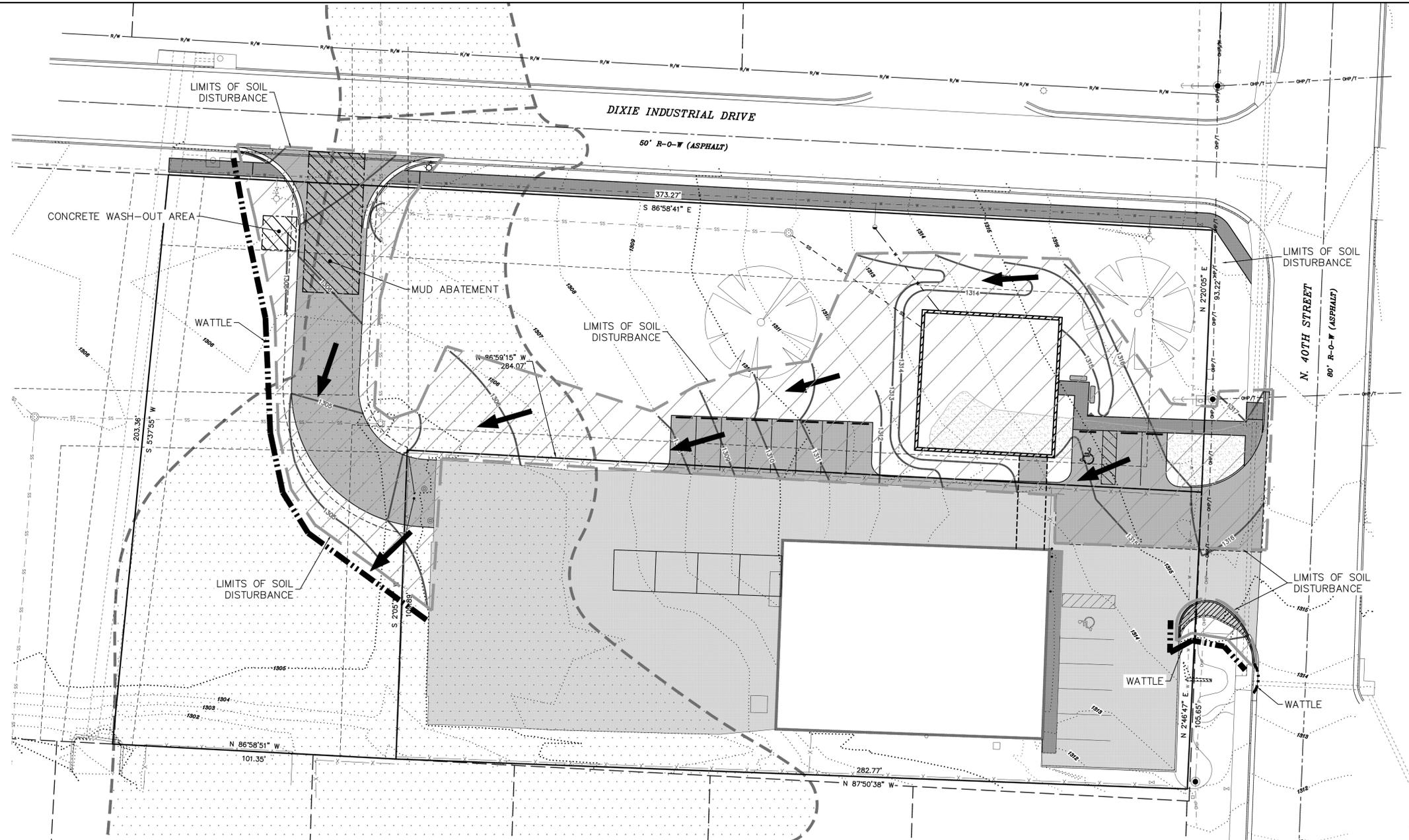
PARCEL NUMBER: 815-37963-000
LEGAL DESCRIPTION:
LOT 4, DIXIE INDUSTRIAL CENTER, TO THE CITY OF SPRINGDALE, ARKANSAS, AS SHOWN IN PLAT RECORD BOOK 23 AT PAGE 261, ON FILE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS.

FLOOD PLAIN ZONING:
THIS PROPERTY IS PARTIALLY WITHIN THE FLOOD PLAIN ZONE 'AE', DESIGNATED AS AN AREA WHERE BASE FLOOD ELEVATIONS BETWEEN 1304' AND 1305' HAVE BEEN DETERMINED, AS SHOWN ON THE F.I.R.M. MAP # 05143C0060 F, PANEL 60 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

- NOTES:**
- 1) ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED (EXAMPLE: 15'00" AS TO BACK OF CURB).
 - 2) ALL PROPOSED CURBING SHALL BE 6" WIDE X 6" HIGH.
 - 3) A.D.A. ACCESSIBLE RAMPS TO HAVE A MAXIMUM INCLINATION RATIO OF 12:1.
 - 4) ANY COST OF ADJUSTMENTS, RELOCATION OR DAMAGE OF EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE OWNERS/DEVELOPERS.
 - 5) THE MINIMUM INITIAL RATING FOR THE STREETLIGHTS SHALL BE 6,800 LUMENS FOR A LOCAL STREET, 11,000 LUMENS FOR A COLLECTOR STREET, OR 20,000 LUMENS FOR AN ARTERIAL STREET. FIXTURES SHALL BE BY LSI LIGHTING MODEL CROSSOVER XRM. (RPL-ARM-11W-40-100-COS).
 - 6) MODIFIED CURB REQUIRED AT ALL DRIVES.
 - 7) ALL UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND, EXCLUDING 12KV AND ABOVE.
 - 8) EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - 9) ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - 10) WHEN A COMMERCIAL DEVELOPMENT INCLUDES A FENCE OR WALL, THE FOLLOWING GUIDELINES AND STANDARDS APPLY:
 - A. MAXIMUM HEIGHT OF A FENCE OR WALL SHALL BE 6'.
 - B. CONSTRUCTED OF HIGH QUALITY MATERIALS SUCH AS DECORATIVE BLOCKS, BRICK, STONE, CYPRESS, CEDAR, REDWOOD, AND/OR WROUGHT IRON.
 - C. MAXIMUM LENGTH OF A CONTINUOUS, UNBROKEN, AND UNINTERRUPTED FENCE OR WALL SHALL BE 50'. BREAKS SHALL BE PROVIDED THROUGH THE USE OF COLUMNS, LANDSCAPING POCKETS, TRANSPARENT SECTIONS, AND/OR A CHANGE TO DIFFERENT MATERIALS.
 - 11) THE GLOBAL POSITIONING SYSTEM (GPS) AND CONVENTIONAL TERRESTRIAL SURVEYING EQUIPMENT PROVIDED THE RELATIVE POSITIONING FOR THE TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY LOCATIONS SHOWN HEREON.
 - 12) THE MAP PROJECTION IS REFERENCED TO THE HORIZONTAL CONTROL DATUM OF NAD83 (NORTH AMERICAN DATUM OF 1983), STATE PLANE COORDINATE SYSTEM, ARKANSAS NORTH ZONE (0301). THE BASIS OF BEARINGS FOR THIS PLAT ARE STATE PLANE GRID BEARING. THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

REVISION	DATE	DESCRIPTION

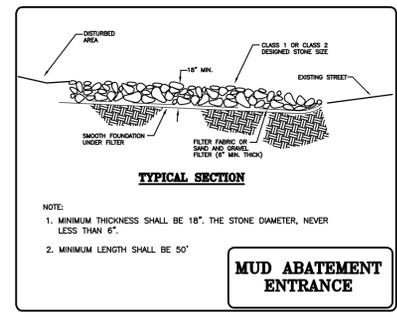
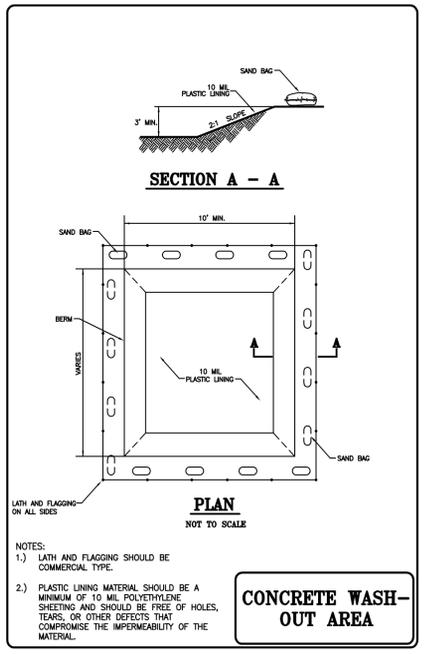
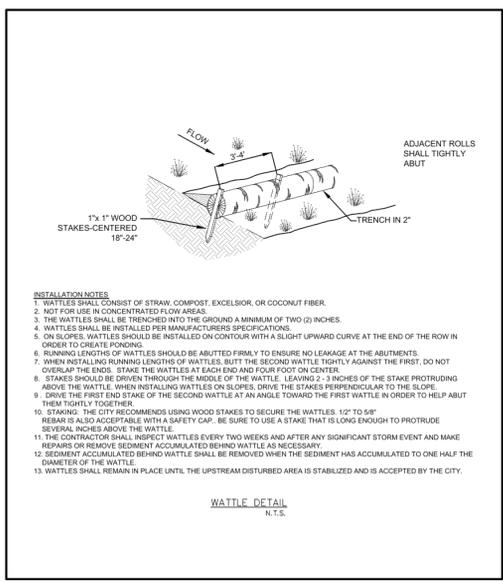
SCALE: 1"=20'
DATE: Jul, 2015
ENGINEER: TJA
DRAWN BY: DB
W.O. #: 15924
1



- NOTES:
- NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
 - SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
 - STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
 - PLACE FILTER FABRIC ON ALL CURB INLETS.
- *WATTLES & CHECK DAMS ARE USED AS ENERGY DISSIPATION DEVICES
- *WATTLES & CHECK DAMS ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE
- *WATTLES & CHECK DAMS MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED
- TOTAL AREA OF SOIL DISTURBANCE = 0.55 ACRES

NOTE:
NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGDALE.

STORM WATER POLLUTION PREVENTION PLAN
MILLER COMMERCIAL, LLC
SPRINGDALE ARKANSAS



- NOTE:
NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF LOWELL.
- WITHIN 40 DAYS OF PLACEMENT OF CURBS, THEY SHALL BE BACKFILLED, FINE GRADED WITH A MINIMUM OF 4-INCHES OF TOPSOIL, AND HYDROMULCHED OR SODDED WITH PERMANENT GRASSES.
- ALL DISTURBED AREAS, THAT ARE NOT PAVED, SHALL BE TOPSOILED, SEEDED AND STRAWED UNTIL GRASS IS ESTABLISHED.
- CONSTRUCTION SEQUENCE:
- INSTALL EROSION CONTROL.
 - STRIP EXISTING TOP SOIL.
 - PREPARE SUB-GRADE AND BASE MATERIAL.
 - POUR CONCRETE AND ASPHALT.
 - FINAL GRADING AND ESTABLISH VEGETATION.

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'

DATE: Jul. 2015

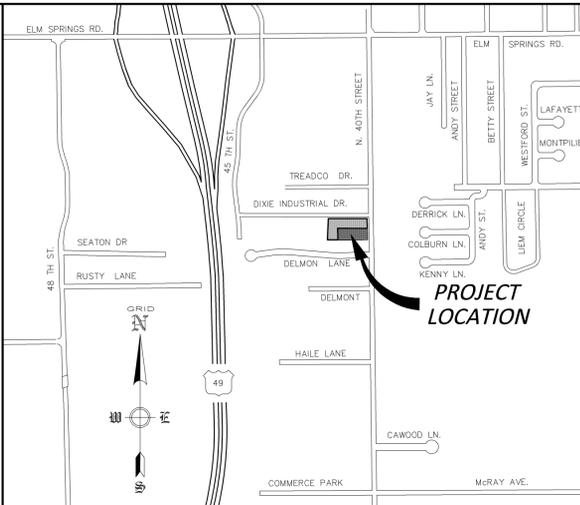
ENGINEER: TJA
DRAWN BY: DB

W.O. #: 15924



LEGEND

	PROPERTY LINE
	EXISTING CONTOURS
	EXISTING BACK OF CURB
	EXISTING CENTERLINE
	EXISTING OVERHEAD POWER W/ POWER POLE AND GUY WIRE
	EXISTING SEWER LINE
	EXISTING WATERLINE
	EXISTING SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING DRIVE ARROW
	PROPOSED DRIVE ARROW
	PROPOSED BACK OF CURB
	PROPOSED CONTOURS



VICINITY MAP
N.T.S.

LANDSCAPE LEGEND

	PROPOSED PARKING LOT LANDSCAPE AREA
--	-------------------------------------

OWNER: MILLER COMMERCIAL, LLC
388 N 40TH STREET
SPRINGDALE, AR 71611

SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

CITY ZONING: C-2

SETBACKS:
FRONT - 50' W/ PARKING
30' W/O PARKING
SIDE - 0'
20' WHEN CONTIGUOUS TO RESIDENTIAL DISTRICT
REAR - 20'

INTERIOR PARKING LOT LANDSCAPING PROVIDED:

TOTAL REQUIRED: 8% OF TOTAL PARKING LOT AREA = 275 SQ. FT.
TOTAL PROVIDED = 1,510 SQ. FT.
PARKING LOT AREA: 3,430 SQ. FT. TOTAL
% TOTAL AREA OF PARKING LOT: 1,510 / 3,430 = 44.02 %

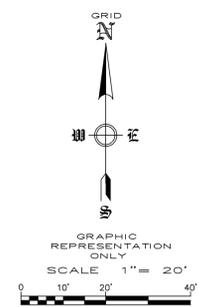
- LANDSCAPING NOTES:**
- 1) ALL LANDSCAPING SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CITY OF SPRINGDALE LANDSCAPE ORDINANCE # 3306.
 - 2) ALL TREES, SHRUBS, AND PLANTS USED IN THE PROPOSED LANDSCAPING SHALL BE SELECTED BY THE OWNER FROM THE RECOMMENDED LISTS IN SAID LANDSCAPE ORDINANCE # 3306.
 - 3) ALL TREES TO BE MINIMUM 8" TALL WITH MINIMUM 2" CALIPER
 - 4) LANDSCAPING SHALL BE GUARANTEED FOR TWO YEARS.
 - 5) HOSE BIBS SHALL BE INSTALLED TO MEET LANDSCAPING REQUIREMENTS.
 - 6) ALL LANDSCAPING TO BE DRESSED WITH 4" OF PINE BARK MULCH AFTER INSTALLATION.
 - 7) ALL DISTURBED AREAS TO BE SEEDED.
 - 8) METAL EDGING TO BE PLACED AROUND ALL PLANTING BEDS, AS SHOWN ON PLANS

INDEX OF PLANTS

PLANT SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # PLANTS	SIZE
①	YAUPOH HOLLY	Ilex vomitoria	7	2 GAL.
②	RED CHOKEBERRY	Aronia arbutifolia	12	2 GAL.
③	BUMALD SPIREA	Spiraea 'x' bumalda	11	2 GAL.

INDEX OF TREES

TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	SIZE
	WATER OAK	Quercus nigra	3	B & B
	CHINESE PISTACHE	Pistacia Chinensis	4	B & B



LANDSCAPE PLAN
MILLER COMMERCIAL, LLC
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'

DATE: Jul, 2015

ENGINEER: TJA

DRAWN BY: DB

W.O. #: 15924

Memo

To: Planning Commission
From: Staff
Date: August 4, 2015
RE: L15-13 Large Scale Development American Tubing

Planning Comments

- 1) Property will need to be re-platted into one lot.
- 2) All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

Engineering Comments

- 1) **Sect 106 Drainage**
 - a. Need to show spot elevations at the drives to prove that there is a high spot so that water does not drain to the street.
- 2) Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/departments/planning_and_community_development/

PLANS FOR

LARGE SCALE DEVELOPMENT

TO SERVE

AMERICAN TUBING ARKANSAS, LLC

AN INDUSTRIAL DEVELOPMENT

IN THE CITY OF

SPRINGDALE, ARKANSAS

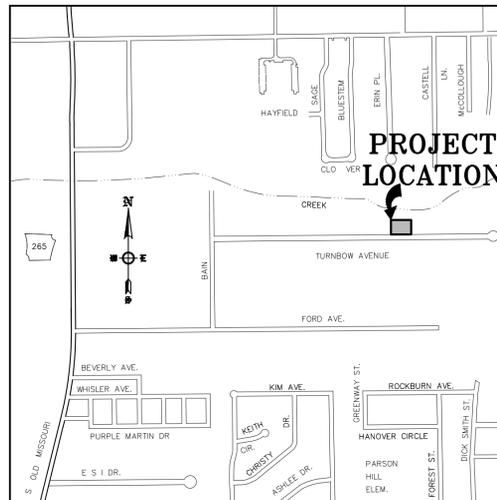
L 15-13

JULY 22, 2015

BY
ENGINEERING SERVICES INC.



CONSULTING ENGINEERS
SPRINGDALE, ARKANSAS
PHONE: 479-751-8733
FAX: 479-751-8746
WWW.ENGINEERINGSERVICES.COM



VICINITY MAP
NTS

INDEX OF SHEETS	
SHEET No.	DESCRIPTION
1	LARGE SCALE DEVELOPMENT
2	UTILITY PLAN
3	TYPICAL DETAILS
4	STORM WATER POLLUTION PREVENTION PLAN
5	LANDSCAPE PLAN

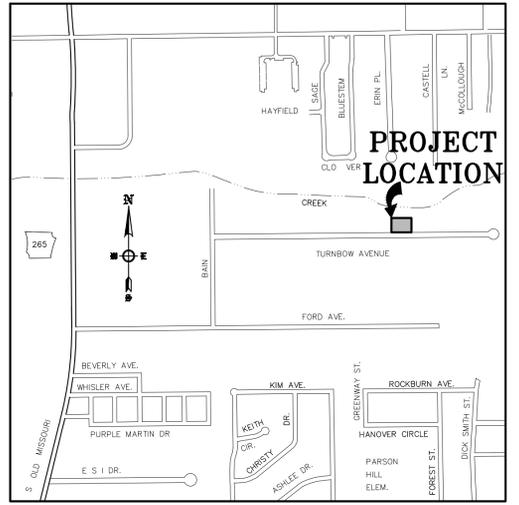
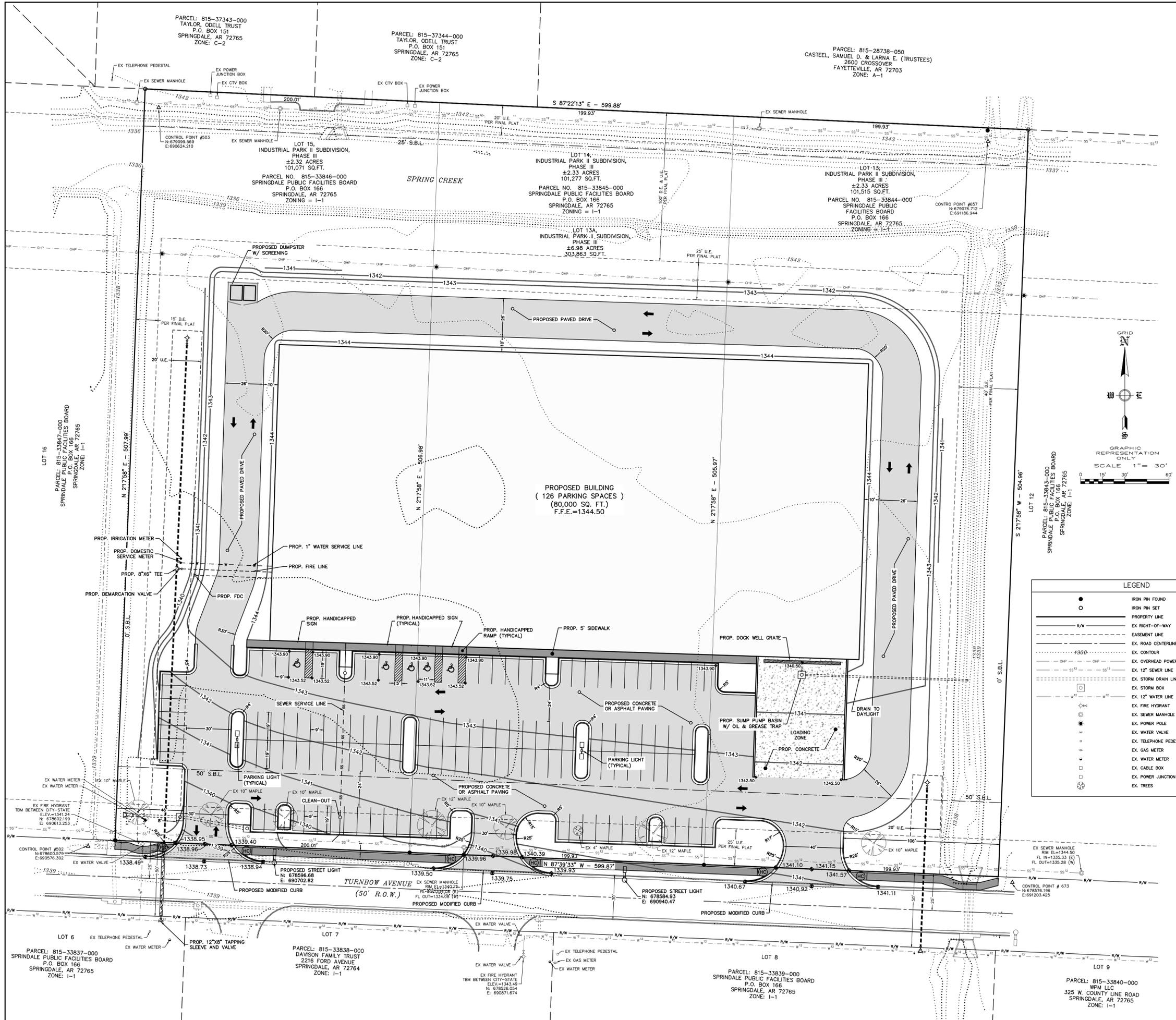
REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF SPRINGDALE ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF SPRINGDALE RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

BO B. WILKINS, P.E. No.14528
ENGINEERING SERVICES, INC.

NOTES :

ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF SPRINGDALE, ARKANSAS, AS CONTAINED IN CHAPTER 110, ART. III, OF THE CODE OF ORDINANCES, CITY OF SPRINGDALE, ARKANSAS.

ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF SPRINGDALE WATER UTILITIES.



VICINITY MAP
NTS

OWNER: SPRINGDALE PUBLIC FACILITIES BOARD
P.O. BOX 166
SPRINGDALE, AR 72765

DEVELOPER: AMERICAN TUBING ARKANSAS, LLC
2191 FORD AVENUE
SPRINGDALE, AR 72764

ENGINEER/SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72762

ZONING: I-1

GROSS AREA: 6.98 ACRES

NET AREA: 6.98 ACRES

PROPOSED BUILDING SIZE: PROPOSED BUILDING - 80,000 SQ. FT.
(MANUFACTURING-74,000 SQ. FT.)
(OFFICE=6,000 SQ. FT.)

PARKING SPACES REQUIRED: 32 (INCLUDING 2 A.D.A. ACCESSIBLE)
(MANUFACTURING, PROCESSING AND WHOLESALE 1 PER 6,000 SQ. FT.)
(OFFICE 1 PER 300 SQ. FT.)

PARKING SPACES PROVIDED: 126 (INCLUDING 5 A.D.A. ACCESSIBLE)

SETBACKS:
FRONT - 30'
50' W/ PARKING BETWEEN R/W AND BUILDING
SIDE - 0'
REAR - 25'
50' ADJACENT TO RESIDENTIAL USES

FLOOD PLAIN ZONING:
THIS PROPERTY IS WITHIN THE FLOOD PLAIN ZONE 'X' (UNSHADED), DESIGNATED AS AN AREA DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE F.I.R.M. MAP # 05143C0090 F, PANEL 90 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

SURVEY DESCRIPTION:
PARCEL NO. 815-33844-000, 815-33845-000, 815-33846-000
ALL OF LOTS 13, 14 & 15, INDUSTRIAL PARK II, PHASE III, TO THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AS SHOWN IN PLAT BOOK 15, AT PAGE 44 IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS.

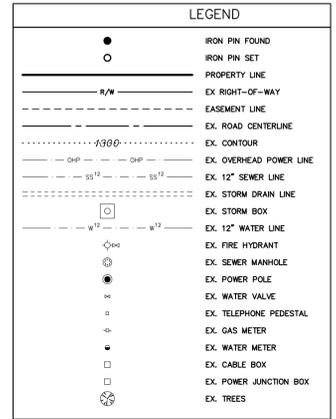
NOTES:

- ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED (EXAMPLE: 15'30" AS TO BACK OF CURB).
- ALL PROPOSED CURBING SHALL BE 6" WIDE X 6" HIGH.
- A.D.A. ACCESSIBLE RAMPS TO HAVE A MAXIMUM INCLINATION RATIO OF 12:1.
- ANY COST OF ADJUSTMENTS, RELOCATION OR DAMAGE OF EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE OWNERS/DEVELOPERS.
- THE MINIMUM INITIAL RATING FOR THE STREETLIGHTS SHALL BE 6,800 LUMENS FOR A LOCAL STREET, 11,000 LUMENS FOR A COLLECTOR STREET, OR 20,000 LUMENS FOR AN ARTERIAL STREET. FIXTURES SHALL BE BY ILS LIGHTING MODEL CROSSOVER ARM, #SPL-XRM3-119W/LED/UE-MSV-IPC-PC-COS.
- MODIFIED CURB REQUIRED AT ALL DRIVES.
- ALL UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND.
- EXCLUDING 12Kv AND ABOVE.
- OUTDOOR STORAGE, TRASH COLLECTION, AND LOADING AREAS MUST BE LANDSCAPED, SO THAT THEIR FUNCTIONS ARE FULLY CONTAINED AND OUT OF VIEW OF THE ADJACENT PROPERTY AND THE PUBLIC RIGHT-OF-WAY.
- EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
- THE GLOBAL POSITIONING SYSTEM (GPS) AND CONVENTIONAL TERRESTRIAL SURVEYING EQUIPMENT PROVIDED THE RELATIVE POSITIONING FOR THE TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY LOCATIONS SHOWN HEREON.

THE MAP PROJECTION IS REFERENCED TO THE HORIZONTAL CONTROL DATUM OF NAD83 (NORTH AMERICAN DATUM OF 1983), STATE PLANE COORDINATE SYSTEM, ARKANSAS NORTH ZONE (0301). THE BASIS OF BEARINGS FOR THIS PLAT ARE STATE PLANE GRID BEARING. THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TWO TEMPORARY BENCHMARKS UTILIZING THIS DATUM ARE SHOWN HEREON.

VARIANCES REQUESTED

- VARIANCE TO NOT HAVE A HIGH SPOT IN THE DRIVES.



LARGE SCALE DEVELOPMENT
AMERICAN TUBING ARKANSAS, LLC
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=30'

DATE: Jul, 2015

ENGINEER: BSW

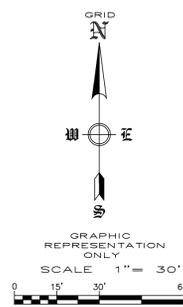
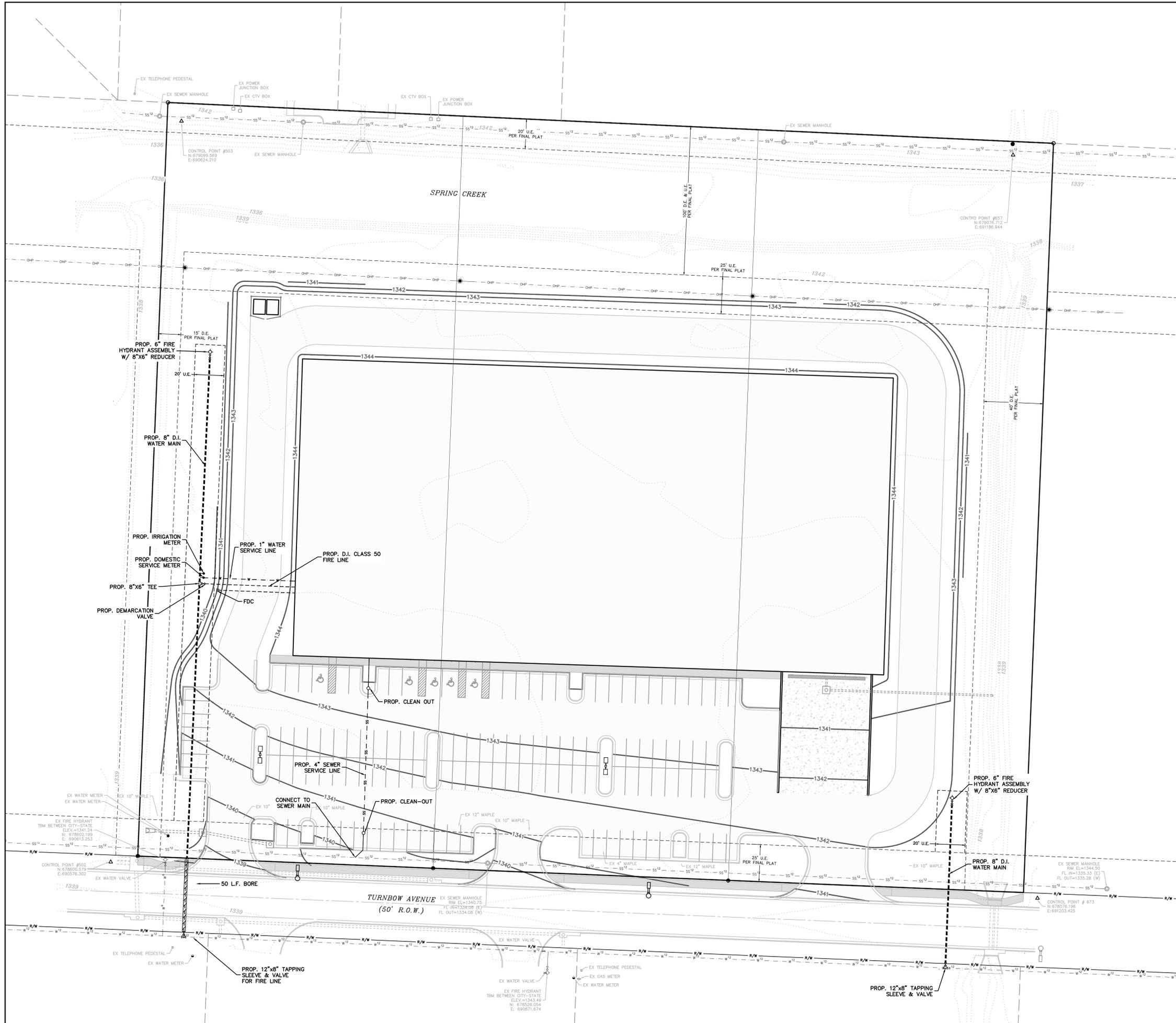
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W.O. #: 15931

L15-13

1

UTILITY PLAN
AMERICAN TUBING ARKANSAS, LLC
SPRINGDALE, ARKANSAS



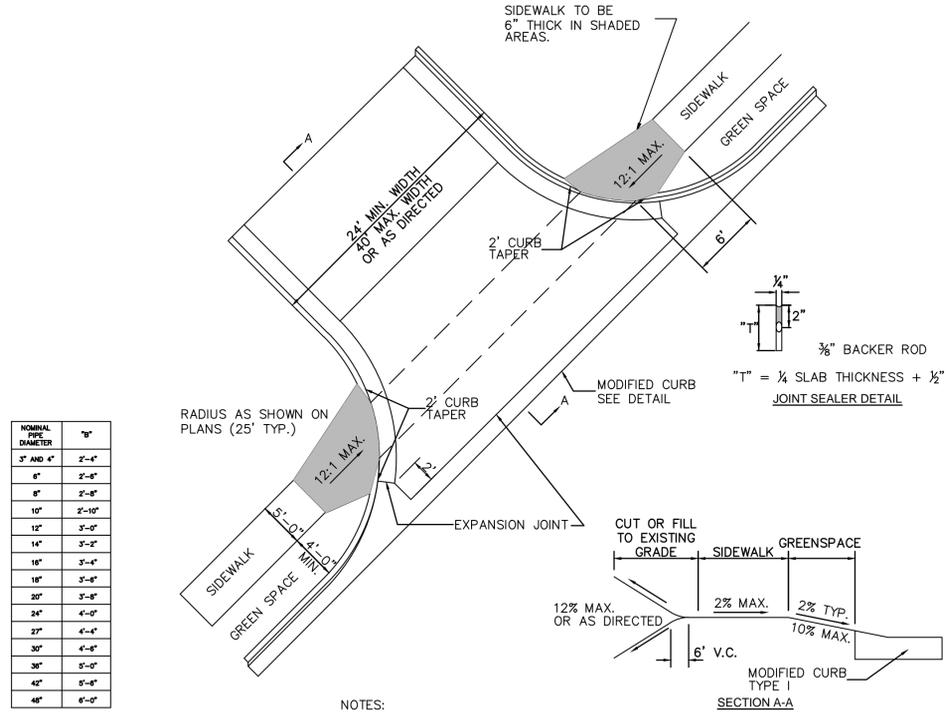
LEGEND

●	IRON PIN FOUND
○	IRON PIN SET
—	PROPERTY LINE
R/W	EX RIGHT-OF-WAY
---	EASEMENT LINE
---	EX. ROAD CENTERLINE
---	EX. CONTOUR
---	EX. OVERHEAD POWER LINE
---	EX. 12" SEWER LINE
---	EX. STORM DRAIN LINE
□	EX. STORM BOX
---	EX. 12" WATER LINE
○	EX. FIRE HYDRANT
○	EX. SEWER MANHOLE
○	EX. WATER VALVE
○	EX. TELEPHONE PEDESTAL
○	EX. GAS METER
○	EX. WATER METER
○	EX. CABLE BOX
□	EX. POWER JUNCTION BOX
○	EX. TREES

REVISION	DATE	DESCRIPTION

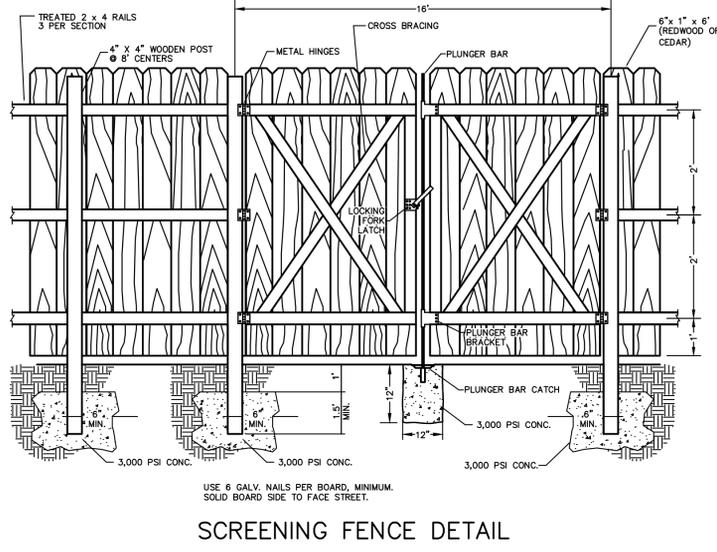
SCALE: 1"=30'
 DATE: Jul, 2015
 ENGINEER: BSW
 DRAWN BY: GA - TL
 W.O. #: 15931

L15-13

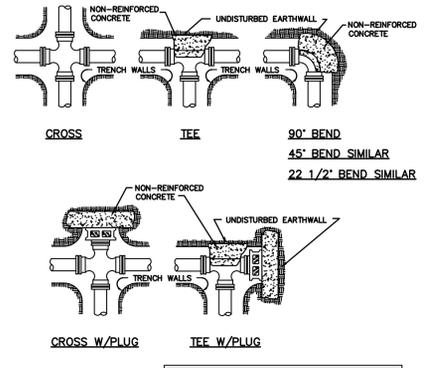


- NOTES:
- DRIVEWAY TO BE CONSTRUCTED TO THE RADIUS TANGENT POINTS AND ALSO TO STREET R/W AS DIRECTED, IF NEEDED.
 - 1/2" PREFORMED EXPANSION MATERIAL CONFORMING TO AASHTO M213, ASTM D-1752, TYPE 1 OR REDWOOD SHALL BE PLACED AS SHOWN, OR AS DIRECTED BY THE ENGINEER.
 - HANDICAP RAMP COMPLYING WITH A.D.A. REQUIREMENTS TO BE CONSTRUCTED AT ALL COMMERCIAL DRIVEWAYS.
 - CONTRACTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY SO THAT NO SLAB DIMENSION IS MORE THAN 15'.
 - DRIVEWAY SECTION TO BE 3" ASPHALT WITH 6" AGGREGATE BASE COURSE UNLESS OTHERWISE SPECIFIED.

COMMERCIAL DRIVEWAY DETAIL
NOT TO SCALE



SCREENING FENCE DETAIL

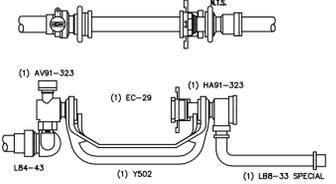


CROSS TEE 90° BEND 45° BEND SIMILAR 22 1/2° BEND SIMILAR
CROSS W/PLUG TEE W/PLUG

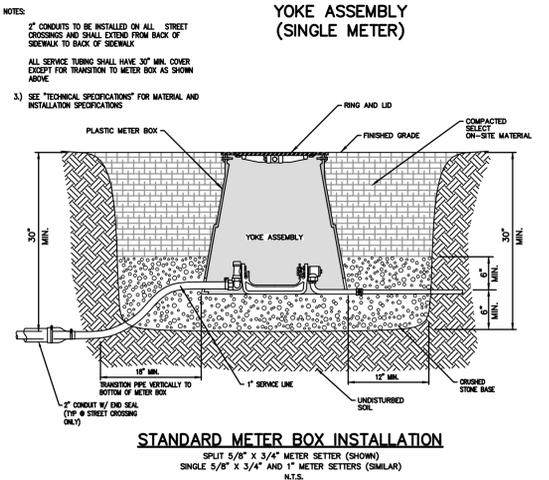
SIZE	REQUIRED SQ. FT. OF UNDISTURBED EARTH WALL FOR REACTION BACKING			
	TEE	90°	45°	22 1/2°
1/2"	1	1	1	1
3/4"	1	1	1	1
1"	1	1	1	1
1 1/4"	1	1	1	1
1 1/2"	1	1	1	1
2"	1	1	1	1
2 1/2"	1	1	1	1
3"	1	1	1	1
3 1/2"	1	1	1	1
4"	1	1	1	1
4 1/2"	1	1	1	1
5"	1	1	1	1
5 1/2"	1	1	1	1
6"	1	1	1	1
6 1/2"	1	1	1	1
7"	1	1	1	1
7 1/2"	1	1	1	1
8"	1	1	1	1
8 1/2"	1	1	1	1
9"	1	1	1	1
9 1/2"	1	1	1	1
10"	1	1	1	1
10 1/2"	1	1	1	1
11"	1	1	1	1
11 1/2"	1	1	1	1
12"	1	1	1	1
12 1/2"	1	1	1	1
13"	1	1	1	1
13 1/2"	1	1	1	1
14"	1	1	1	1
14 1/2"	1	1	1	1
15"	1	1	1	1
15 1/2"	1	1	1	1
16"	1	1	1	1
16 1/2"	1	1	1	1
17"	1	1	1	1
17 1/2"	1	1	1	1
18"	1	1	1	1
18 1/2"	1	1	1	1
19"	1	1	1	1
19 1/2"	1	1	1	1
20"	1	1	1	1
20 1/2"	1	1	1	1
21"	1	1	1	1
21 1/2"	1	1	1	1
22"	1	1	1	1
22 1/2"	1	1	1	1
23"	1	1	1	1
23 1/2"	1	1	1	1
24"	1	1	1	1
24 1/2"	1	1	1	1
25"	1	1	1	1
25 1/2"	1	1	1	1
26"	1	1	1	1
26 1/2"	1	1	1	1
27"	1	1	1	1
27 1/2"	1	1	1	1
28"	1	1	1	1
28 1/2"	1	1	1	1
29"	1	1	1	1
29 1/2"	1	1	1	1
30"	1	1	1	1
30 1/2"	1	1	1	1
31"	1	1	1	1
31 1/2"	1	1	1	1
32"	1	1	1	1
32 1/2"	1	1	1	1
33"	1	1	1	1
33 1/2"	1	1	1	1
34"	1	1	1	1
34 1/2"	1	1	1	1
35"	1	1	1	1
35 1/2"	1	1	1	1
36"	1	1	1	1
36 1/2"	1	1	1	1
37"	1	1	1	1
37 1/2"	1	1	1	1
38"	1	1	1	1
38 1/2"	1	1	1	1
39"	1	1	1	1
39 1/2"	1	1	1	1
40"	1	1	1	1
40 1/2"	1	1	1	1
41"	1	1	1	1
41 1/2"	1	1	1	1
42"	1	1	1	1
42 1/2"	1	1	1	1
43"	1	1	1	1
43 1/2"	1	1	1	1
44"	1	1	1	1
44 1/2"	1	1	1	1
45"	1	1	1	1
45 1/2"	1	1	1	1
46"	1	1	1	1
46 1/2"	1	1	1	1
47"	1	1	1	1
47 1/2"	1	1	1	1
48"	1	1	1	1
48 1/2"	1	1	1	1
49"	1	1	1	1
49 1/2"	1	1	1	1
50"	1	1	1	1
50 1/2"	1	1	1	1
51"	1	1	1	1
51 1/2"	1	1	1	1
52"	1	1	1	1
52 1/2"	1	1	1	1
53"	1	1	1	1
53 1/2"	1	1	1	1
54"	1	1	1	1
54 1/2"	1	1	1	1
55"	1	1	1	1
55 1/2"	1	1	1	1
56"	1	1	1	1
56 1/2"	1	1	1	1
57"	1	1	1	1
57 1/2"	1	1	1	1
58"	1	1	1	1
58 1/2"	1	1	1	1
59"	1	1	1	1
59 1/2"	1	1	1	1
60"	1	1	1	1
60 1/2"	1	1	1	1
61"	1	1	1	1
61 1/2"	1	1	1	1
62"	1	1	1	1
62 1/2"	1	1	1	1
63"	1	1	1	1
63 1/2"	1	1	1	1
64"	1	1	1	1
64 1/2"	1	1	1	1
65"	1	1	1	1
65 1/2"	1	1	1	1

- NOTES:
- ALL FITTINGS SHALL BE MECHANICAL JOINTS, UNLESS OTHERWISE SPECIFIED.
 - DO NOT COVER BELLS OR FLANGES WITH CONCRETE.
 - WRAP ALL FITTINGS WITH POLYETHYLENE AS SPECIFIED.
 - BACK ALL TEES ACCORDING TO SIZE OF BRANCH.
 - BACKING FOR FUTURE LINE EXTENSIONS SHALL BE SUCH THAT REMOVAL OF BACKING IS POSSIBLE IN THE FUTURE.
 - ALL BENDS WHERE FITTINGS ARE USED, BOTH HORIZONTAL AND VERTICAL, SHALL BE BACKED.
 - THE REACTION BACKING TABLE IS BASED ON 150 PSI AND A SOIL BEARING PRESSURE OF 2,500 LB/SQ. FT. ADDITIONAL BACKING MAY BE REQUIRED IN SOME AREAS AS DIRECTED BY THE ENGINEER.

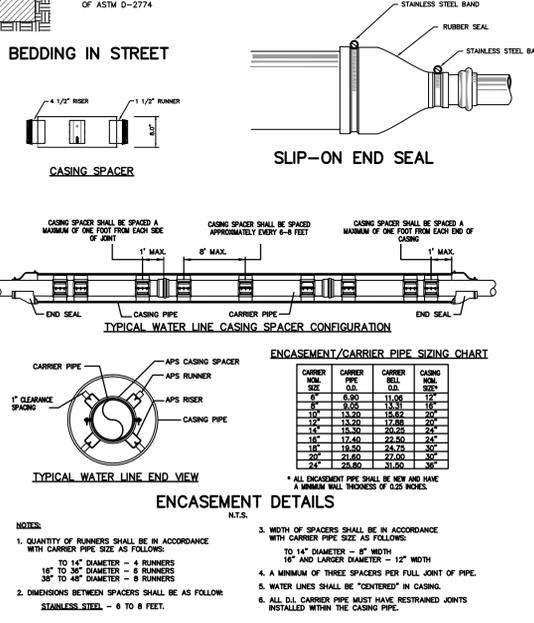
REACTION BACKING



YOKE ASSEMBLY (SINGLE METER)



STANDARD METER BOX INSTALLATION

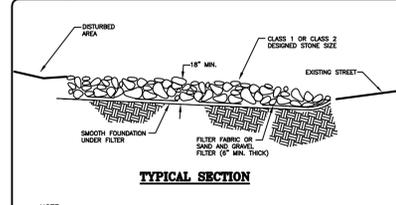
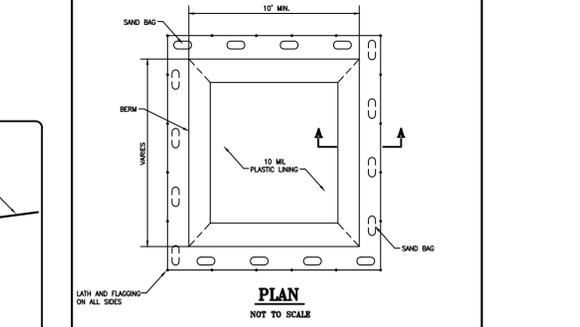
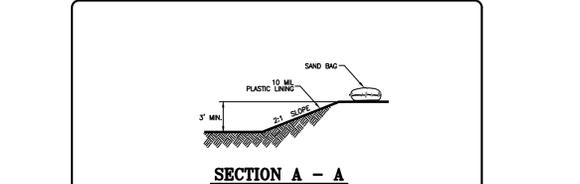
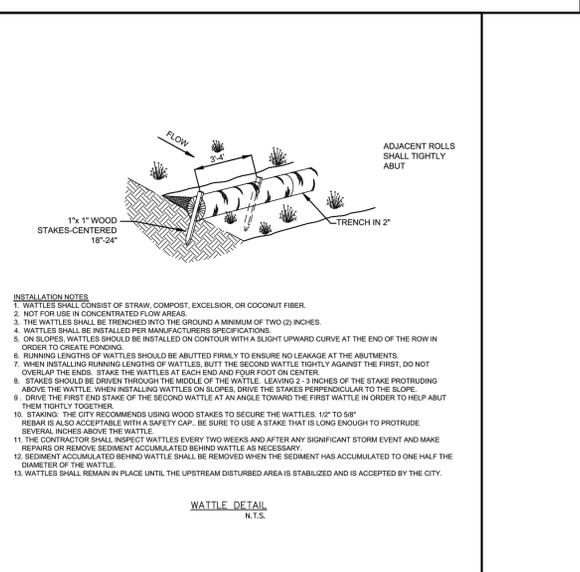
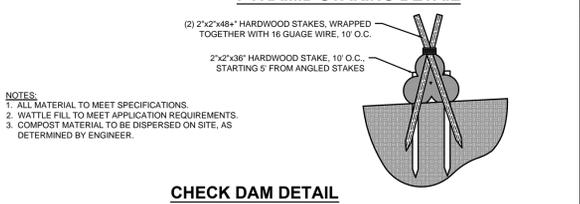
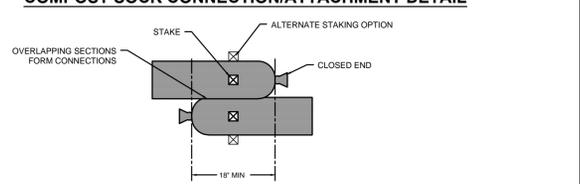
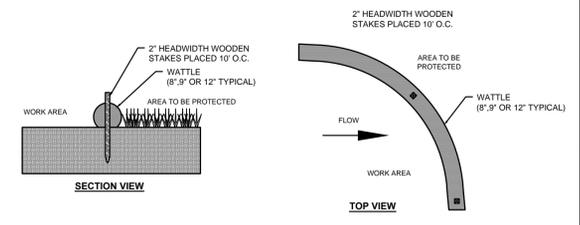
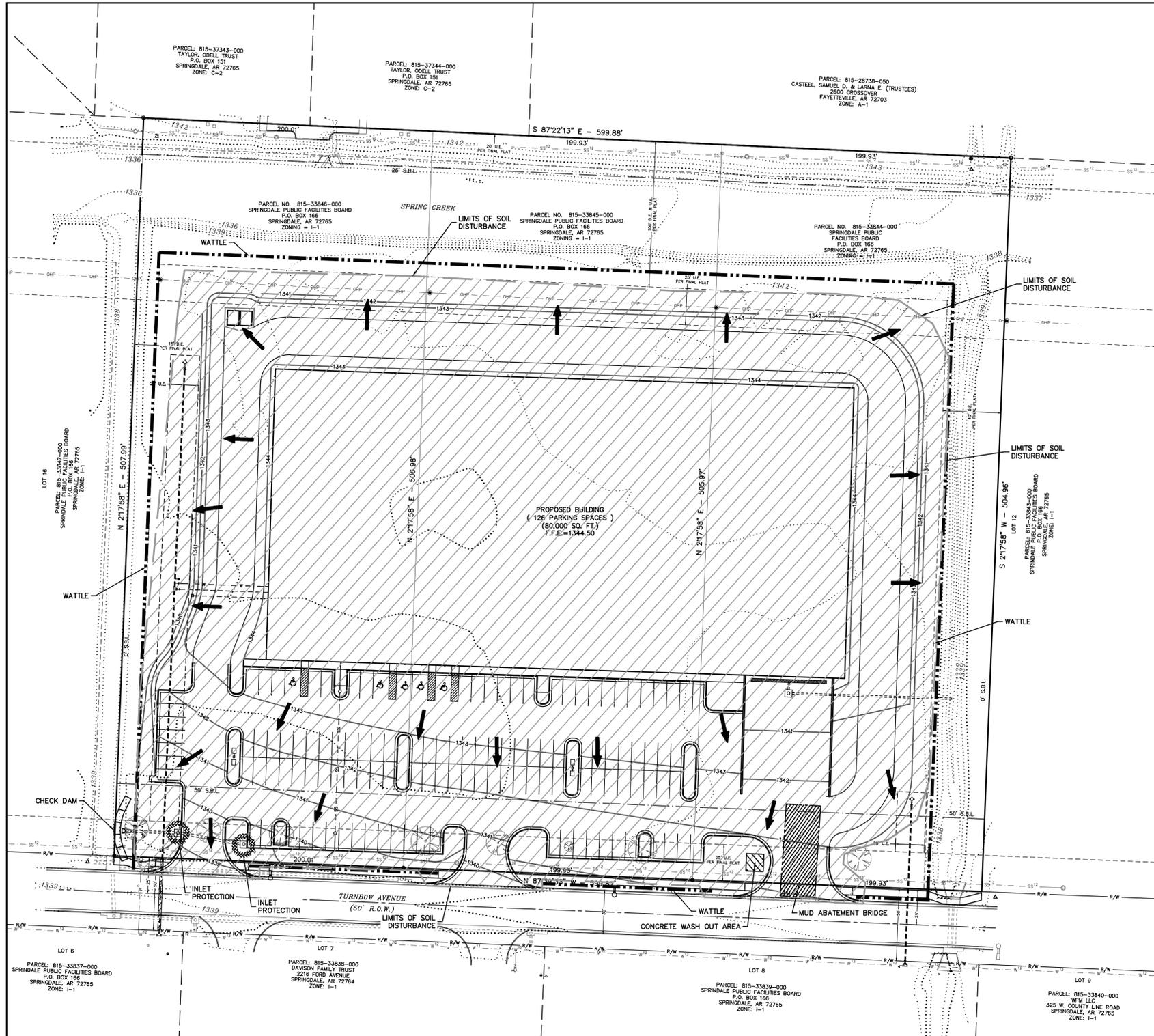


TYPICAL PVC & PE BEDDING IN STREET

SLIP-ON END SEAL

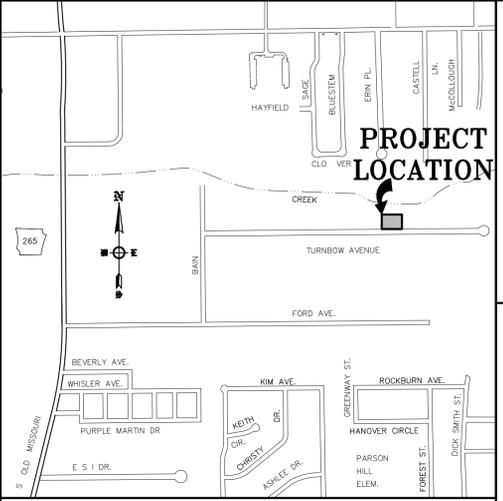
CARRIER PIPE SIZING CHART

CARRIER NOM. SIZE	CARRIER PIPE O.D.	CARRIER I.D.	CARRIER NOM. SIZE	CARRIER PIPE O.D.	CARRIER I.D.
1/2"	0.80	11.00	12"	13.20	15.82
3/4"	0.90	11.00	14"	15.30	17.92
1"	1.00	11.00	16"	17.40	20.02
1 1/4"	1.20	11.00	18"	19.50	22.12
1 1/2"	1.30	11.00	20"	21.60	24.22
2"	1.50	11.00	22"	23.70	26.32
2 1/2"	1.70	11.00	24"	25.80	28.42
3"	1.90	11.00	26"	27.90	30.52
3 1/2"	2.10	11.00	28"	30.00	32.62
4"	2.30	11.00	30"	32.10	34.72
4 1/2"	2.50	11.00	32"	34.20	36.82
5"	2.70	11.00	34"	36.30	38.92
5 1/2"	2.90	11.00	36"	38.40	41.02
6"	3.10	11.00	38"	40.50	43.12
6 1/2"	3.30	11.00	40"	42.60	45.22
7"	3.50	11.00	42"	44.70	47.32
7 1/2"	3.70	11.00	44"	46.80	49.42
8"	3.90	11.00	46"	48.90	51.52
8 1/2"	4.10	11.00	48"	51.00	53.62
9"	4.30	11.00	50"	53.10	55.72
9 1/2"	4.50	11.00	52"	55.20	57.82
10"	4.70	11.00	54"	57.30	59.92
10 1/2"	4.90	11.00	56"	59.40	62.02
11"	5.10	11.00	58"	61.50	64.12
11 1/2"	5.30	11.00	60"	63.60	66.22
12"	5.50	11.00	62"	65.70	68.32
12 1/2"	5.70	11.00	64"	67.80	70.42
13"	5.90	11.00	66"	69.90	72.52
13 1/2"	6.10	11.00	68"	72.00	74.62
14"	6.30	11.00	70"	74.10	76.72
14 1/2"	6.50	11.00	72"	76.20	78.82
15"	6.70	11.00	74"	78.30	80.92
15 1/2"	6.90	11.00	76"	80.40	83.02
16"	7.10	11.00	78"	82.50	85.12
16 1/2"	7.30	11.00	80"	84.60	87.22
17"	7.50	11.00	82"	86.70	89.32
17 1/2"	7.70	11.00	84"	88.80	91.42
18"	7.90	11.00	86"	90.90	93.52
18 1/2"	8.10	11.00	88"	93.00	95.62
19"	8.30	11.00	90"	95.10	97.72
19 1/2"	8.50	11.00	92"	97.20	99.82
20"	8.70	11.00	94"	99.30	101.92
20 1/2"	8.90	11.00	96"	101.40	104.02
21"	9.10	11.00	98"	103.50	106.12
21 1/2"	9.30	11.00	100"	105.60	108.22
22"	9.50	11.00	102"	107.70	110.32
22 1/2"	9.70	11.00	104"	109.80	112.42
23"	9.90	11.00	106"	111.90	114.52
23 1/2"	10.10	11.00	108"	114.00	116.62
24"	10.30	11.00	110"	116.10	118.72
24 1/2"	10.50	11.00	112"	118.20	120.82
25"	10.70	11.00	114"	120.30	122.92
25 1/2"	10.90	11.00	116"	122.40	125.02
26"	11.10	11.00	118"	124.50	127.12
26 1/2"	11.30	11.00	120"	126.60	129.22
27"	11.50	11.00	122"	128.70	131.32
27 1/2"	11.70	11.00	124"	130.80	133.42
28"	11.90	11.00	126"	132.90	135.52
28 1/2"	12.10	11.00	128"	135.00	137.62
29"	12.30	11.00	130"	137.10	139.72
29 1/2"	12.50	11.00	132"	139.20	141.82
30"	12.70	11.00	134"	141.30	143.92
30 1/2"	12.90	11.00	136"	143.40	146.02
31"	13.10	11.00	138"	145.50	148.12
31 1/2"	13.30	11.00	140"	147.60	150.22
32"	13.50	11.00	142"	149.70	152.32
32 1/2"	13.70	11.00	144"	151.80	154.42
33"	13.90	11.00	146"	153.90	156.52
33 1/2"	14.10	11.00	148"	156.00	158.62
34"	14.30	11.00	150"	158.10	160.72
34 1/2"	14.50	11.00	152"	160.20	162.82
35"	14.70	11.00	154"	162.30	164.92
35 1/2"	14.90	11.00	156"	164.40	167.02
36"	15.10	11.00	158"	166.50	169.12
36 1/2"	15.30	11.00	160"	168.60	171.22
37"	15.50	11.00	162"	170.70	173.32
37 1/2"	15.70	11.00	164"	172.80	175.42
38"	15.90	11.00	166"	174.90	177.52
38 1/2"	16.10	11.00	168"	177.00	179.62
39"	16.30	11.00	170"	179.10	181.72
39 1/2"	16.50	11.00	172"	181.20	183.82
40"	16.70	11.00	174"	183.30	185.92
40 1/2"	16.90	11.00	176"	185.40	188.02
41"					



MUD ABATEMENT ENTRANCE

CONCRETE WASH-OUT AREA



VICINITY MAP NTS

LEGEND	
●	IRON PIN FOUND
○	IRON PIN SET
—	PROPERTY LINE
R/W	EX. RIGHT-OF-WAY
- - -	EASEMENT LINE
- · - · -	EX. ROAD CENTERLINE
---	EX. CONTOUR
- · - · -	EX. OVERHEAD POWER LINE
- · - · -	EX. 12" SEWER LINE
- · - · -	EX. STORM DRAIN LINE
□	EX. STORM BOX
○	EX. 12" WATER LINE
○	EX. FIRE HYDRANT
○	EX. SEWER MANHOLE
○	EX. POWER POLE
○	EX. WATER VALVE
○	EX. TELEPHONE PEDESTAL
○	EX. GAS METER
○	EX. WATER METER
○	EX. CABLE BOX
○	EX. POWER JUNCTION BOX
○	EX. TREES

- NOTES:**
- 1) NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
 - 2) SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
 - 3) STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
 - 4) PLACE FILTER FABRIC ON ALL CURB INLETS.

*WATTLES & CHECK DAMS ARE USED AS ENERGY DISSIPATION DEVICES

*WATTLES & CHECK DAMS ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE

*WATTLES & CHECK DAMS MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED

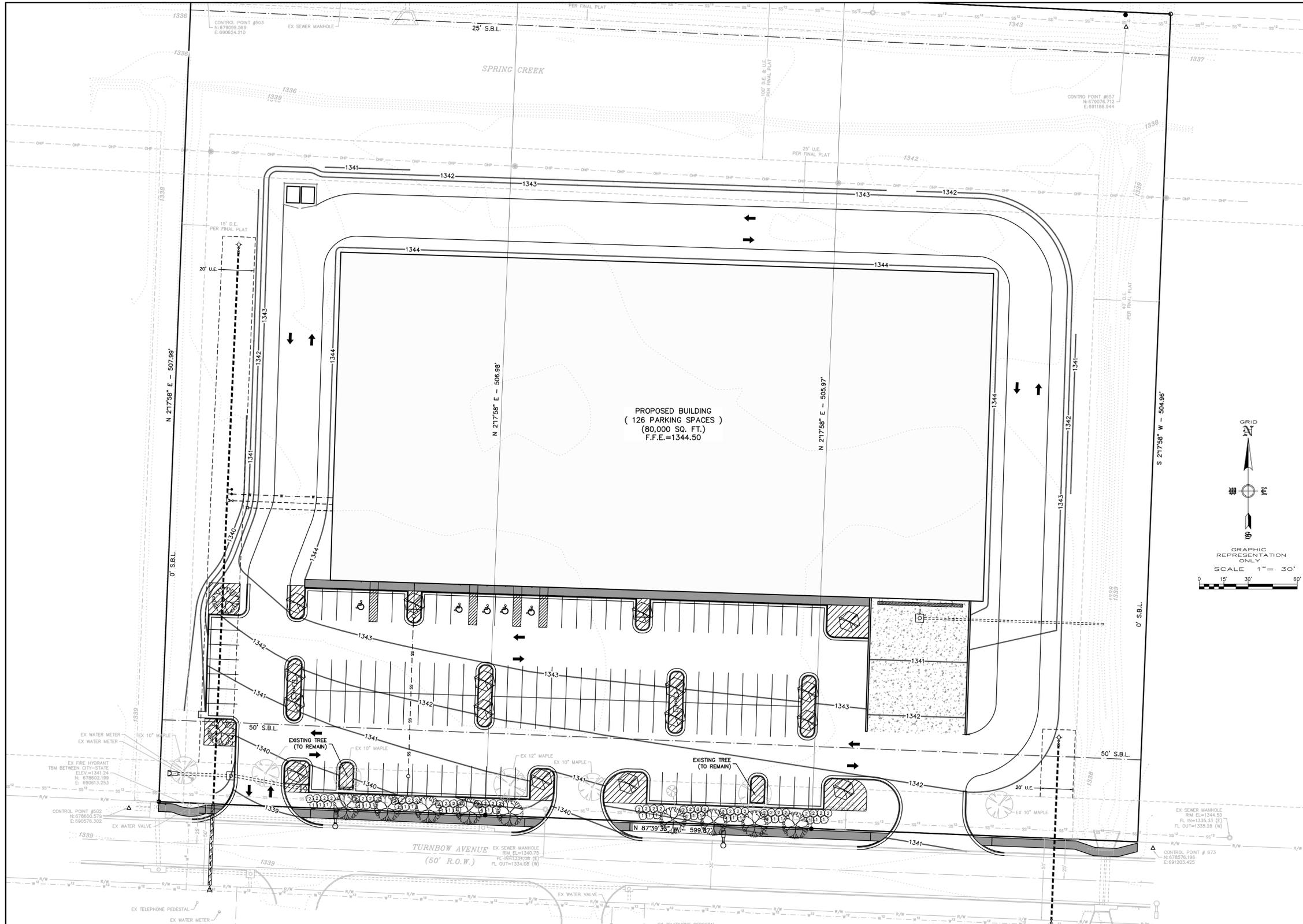
TOTAL AREA OF SOIL DISTURBANCE = 5.08 ACRES



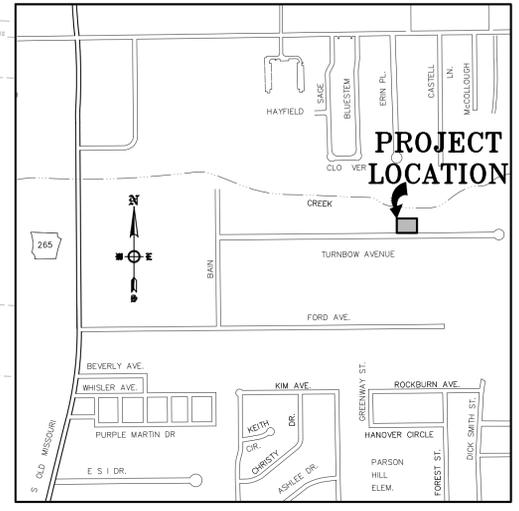
STORM WATER POLLUTION PREVENTION PLAN
AMERICAN TUBING ARKANSAS, LLC
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=30'
DATE: Jul, 2015
ENGINEER: BEW
DRAWN BY: GA - TL
W.O. #: 15931

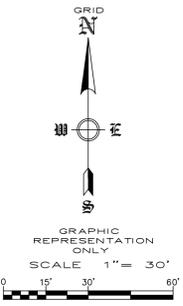


PROPOSED BUILDING
(126 PARKING SPACES)
(80,000 SQ. FT.)
F.F.E.=1344.50



VICINITY MAP
NTS

LEGEND	
●	IRON PIN FOUND
○	IRON PIN SET
—	PROPERTY LINE
—	EX RIGHT-OF-WAY
---	EASEMENT LINE
---	EX. ROAD CENTERLINE
---	EX. CONTOUR
---	EX. OVERHEAD POWER LINE
---	EX. 12" SEWER LINE
---	EX. STORM DRAIN LINE
□	EX. STORM BOX
---	EX. 12" WATER LINE
○	EX. FIRE HYDRANT
○	EX. SEWER MANHOLE
○	EX. POWER POLE
○	EX. WATER VALVE
○	EX. TELEPHONE PEDESTAL
○	EX. GAS METER
○	EX. WATER METER
○	EX. CABLE BOX
○	EX. POWER JUNCTION BOX
○	EX. TREES



OWNER: SPRINGDALE PUBLIC FACILITIES BOARD
P.O. BOX 166
SPRINGDALE, AR 72765

DEVELOPER: AMERICAN TUBING ARKANSAS, LLC
2191 FORD AVENUE
SPRINGDALE, AR 72764

ENGINEER/SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72762

ZONING: I-1

GROSS AREA: 6.98 ACRES

NET AREA: 6.98 ACRES

INTERIOR PARKING LOT LANDSCAPING PROVIDED:

TOTAL REQUIRED: 8% OF TOTAL PARKING LOT AREA = 3,394 SQ. FT.
TOTAL PROVIDED = 4,431 SQ. FT.
PARKING LOT AREA: 42,422 SQ. FT. TOTAL
TOTAL AREA OF LOT: 4,431 / 42,422 = 10.45 %

- LANDSCAPING NOTES:**
1. ALL LANDSCAPING SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CITY OF SPRINGDALE LANDSCAPE ORDINANCE # 3306.
 2. ALL TREES, SHRUBS, AND PLANTS USED IN THE PROPOSED LANDSCAPING SHALL BE SELECTED BY THE OWNER FROM THE RECOMMENDED LISTS IN SAID LANDSCAPE ORDINANCE # 3306.
 3. ALL TREES TO BE MINIMUM 8" TALL WITH MINIMUM 2" CALIPER
 4. LANDSCAPING SHALL BE GUARANTEED FOR TWO YEARS.
 5. AN AUTOMATIC SPRINKLER SYSTEM OR HOSE BIBS SHALL BE INSTALLED TO MEET LANDSCAPING REQUIREMENTS.
 6. ALL LANDSCAPING TO BE DRESSED WITH 4" OF PINE BARK MULCH AFTER INSTALLATION.
 7. ALL DISTURBED AREAS TO BE SOODED.
 8. METAL EDGING TO BE PLACED AROUND ALL PLANTING BEDS, AS SHOWN ON PLANS

INDEX OF TREES				
TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	SIZE
	WATER OAK	Quercus nigra	11	B & B
	AMUR MAPLE	Acer ginnala	16	B & B

INDEX OF PLANTS				
PLANT SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # PLANTS	SIZE
①	YAUPON HOLLY	Ilex vomitoria	30	2 GAL.
②	MT. AIRY FOTHERGILLA	Fothergilla 'Mt. Airy'	40	2 GAL.



LANDSCAPE PLAN
AMERICAN TUBING ARKANSAS, LLC
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=30'
DATE: Jul, 2015
ENGINEER: BSW
DRAWN BY: GA - JL
W.O. #: 15931

L15-13

5

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # 15-29

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: HARRIS INTL LABS

Applicant's Mailing Address:

2078 FORD
Street Address or P.O. Box

756-9877
Telephone Number

City, State & Zip Code

Property Owner's Name
(If different from Applicant): DAVID HARRIS

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

Telephone Number

City, State & Zip Code

Address of Variance Request: 2078 FORD AVE

Zoning District: _____

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.**

① ~~REMOVE SIDEWALK ALONG FORD AVE.~~

② REMOVE LANDSCAPE ISLANDS

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

③ REMOVE NEW TREES AND SHRUBS ALONG FORD AVE.

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

THIS IS AN INDUSTRIAL PARK. NO OTHER
SIDEWALK EXISTS. PEDESTRIAN TRAFFIC IS
DISCOURAGED BY OWNERS OF PROPERTY
AND SPRINGDALE POLICE DEPT DUE TO
VANDALISM PROBLEMS.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

THIS AREA HAS A HISTORICAL PROBLEM WITH
THEFT AND VANDALISM AFTER BUSINESS
HOURS. OTHER COMPANIES' PROPERTIES ARE
LESS CONDUCTIVE TO FOOT TRAFFIC. A SIDEWALK
WOULD INVITE PEDESTRIANS AND LEAD TO PROBLEMS

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

THERE EXISTS NO SPECIAL LANDSCAPING
OR SIDEWALK IN THIS DISTRICT. WE
HAVE NOT REMOVED ANY EXISTING
SIDE WALK OR LANDSCAPING.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.


Applicant Signature*

Property Owner Signature*
(If different from Applicant)

Applicant Signature*

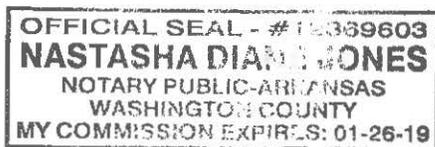
Property Owner Signature*
(If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
County of Washington) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 1st day of July, 2015.


Notary Public





Springdale City Planning Commission

This is a request to waive the addition of a sidewalk at 2078 Ford Ave. The following reasons are cited:

- 1) The large scale development we are adding is in the rear of the business and does not change the front of the existing building.
- 2) Ford Avenue is an industrial park, and there are no sidewalks. There are no residences or shopping areas on the street.
- 3) Ford Avenue has a long running problem with vandalism and theft after hours. Springdale police discourage pedestrians after hours.

Best regards,

David Harris

Owner

Harris International Labs

2078 Ford Ave

Springdale

David and Natasha Harris
22499 Ozrik Road
Springdale, AR 72764

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # **B1536**

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Eric + Katlyn Siebert

Applicant's Mailing Address:

200 Holcomb St 871-8904
Street Address or P.O. Box Telephone Number
Springdale, AR 72764
City, State & Zip Code

Property Owner's Name
(If different from Applicant): Pandora's Box LLC

Property Owner's Mailing Address:
(If different from Applicant):

Po Box 10947 _____
Street Address or P.O. Box Telephone Number
Fayetteville, AR 72703
City, State & Zip Code

Address of Variance Request: Corner of DTP and 265^{SE}

Zoning District: C-5

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: 50' Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 30' Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: 20' Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

We are requesting to be required to have
one less parking space for a mobile vending unit.
We are required to have 3, we are requesting to
only need 2.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

Because 265 is a state highway the R-O-W is much larger than most streets. If we were located on ^{almost} any other street we would meet the required setback. Our proposed location for the mobile vending site is 82.5' off the curb.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

Same as above. We currently operate 2 other shaved ice stands in Springdale. This location would be a similar distance from the road.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

We, the applicants, were not notified of the larger R-O-W /setback required for this space before our planning commission OR city council meeting. We found out these requirements at the meeting instead of prior to.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Katlyn Se
 Applicant Signature*

Paul A. Rossi
 Property Owner Signature*
 (If different from Applicant)

Katlyn Siebert Eric Siebert
 Applicant Signature*

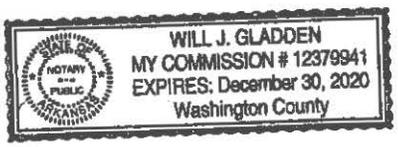
Property Owner Signature*
 (If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
 County of Washington) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 9th day of July, 2015.

[Signature]
 Notary Public



Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # **B15-37**

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: RC EASTVIEW, LLC

Applicant's Mailing Address:

P.O. Box 10560
Street Address or P.O. Box

479.361.8834
Telephone Number

FAYETTEVILLE, AR - 72703
City, State & Zip Code

Property Owner's Name
(If different from Applicant): FIRST SECURITY BANK

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

Telephone Number

City, State & Zip Code

Address of Variance Request: 1945 BUTTERFIELD COACH RD, SPRINGDALE, AR

Zoning District: SF-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

VARIANCE REQUEST REGARDING SECTION 98-63
A) RESIDENTIAL DISTRICTS, 2A DENOTING NAME OF
SUBDIVISION
- SAMPLE OF 8' x 4' COMMUNITY SIGN ATTACHED

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

SUBDIVISION IS NOT LOCATED ON THOROUGH FARE.

ADDITIONAL SIGNAGE IS NEEDED TO DIRECT TRAFFIC

IN ORDER TO SELL HOMES.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

THE BUILDER IS NOT A REAL ESTATE BROKER,

HOWEVER, IS LIMITED TO REAL ESTATE SIGN ORDINANCE.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

TRAFFIC AND CALLS REDUCED ONCE A TEMPORARY

SIGN WAS REMOVED.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

John Maldonado
 Applicant Signature*

FIRST SECURITY BANK
 BY: [Signature]
 Property Owner Signature*
 (If different from Applicant)

 Applicant Signature*

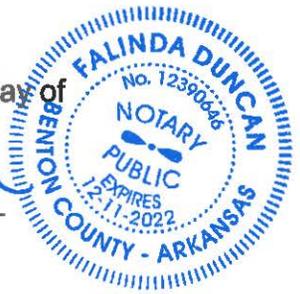
 Property Owner Signature*
 (If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
) ss.
 County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 14th day of July, 2015.

Falinda Duncan
 Notary Public





EastView Signage -
Rausch Coleman Homes
8'w x 4'h, (4' above ground)

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # **B15-38**

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

C 15-11

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: BARRELLANN WISE

Applicant's Mailing Address:

7956 W Miller Rd
Street Address or P.O. Box
SPRINGDALE, AR, 72762
City, State & Zip Code

479-238-3642/479-427-0030
Telephone Number

Property Owner's Name
(If different from Applicant): D

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

City, State & Zip Code

Telephone Number

Address of Variance Request: 7954 W. Miller Rd.

Zoning District: A-1

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please contact staff to determine the required setback.

Required: Front: _____ Side: 20 Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: 7 Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: 13 Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

~~_____~~
~~_____~~
~~_____~~
~~_____~~

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

we would like the manufactured home for elderly mother to live in. we would like the home to be as close as possible to the main house

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

my elderly mother to be within very close proximity to the existing house.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

we were mis-informed of the placement of the manufactured home. we were told that the only requirement was 250' from the road.

CITY OF SPRINGDALE

JULY 8TH,2015

TO WHOM IT MAY CONCERN;

I BUILT MY HOUSE ON 9633 E. BROWN RD AND HAVE BEEN ASKED BY YOUR DEPARTMENT TO MAKE OR BUILD A SIDEWALK BEFORE I CAN MOVE IN, I HAVE CONTACTED THE GAS COMPANY AND THE PHONE COMPANY THEY HAVE BOTH SAID THAT IT IS NOT RECOMMENDED TO DO A SIDE WALK BECAUSE THERE IS TOO MANY UNDER WIRING THAT CROSSES THIS PROPERTY. I AM ASKING FOR THIS REQUIREMENT BE WAIVED, IF IN THE FUTURE THIS TWO COMPANIES CHANGE THEIR WIRING I WILL BE MORE THAN HAPPY TO BUILD THE SIDEWALK



LUIS DE LA TORRE

W15-02

Date: 7/22/2015

Joshua and LeAnn Girshner
4457 Bel Air Rd.
Springdale AR 72762

To the city of Springdale,

We, Joshua and LeAnn Girshner, are the owners of the property located at 4457 Bel Air Rd in Springdale which has a Tax Parcel ID# of 21-00167-671 and a valuation of \$9,760. The property is zoned as an A-1 agricultural district with A-1 agricultural districts to the North, East, and West of the property. The South side of the property borders a SF-2 district with no direct street access.

We hope to begin construction soon on a single family dwelling and are requesting a sidewalk waiver for the property. Nearby properties on the North, East, and West with the same A-1 zoning have no existing sidewalks to connect to and there is no curb in place anywhere along the length of Bel Air. Bel Air Rd is not a 'through' street, it provides no access to I-49, and is rural in nature.

The topography of the street border of 4457 Bel Air Rd and Bel Air Rd is not ideal for the construction of a sidewalk. There is an existing tree line along the entire perimeter of the property which would necessitate the removal of more than 100 trees and bushes ranging in diameter from 2 inches to more than 2 feet. Several locations along the street line 'drop-off' to an estimated depth of 7-8 feet to the property requiring dozens of dump truck loads of fill to level.

Our original plans called for the driveway entry to be placed on the North side of the property but we were quoted an estimated cost of over \$5000 in dirt work alone to simply make a 16ft wide driveway possible in that location. A constructed sidewalk on the total length of street frontage would exceed 1,000 linear feet.

There is a single family dwelling on the (estimated) 3+ acre property to the West, no housing on the (estimated) 15+ acre properties to the North, no housing on the (estimated) 8+ acre property to the North East and a single family dwelling on the (estimated) 8+ acre property to the East.

Thank you for your consideration of this sidewalk waiver for 4457 Bel Air Rd. The following pages contain images of the property at 4457 Bel Air Rd for your review.

Thank you,

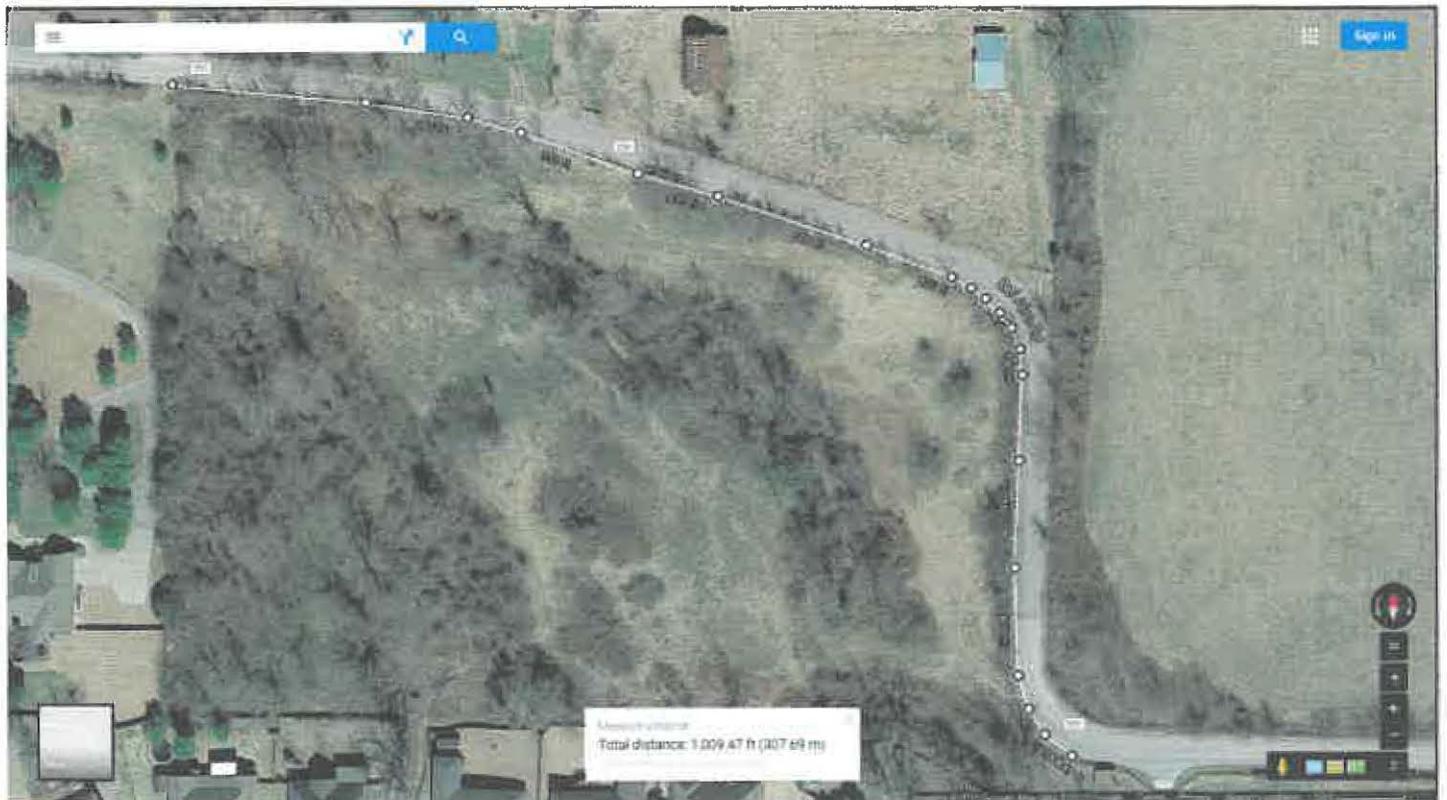
Joshua and LeAnn Girshner
Future Springdale residents at: 4457 Bel Air Rd
Joshua (479) 381-6365 LeAnn (479)-586-3731

W15-04

Property location is relation to Wagon Wheel and Elm Springs Roads:

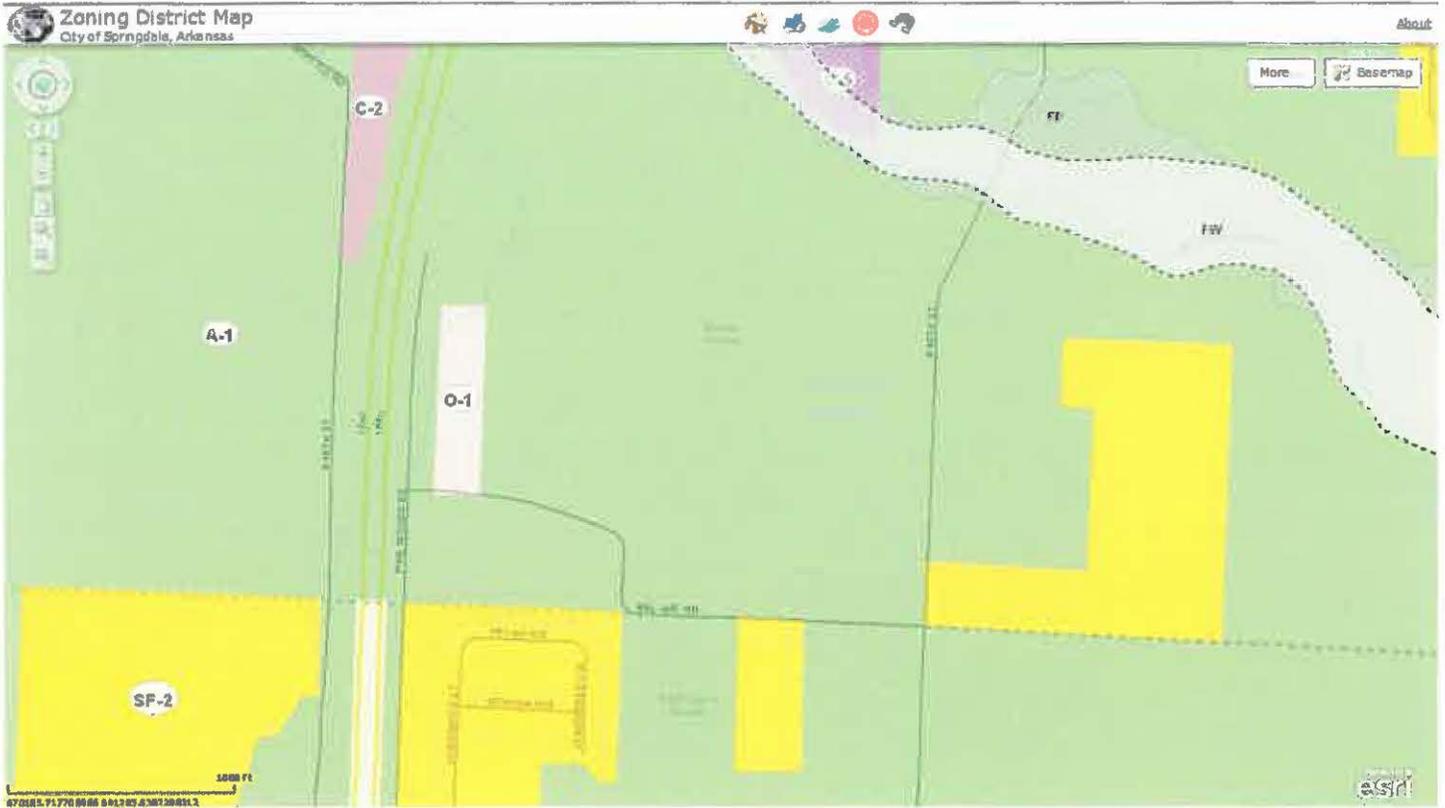


Estimated distance of street frontage at 4457 Bel Air Rd is 1,009.47 feet

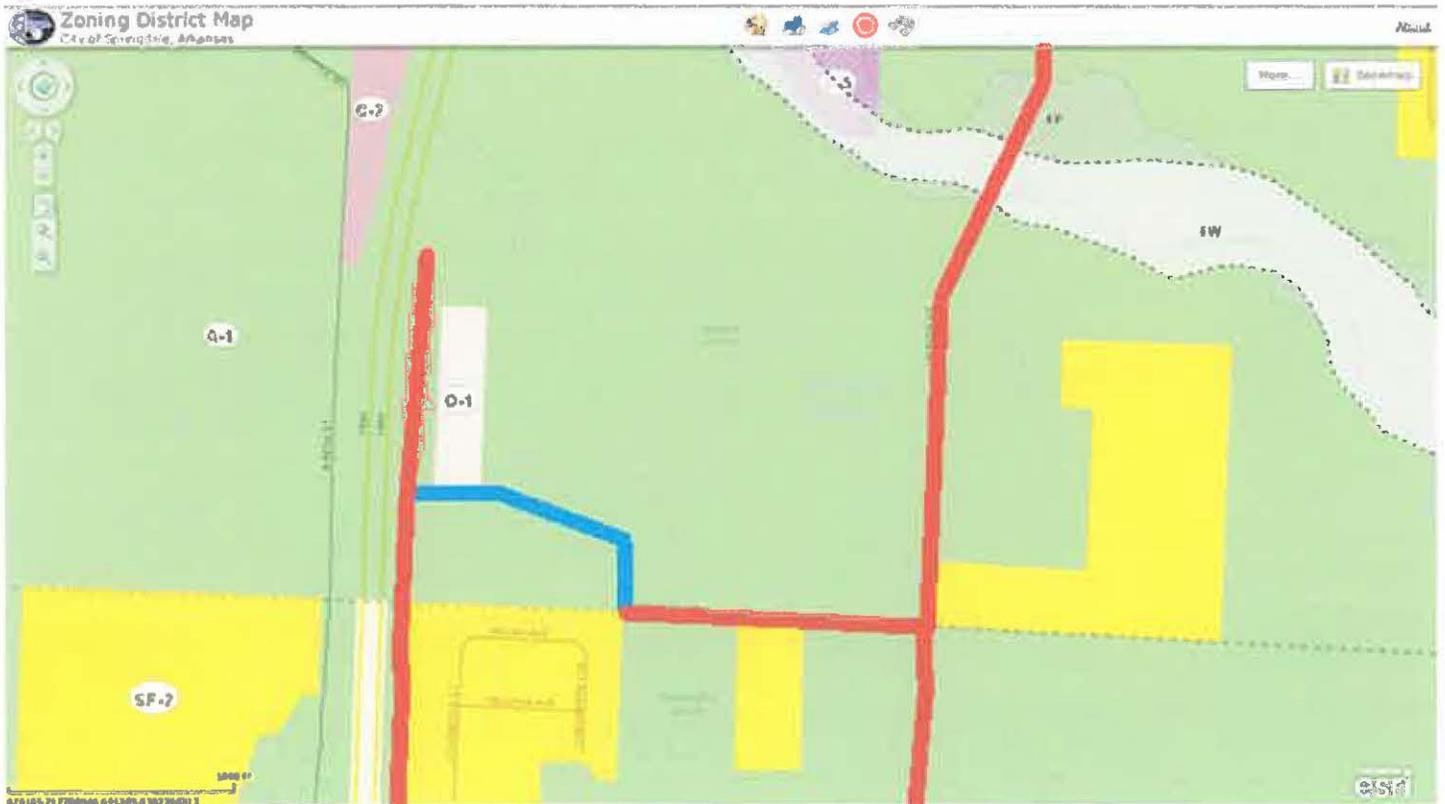


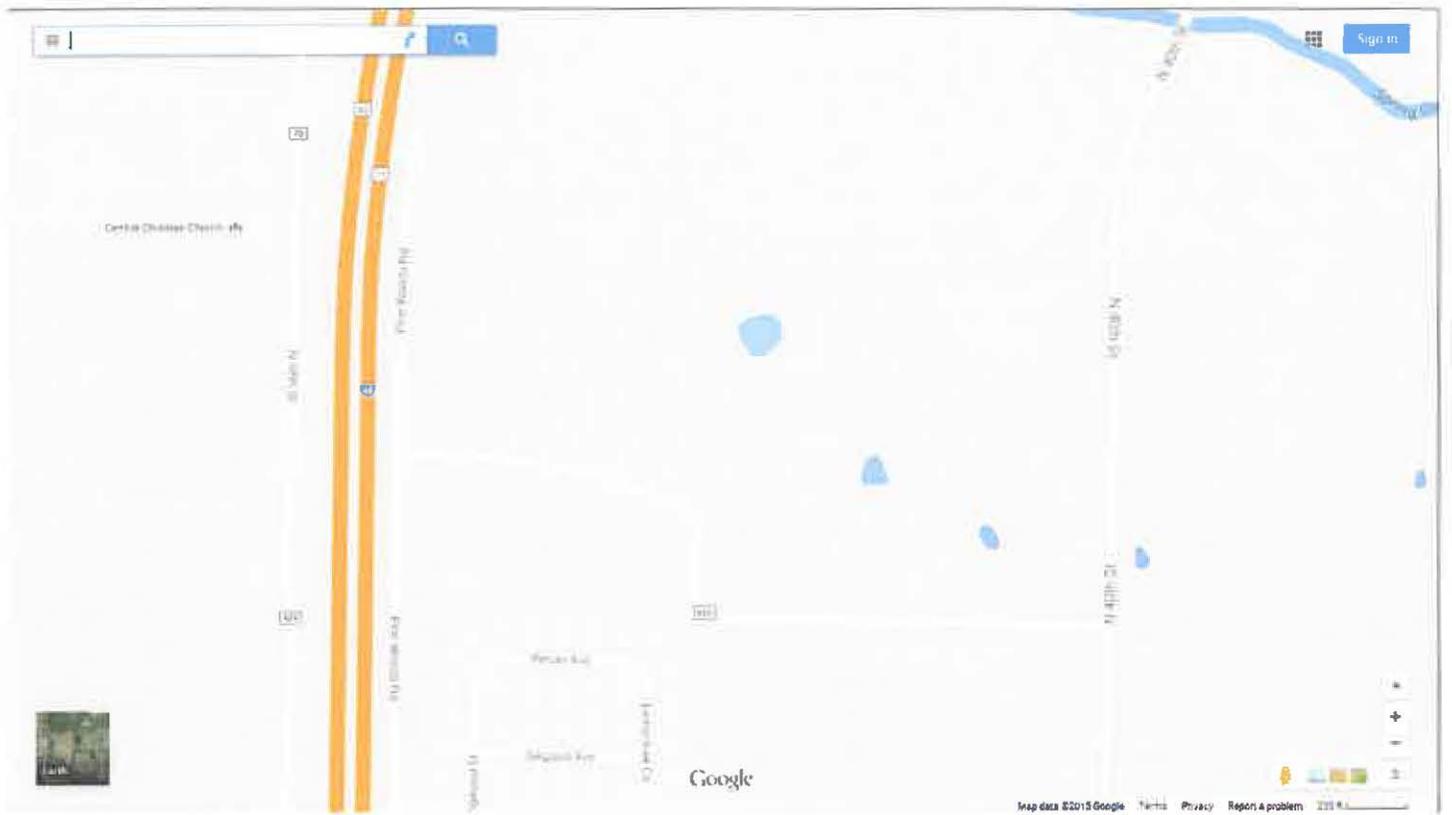
500 Evergreen Cir P101 Lowell 72745

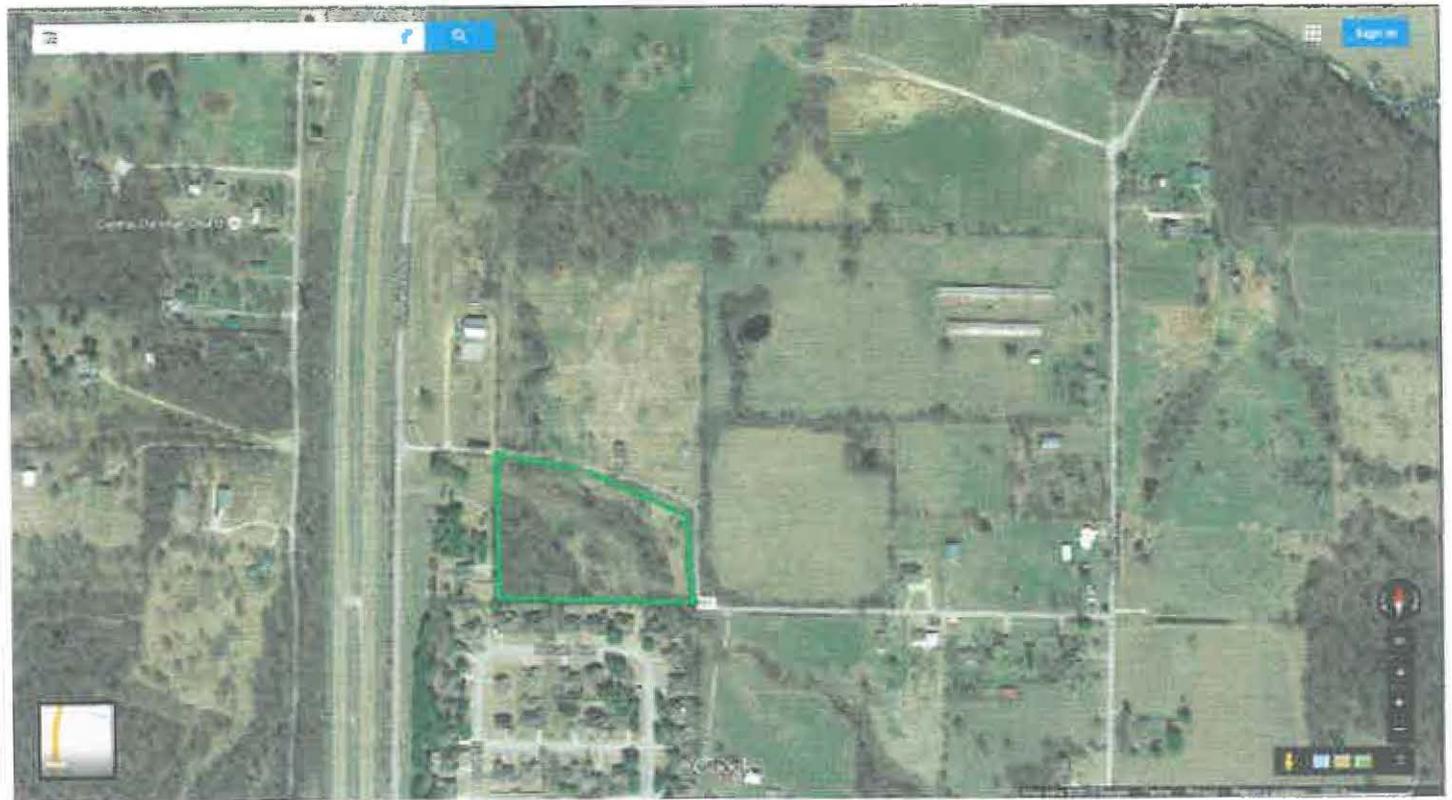
Springdale zoning map: Bel Air Rd is primarily zoned A-1.

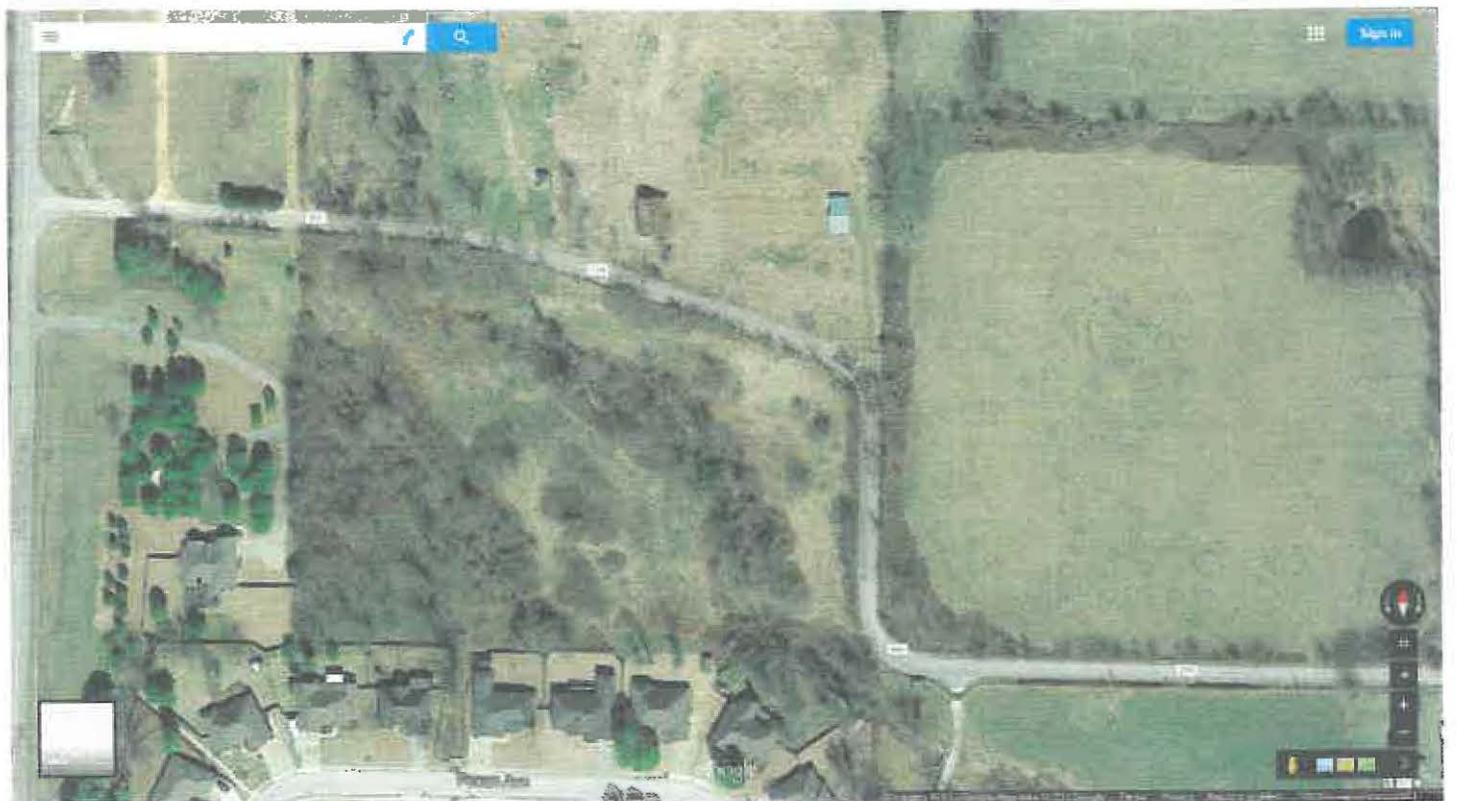


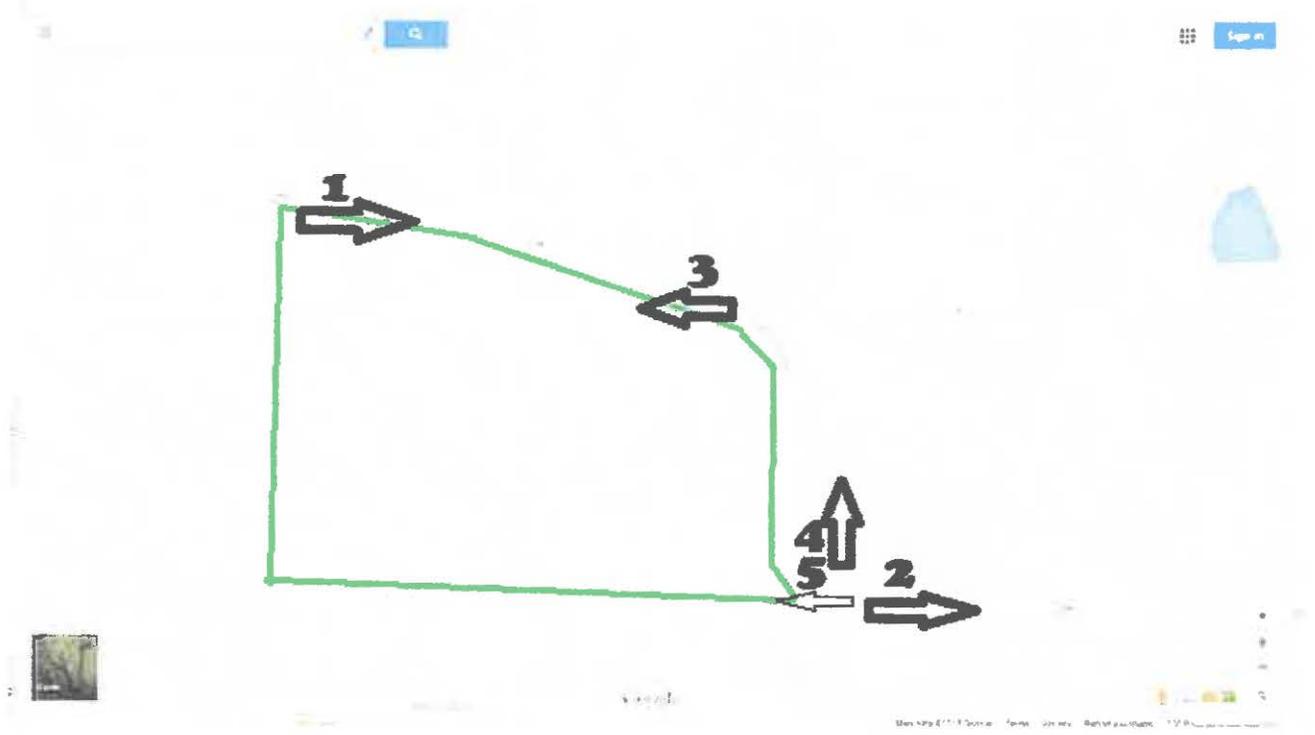
Bel Air Rd connects 40th Street and Pine Woods, neither have existing sidewalks or curbs













3



4



5



McGoodwin Williams & Yates

Engineering Confidence

July 22, 2015

Ms. Patsy Christie
Planning Office
City Administration Building
201 Spring Street
Springdale, Arkansas 72764

Re: Request for Waiver
Spring Creek Lift Station
Springdale, Arkansas
MWY Project No. Sp-453

Dear Patsy:

On behalf of the Springdale Water Utilities, we are submitting a Request for Waiver of the City of Springdale Standards that requires improvements to abutting streets at the Spring Creek Lift Station Project. Springdale Water Utilities is requesting a waiver of these standards, including pavement, curb and gutter, and sidewalks, for Wager Drive and Kelly Road. The project goal of Springdale Water Utilities is to provide sanitary sewer service to the Spring Creek basin area of Springdale in an affordable manner. It is also their intention to make this new lift station blend in with the surrounding rural residential properties by disguising the façade as a rural home. Roads in this area of Springdale are currently unimproved and will likely remain this way for some time. By maintaining the existing road's rural characteristics, the waiver will promote the rural aesthetic of the new lift station. Approving this waiver will positively affect the sewer rates of the citizens of Springdale by reducing the cost of the project and contribute to the rural setting of this project.

If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

Chris Dougherty, P. E.
Project Engineer

CBD:bp

cc: Rick Pulvirenti, P. E., Springdale Water Utilities

The Law Firm of
Stephen R. Giles
A Professional Association

Telephone
(501) 687-0836

425 West Capitol Avenue
Suite 3200
Little Rock, Arkansas 72201-3469

Facsimile
(501) 374-5092

E-mail: sgiles@gileslaw.net

July 29, 2015

Via E-Mail

pchristie@springdalear.gov

Ms. Patsy Christie
Planning and Community Development Division
City of Springdale
201 Spring Street, Springdale, AR 72764

Re: Sam's Club Large Scale Development

Dear Patsy:

This letter is with reference to the Sam's Club development at Highway 412 and Interstate 49 in Springdale. As you know, the City of Springdale approved the Large Scale Development for this project on September 2, 2014 and the Springdale Code states that Large Scale Development approvals shall lapse one year from the approval unless construction of the project has commenced.

I have received word from the developer that construction will not commence prior to the one year expiration of the LSD which would be September 2, 2015. So we are in the position of having to request a one year extension of this approval period. I understand that a request for extension must be presented to the Springdale Planning Commission for consideration and approval.

Therefore, please accept this letter as the request for a one year extension and place this matter on the Springdale Planning Commission agenda of its next meeting on Tuesday, August 4, 2015. I will be present at the hearing to answer questions. If you need any additional information, please let me know. As always, thank you for your consideration and assistance.

Sincerely,



Stephen R. Giles

cc: Ms. Debbie Pounders (dpounders@springdalear.gov)