

**SPRINGDALE PLANNING COMMISSION
COUNCIL CHAMBERS
SEPTEMBER 6, 2016
201 SPRING
5:00 P.M.
Tentative Agenda**

- I. **Pre-Meeting Activities**
 - Pledge of Allegiance
 - Invocation

- II. **Call to Order**

- III. **Roll Call**

- IV. **Approval of Minutes (August 2, 2016)**

- V. **Public Hearing**
 - A. **Amend Article 8 Section 2 clarifying conditions under which a non-conforming use , structure, or lot may be allowed to continue**
Presented by Patsy Christie

 - B. **Chapter 110, Article VI Code of Ordinance Rename Kawneer Dr. between Huntsville Ave. & Emma Avenue to Reinert Drive**
Presented by Patsy Christie

- VI. **Tabled Items**
 - A. **R16-30** **412 Investments, LLC**
2250 W. Sunset
From C-2 to C-5
Presented by Matt Dearnley

 - B. **R16-32** **Sherry Farms, LLC**
5060 E. Robinson Ave.
From A-1 to C-2
Presented by R. Justin Eichman

John Backus
2126 Maestri Road
Expand an existing non-conforming
Use in an Agricultural District
Presented by Engineering Services, Inc.

VII. Public Hearing – Rezoning

- A. R16-35 **Thomas J. Embach Revocable Trustee**
905 Mill Street
From SF-2 to PUD
Presented by Civil Design Engineers, Inc.

- B. R16-36 **Daryl & Sally D. Hawkins Revocable Trust**
W. side of 56th Street, N. of Sisemore Lane
From A-1 to C-5
Presented by Engineering Services, Inc.

- C. R16-37 **Martin & Euginia Palma**
1911 W. Huntsville
From C-1 to C-2
Presented by Hazel Pirnder(?)

VIII. Public Hearing – Conditional Use

- A. C16-14 **HELPS, LLC**
650 W. Highway 264
Use Unit 33 (Cell Tower) in C-2
Presented by James Cardinal

IX. Lot Splits

- A. LS16-25 **Mark & Pamela McGarrah**
W. side of E. Monitor Road
South of Benton County Line

W16-13 **Waiver of subdivision requirements**
Presented by Jenkins Surveying

X. Large Scale Developments

- A. L16-15 Ozark Center Point Place West
N. of 412 W., E. side of 56th St.**
B16-55 **A) Variance of distance between drives**
 From 150' to 136'
B) Variance for modification of Commercial
Design Standards
C) Variance to allow green space width to
 vary from 3' up to 6.2'
 Presented by Leonard Gabbard
- B. L16-16 Waco Title
N. of Watkins, E. side of I-49**
Concept of Detention
 Presented by Engineering Services, Inc.
- C. L16-17 Tyson Shared Services, Inc.
S. of 412 W., W. side of Johnson Road**
Concept of Detention
B16-56 **Variance for reduction of distance between**
 drives
 Presented by Engineering Services, Inc.
- D. L16-18 SHS Athletic Fields
Emma & Pleasant & NE corner of Maple & Kansas**
Concept of Detention
B16-54 **A) Variance for modification of landscaping**
 Requirement per Chapter 56 (NE corner of
 Maple & Kansas)
B) Variance to allow existing utility wires to
 remain as is
W16-12 **Waiver for sidewalk & streetlight requirement**
 Presented by McGoodwin, Williams, & Yates

XI. Board of Adjustment

- A. B16-53 Cypress Investments
1008 Clayton Street**
 Variance for deletion of screening requirement
 Presented by Engineering Services, Inc.

- B. **B16-54** **SHS Athletic Field**
 NE corner of Maple & Kansas Sts.
 A) Variance for modification of landscaping
 requirement per Chapter 56
 B) Variance to allow utility wires to remain
 as is
 Presented by McGoodwin, Williams, & Yates

- C. **B16-55** **Mathias Properties**
 Between 56th & Mathias Dr.
 A) Variance of reduction of distance between drives
 from 150' to 136'
 B) Variance for modification of Commercial Design
 standards
 C) Variance to allow green space width to vary from
 3' up to 6.2'
 Presented by Leonard Gabbard

- D. **B16-56** **Tyson Shared Services**
 W. of Johnson Rd., 600' S. of 412 W
 Variance for reduction of distance between
 drives
 Presented by Engineering Services, Inc.

- E. **B16-57** **Arkansas Children's Hospital**
 2601 S. 56th Street
 Variance for modification of screening requirements
 Presented by McClelland Consulting Engineers

XII. Waivers

- A. **W16-12** **SHS Athletic Fields**
 NE corner of Maple & Kansas &
 W. side of Pleasant Street
 Waiver of streetlight & sidewalk requirement
 Presented by McGoodwin, Williams & Yates

- B. **W16-13** **Mark McGarrah**
 SW corner of Scott Hollow & Monitor Rds.
 Waiver of subdivision requirements
 Presented by Jenkins Surveying

XIII. Planning Director's Report

XIV. Adjourn

The Springdale Planning Commission met in regular session on Tuesday, August 2, 2016 at 5:00 p.m. in Council Chambers.

Prior to the meeting being called to order, Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Brian Powell gave the invocation.

The meeting was called to order by Chairman Parsley at 5:02 p.m.

Roll call was answered by:	Bob Arthur – Vice-chairman
	Gary Compton
	Roy Covert
	Payton Parker
	Charles Gaines
	Vivi Haney - Secretary
	Mitch Miller
	Kevin Parsley – Chairman
	Brian Powell

Clayton Sedberry, GIS and Planning Coordinator was present on behalf of Ms. Patsy Christie, Planning Director, who was unable to attend. Ms. Sarah Sparkman, Assistant City Attorney was also present.

Ms. Haney moved to approve the minutes for the July 2016 Planning Commission. Mr. Miller seconded the motion. By a voice vote of all ayes and no nays, the July minutes were approved by a unanimous vote.

Mr. Parsley pointed out that there were two items on the agenda that had been tabled; one was a rezoning for 412 Investments, LLC and the other was regarding John Backus and his request to expand an existing non-conforming use in an agricultural district.

Tabled Items

- | | | |
|----|--------|--|
| A. | L16-13 | <u>Shiloh Hospitality, LLC</u>
<u>4726, 4723 & 4641 Williamson Lane</u>
Concept of detention |
| | R16-20 | <u>From A-1 to C-5</u> |
| | B16-48 | Variance for reduction of driveway standards
Presented by Blake Jorgensen |

Mr. Jorgensen was present on behalf of his client to answer any questions or comments. He stated that they had worked out the issues with the fire marshal which is the reason for the variance request.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments for the rezoning first.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Mr. Sedberry then read the Staff comments for the Large Scale Development.

Planning Comments

1. A written response to all comments is required with resubmission
2. This property must be rezoned.
3. Minimum radius to the face of the curb for driveways is twenty-five feet (25'). Show radii.
4. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
5. This development must comply with the City of Springdale Commercial Design Standards or a variance is required.
6. Distance between drives on a single tract shall be 150' and 50' between drives on adjacent tracts.

Commercial Design Standards Comments

- 1) A 5' wide sidewalk along the full length of the building along any side that features a customer entrance is required. This sidewalk shall be setback from the building foundation at least 6' to provide areas for foundation landscaping.
- 2) Foundation landscaping is required.
- 3) Provide at least two of the items listed under Central Feature and Community Spaces in the Springdale Commercial Design Standard.
- 4) Central features and community spaces shall have direct access to the public sidewalk.
- 5) Roof lines shall be varied with a change in height every 100 linear feet in the building length.
- 6) Need a detailed drawings of enclosures and screening methods.
- 7) Trash containers, trash compactors, and recycling bins shall be screened from public view on all four sides with a solid fence, wall, or gate constructed of cedar, redwood, masonry, or other compatible building material, and shall be appropriately landscaped.
- 8) Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meter shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture.
- 9) All rooftop equipment shall be screened from public view with an architectural treatment that is compatible with the building architecture.
- 10) Submit a unified lighting plan per Springdale Commercial Design Standards.

Engineering Comments

- 1) **Sect 112-8(j)** Need to show
 - a. Copy of a file stamped warranty deed

- 2) **Parking Ch130-Art 7 Sect 9.** Entrance/Exit Drives
 - a. **Sect 9.5.** Minimum radius to the face of the curb for driveways is twenty-five feet (25'). – **Variance is requested**

- 3) **The concept of detention** must be approved by the Planning Commission.

- 4) **DCM Section 5.4.10** *“An easement shall be provided in Plans for detention facilities. A minimum 20’ wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system.”* Ownership of the detention facility will remain with the land .

- 5) **Sect 107** The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/departments/planning_and_community_development/

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Jorgenson asked about the roof line comment regarding being varied in height every 100 linear feet in the building length. He asked from the elevations they submitted if that had been addressed.

Mr. Sedberry said it wasn't a standard comment and that either it wasn't addressed on the site plan or it wasn't clear. He suggested that Mr. Jorgensen call the office for clarification.

Mr. Arthur called for the vote on the concept of detention.

VOTE:

YES: Arthur, Compton, Covert, Parker, Gaines, Haney Miller, Parsley, Powell

NO: None

The concept of detention was approved by a unanimous vote.

Mr. Arthur called for the vote on the rezoning.

VOTE:

YES: Compton, Covert, Parker, Gaines, Haney, Miller, Parsley, Powell, Arthur

NO: None

The rezoning was approved by a unanimous vote.

Mr. Covert called for the question on the variance.

VOTE:

YES: Covert, Parker, Gaines, Haney, Miller, Parsley, Powell, Arthur, Compton

NO: None

The variance was approved by a unanimous vote.

Mr. Powell moved to approve the large scale development subject to Staff comments. Mr. Miller seconded the motion.

VOTE:

YES: Parker, Gaines, Haney, Miller, Parsley, Powell, Arthur, Compton, Covert

NO: None

The large scale development was approved subject to Staff comments by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, August 23, 2016.

- B. R16-26 Sprout Holdings, LLC
Westside Village Phase II
From C-1 & C-2 to MF-24
Presented by Crafton Tull

Mr. Daniel Ellis, P.E. with Crafton Tull was present on behalf of his client to answer any questions or comments. He did state that his client would like to downgrade the rezoning from MF-24 to MF-16. He had a conceptual drawing of what the plans would look like.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

The rezoning is keeping with the Comprehensive Land Use Plan and continues the buffer to the commercial area and is in keeping with the following goals and policies and is recommended for approval.

Larger multi-family developments should be located on sites with adequate space for off-street parking, accessory structures and recreational activity and toward the edge of single-family residential areas where higher traffic generation and taller building heights can be better accommodated.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Ms. Haney called for the vote.

VOTE:

YES: Gaines, Haney, Miller, Parsley, Powell, Arthur, Compton, Covert, Parker

NO: None

The rezoning was approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, August 23, 2016.

- C. B16-42 Springdale 2015, LLC
 E. Don Tyson Parkway, E. of
 Spring Creek Estates
 A) Variance for reduction of lot widths on lots 48, 50, 53, 76, 79, & 81
 B) Variance to decrease lot size on 3 lots from 8000 sq. ft. to 7200 sq. ft. on lots 48, 50, & 53
 C) Variance for reduction of curb & gutter from 6" to 4" modified curb
 Presented by Crafton Tull

Mr. Daniel Ellis, P.E. with Crafton Tull was present on behalf of his client to answer any questions or comments. He said that his client would like to withdraw the variance on the reduction of the curb & gutter.

Mr. Ellis said that they went back to the drawing board and had all of the lots reconfigured to work with the water line where they thought it was and where it had been marked in the field. After the fact, after they had done all the engineering and got all the approvals, Fayetteville water came back and stated the water line wasn't where they had said it was but rather it is a different location outside of their easement and they would need more easement. He said if his client can get the variance on the six lots and the lot reduction that they are asking for and they did spread them out so that they are not all side by side. They are across the street from each other but there are no two lots that are narrower that are adjacent to another lot. They are asking for the reduction because the water line "magically" moving in the field was outside of their control. Fayetteville didn't have a good reason for why the water line moved, but it is and it is outside of their easement until they can get it dedicated.

Mr. Parsley asked for Staff comments.

Mr. Sedberry said there were no comments other than to reiterate what Mr. Ellis said. They accurately showed the easement on the original set of plans Fayetteville water came back and said the water line wasn't in the right location and requested an additional easement.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney's question was if Fayetteville was outside of the easement then they should have to compensate for the difference.

Mr. Ellis said that question was actually asked and they were told they were treated like any other franchise utility and as a part of their final plat approval his client has to grant them the easement without compensation.

Ms. Haney said they came through her house with the water line and they compensated her for the land. She said that if they are outside of their easement to her rather than making the lots smaller and changing the configuration they should take up the piece of property.

Mr. Ellis said that all he knows is what he received in e-mails from Springdale and Fayetteville that they were required to grant the additional easement without any compensation.

Mr. Covert asked if the water line is actually outside of the easement or are they just taking the word of Fayetteville.

Mr. Ellis said that they went out and did some kind of field locate and according to Fayetteville and their survey department, the water line is outside of their existing easement.

Ms. Haney said she feels like they are lowering the standards of that whole neighborhood and she doesn't feel comfortable with doing that.

Mr. Parker asked if Mr. Ellis had ever had this type of experience before.

Mr. Ellis said that he had not experienced it with a city owned utility company.

Mr. Covert called for the vote on both variances.

VOTE:

YES: Miller, Parsley, Powell, Arthur, Compton, Covert, Parker, Gaines

NO: Haney

The variances were approved by a vote of eight (8) yes and one (1) no.

- D. C16-10 Badilo & Verde
5398 McGarrah Road
Conditional Use for a Tandem lot split
- LS16-19 Badilo & Verde
Tandem lot split
- B16-50 Variance for paved driveway requirement
Presented by Bates & Associates

Mr. Justin Reid with Bates and Associates was present on behalf of his client to answer any questions or comments. He said the tandem lot split is within the City of Springdale Planning area which requires a conditional use. He said the variance was the requirement for a paved private drive to access the tandem lot split.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments for the lot split.

1. A conditional use for a tandem lot must be applied for and approved by the Planning Commission and City Council.
2. A 25' access easement with a minimum 15' wide paved drive is required to the tandem lot.
3. Need surveyor's stamp and signature.
4. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

Mr. Parsley asked if there were those in the audience that had questions or comments.

Mr. Alvin Kelley said he owned twelve acres that borders this project. He said he didn't have any objections if they want to take the trailer house out and build a home or if they want to pave their driveway. He wants proof that there is a septic system on the back trailer house.

Ms. Haney wanted to know who verifies if there is a septic system in place.

Mr. Sedberry stated that since this isn't in the City limits, it would have to be verified by Benton County Health Department.

Mr. Covert told Mr. Kelley he would need to check with either the Benton County Health Department or the State Department of Health.

Ms. Haney stated that currently the driveway is not 15' in width. She asked if there was an easement.

Mr. Reid stated that upon approval of the lot split, they have the documents drawn up for a 25' access easement that will be recorded. He said as it sits now there is no easement because it is one lot. They will create an easement if the lot split is approved to provide access to the back lot.

Mr. Duane Miller, the Springdale Fire Marshall, said regarding the width of the driveway, that less than three structures of the residential utility doesn't require anything on the fire code.

Ms. Haney called for the vote on the conditional use.

VOTE:

YES: Miller, Parsley, Powell, Arthur, Compton, Covert, Parker, Gaines, Haney

NO: None

The conditional use was approved by a unanimous vote.

Ms. Haney called for the vote on the variance.

VOTE:

YES: Parsley, Arthur, Compton, Parker, Gaines

NO: Powell, Covert, Haney, Miller

The variance was approved by a vote of five (5) yes and four (4) no.

Mr. Miller moved to approve the lot split subject to Staff comments. Mr. Gaines seconded the motion.

VOTE:

YES: Powell, Arthur, Compton, Covert, Parker, Gaines, Haney, Miller, Parsley

NO: None

The lot split was approved subject to Staff comments by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the resolution to go to Council on Tuesday, August 23, 2016.

Public Hearing – Rezoning

- A. R16-30 412 Investments, LLC
2250 W. Sunset Avenue
From C-2 to C-5
Presented by Matt Dearnley

This item was tabled by Staff due to insufficient paperwork.

- B. R16-31 Wade & Barbara Kamps
1012 Schmieding Ave.
From C-1 to C-2
Presented by Wade Kamps

Mr. Kamps was present to answer any questions or comments regarding his rezoning request. Mr. Kamps said he purchased a shop with approximately 4,000 sq. ft. at the above location. He said he cannot use the shop with the current zoning and would like to have it rezoned to C-2.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

The rezoning request is in keeping with the following goals and policies of the comprehensive Land Use Plan and is recommended for approval.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Mr. Parsley asked if there were those in the audience that had comments or questions.

There were none.

Ms. Haney called for the vote.

VOTE:

YES: Arthur, Compton, Covert, Parker, Gaines, Haney, Miller, Parsley, Powell

NO: None

The rezoning was approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, August 23, 2016.

The following is a verbatim of the rezoning request.

Mr. Parsley: Alright the next item on the agenda

- C. R16-32 Sherry Farms, LLC
 5060 E. Robinson Avenue
 From A-1 to C-2
 Presented by R. Justin Eichmann

Mr. Eichmann: Good evening commissioners, my name is Justin Eichmann with Herrington-Miller Law Firm here in Springdale.

I am here on behalf of the applicant. The owners of Sherry Farms, LLC are also here with their agent Katie Hampton with Irwin Partners. We are here for rezoning approximately 32 acre tract of property along Highway 412 and the corner of Habberton Road, from A-1 to C-2. This property was recently before you as an annexation, as it was annexed into the Municipal limits from the county. That was approved recently and as I mentioned we are here to seek rezoning to C-2 as the Staff report indicates. We feel that along with that report that it is appropriate being commercial along a principal arterial like Highway 412 at the intersection of Habberton and it is also in conformance with your future land use plan designating that area for future commercial zoning districts. Obviously there maybe comments on this and I will be happy to address any questions that you might have.

Mr. Parsley: Thank you. Staff comments.

Mr. Sedberry: The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Mr. Parsley: O.K. I'll open it up. If there are any comments from the audience. I suspect that there are several people that probably want to have comments associated with this. We give everyone ample opportunity as far as to speak up here. I would just ask as far if we are repetitive as far as some of the things, that's fine. You have an opportunity to be heard, but just be aware as far as, you know, as far as what's already been stated and what has already been addressed on that. We would appreciate that. O.K., so I will open it up if there is any comments, if you will just make your way to the mic and make sure that you state your name and address.

Lorie Davis: Hello, my name is Lori Davis. We live 2887 Habberton Road. We are mostly concerned about this and we feel like we need to be on top of this from the very beginning because we have heard, well the certified letter we received says that it is to develop this land to build a residential health facility. We begin asking some questions and have heard that it is going to be a facility that is called Piney Ridge and this facility is for sexual offenders ages 7 to 17. This is right behind my house. If you look at the map, that A-1, where that A-1 is right, that's my house. We know, like I said, we know that this is just the rezoning. We feel like that if we don't get on top of it now that it may be too late at some point. We really would like some answers if can get those at all today.

Mr. Sedberry: We don't have a development plan for this site. The request before us tonight is strictly a rezoning from A-1 to C-2.

Ms. Davis: Right.

Mr. Sedberry: The property owners could decide to sell the property owners to whoever to develop the property as a C-2 whether that's a care facility or a retail development, whatever is allowed in a C-2 zone can go into a C-2 zone.

Ms. Davis: Right.

Mr. Sedberry: I just want everybody to be aware we are not rezoning it for a specific use or a specific person.

Ms. Davis: Right, we understand that.

Mr. Sedberry: We rezone it based on the land use plan and what is allowed in that zoning district.

Ms. Davis: Right.

Mr. Parsley: Can we make sure to cover as far as what all is within a C-2?

Mr. Sedberry: Sure.

Ms. Davis: So this letter specifically says, it's from this attorney, develop the land to build a residential and health facility.

Mr. Parsley: Are there any comments that you want to address associated with this.

Mr. Sedberry: I have to look it up.

Mr. Parsley: Go ahead.

Ms. Davis: Go ahead.

Mr. Eichmann: Yes, thank you. This is correct we are in the zoning phase and not the development phase. The intention here that is being sought is for the construction for a residential health facility which serves mental and behavioral health services to adolescents to counseling services to families, help for victims. This is a service that is provided throughout our community in Northwest Arkansas and numerous locations including different ones located in Springdale. Piney Ridge in particular, has been in a Fayetteville location for twenty years located in an area that is next to residences, next to commercial across from Fayetteville Athletic and as being somebody who goes by there quite sometimes is something that you almost miss when you drive by. This is a part of a growing community. Our institutions in Northwest Arkansas from schools to hospitals to medical clinics to medical services are growing everywhere. This is meant to meet those needs and it serves a wide range of clients. Having said that, obviously we responded to what the application for rezone asked and when it asks what the intention we want to be forward with that. I do believe that this is a zoning determination and the zoning is compatible which is applicable which follows your in conformance with your comprehensive zoning plan. I would be happy to answer any of your questions and I don't want to take up too much time here.

Mr. Parsley: Thank you.

Ms. Davis: Can I ask a question?

Mr. Eichmann: Please.

Ms. Davis: So are you saying that it is going to be Piney Ridge?

Mr. Eichmann: That is the intention. I cannot, as has been stated, the development is not before you. I am not a part of the development plan. I cannot get into it because I don't know any such details. The intention is for this to be a residential health facility. I believe that is under Use Unit 4 in your, in the commercial zoning districts. That is what is intended.

Mr. Parsley: We are looking up right now. I mean we will cover with you as far as what all can be within a C-2. I think that it is important that everybody understands as far as what use units can go into this area. He is absolutely correct in that what is before us tonight is a rezoning piece. There is nothing that we are looking at as far as a large scale and really don't have an affirmative as far as what is going to be on this. Whatever they disclose, that's to them to be able to disclose that type of information.

Ms. Davis: So will this go on record? We have several neighbors here. I am a teacher in Springdale. I know these kids deserve treatment. This land is within, it is 125 feet behind my house. There is a church. There are five schools within a mile. We just wanted to be on record in this early stage just to let our concerns be known.

Mr. Parsley: Yes ma'am. Everything that you just stated it will be on record and everyone else that comments tonight.

Ms. Davis: O.K., thank you.

Mr. Parsley: Thank you.

Mr. Eichmann: We will commit to work with all neighbors on concerns during the development part when that part comes forward. That will be a commitment that we make and we will continue to do. We have had a number of meetings, have tried to reach out to reach out to people in the city, to the district. That will be a continuing effort to make sure that we address concerns.

Mr. Parsley: I'm going to have Clayton cover real quick as far as all Use Units that are within compliance of a C-2.

Mr. Sedberry: In terms of permitted uses: we have city wide uses by right, cultural, recreational, and health facilities. Offices, studios, related services. Eating places, like restaurants. Neighborhood shopping goods, shopping goods, trades and services. Automotive services, parking lot, temporary buildings, transportation services, health care clinic and indoor flea markets are all permitted uses in a C-2 zone. So when this is rezoned, any of those items could go in there as a use by right.

Mr. Parsley: O.K., thank you. By the way, all of these can be looked up on line as well so that people can see these types of Ordinances and so forth as well. Thank you for covering that. Yes sir, if you will state your name and address.

Mr. John Harrison: John Harrison, I live 2929 Habberton. I am the Davis' neighbor. I think generally why everyone is here is far as this issue is the concern over that particular facility. I know you stated it was for all kinds of mental health treatment stuff but if you look at the website it says specifically for people with sexual behavior issues complicated by other mental illness. I get that this is a rezoning deal, but I think that is what is driving the interest here. Y'all just cut the ribbon on a multi-million park less than half a mile from this location with a splash pad. So kids in swimsuits and sexual offenders right up the road. Also, outside of that, as far as the zoning goes, consistent with the area it is definitely more agricultural and residential as far as what is in the area. It is surrounded by orchards, vineyards and homes.

Mr. Parsley: Thank you.

Mr. James Allen: James Allen. I live 4155 (?) Lane but my sister, my brother and I own the land straight across from Habberton. So it is just going to be right across from me. Another thing, like that guy said that is strictly for sexual people that don't need to be there. Thank you.

Mr. Parsley: Thank you.

Ms. Connie Whitely: My name is Connie Whitely. I live at 3011 Habberton Road. If this isn't the place to state our concerns, when will it be. I have adjoining property to Lori also and I have horses and I have agriculture in the area and I have a fourteen year old granddaughter that concerns me deeply. When do I voice my concerns.

Mr. Sedberry: Assuming that the rezoning is approved and they want to continue with their development plans, they will have to send notices out again for their development plan specifically. There will be another meeting, this meeting that that development plan will need to go to and they will take public comments just like we are now. That will be the time for the site specific comments that you have. Not to discourage you from making comments now, but those comments would be specifically for the development itself.

Ms. Whitely: And by that time they will own the property and we all know how quickly these things slide by and how quickly things happen and we don't have a voice.

Someone speaking in the background.

Mr. Parsley: If you will come to the mic.

The gentleman never gave his name or address. The only way that we found out about this was the Davis' received a certified letter and her husband Adam happened to speak to a school employee that was informed about this already. Other than that, there is a sign this big twelve feet off the side of the highway where people are running seventy mile an hour. There is some shady stuff here.

Ms. Sarah Sparkman: I think that this would be a good opportunity to let everybody know about the City's notification system and that you can sign up on the City of Springdale's website. You can sign up for any type of rezoning request within, I believe a one mile radius of wherever you reside and if you sign up there you can get those notifications. Under law it is only the adjacent property owners who are legally required and legally entitled to notice. If you would like to know more about what is going on in the neighborhood, that would be a great way to get more connected.

Mr. Parsley: Thank you, Sarah. I was actually getting ready to bring that up but I'm glad you did.

Mr. Jeff Cole: My name is Jeff Cole. I live at 5280 Horn Lane which would be south of this proposed rezoning. I understand this is a rezoning request and I understand the process. As Ms. Davis spoke to the concerns, when do we voice those concerns. I have, I certainly have deep concerns about what is being proposed. I went to, as did this other gentleman, talked about, the Piney Ridge website. He characterized it as what I reviewed. I want to go on record, I want to be a part of this going forward addressing this issue and of course, I don't want to be unkind here, but the website in the way it is characterized, all the good buzz words are used. All the friendly phrases and the family friendly and the nurturing and so forth. We are talking specifically, as the other gentleman indicated talking about sexual offenders or sexually aberrant behavior under eighteen or younger, or what was that age? eight to seventeen? Again, I am just expressing my concerns I intend to be back. Thank you.

Mr. Parsley: Thank you.

Ms. Kelly Kirk: My name is Kelly Kirk and I live 20148 Santa Rosa Drive. So it is about a mile away from the location. I work at Turnbow, I am a teacher there which is just down the street. My concern is that I didn't even know, and my children attend school on the east side. I didn't even know about this until a neighbor who was notified, told me. I feel like if they are going to put in a facility with registered sex offenders, who, the only thing keeping them out of prison is their age. The notification system needs to go wider than just the adjacent property. My other concern, I understand his concern for the 130 children who would be served here, but it could impact thousands of other children who are right around there.

Mr. Parsley: So on first piece, Sarah, I don't know if you want to talk about that again as far as the notification system, but by law, as far as the notification, it has to be the adjacent property owners and so forth. Again, one of the things that we are proactive about is the on line process that allowed that to be a much larger radius as far as notifications on that. That's why we are definitely encouraging people to sign up for those because that gives you a lot more notification of a lot of things that are going on with our city. It is really helping as far as the engagement as far as our citizens of Springdale as far as what is going on. That in itself is our proactive way of getting more additional notification out there. That is an opt in piece. We can't require people to sign up for it but it is definitely a great service in order to be able to have that type of notification.

Ms. Kirk: I will definitely do that now.

Mr. Parsley: The other is just bound by law as far as what that notification process is on there.

Ms. Kirk: I just wish, I don't know, the whole process to me has seemed just a little bit shady. They won't say what they are building but yet if you do enough research, you can figure it out. I feel like they are just trying to do it so that people won't know.

Mr. Parsley: So legal representation from them, I guess I question I would ask is: they stated they were willing to work with adjacent property owners and people within the area. What would you like to see, and I know that I'm putting somebody on the spot associated with that, but what would you like to see associated with it?

Ms. Kirk: From what I know and Lori may be able to help me more on this, the only people they notified were that group of houses that were in that A-1 section. They didn't notify anybody else. Just one house.

Mr. Parsley: Your request is going beyond what the actual legal requirements are of notification rather than being proactive.

Ms. Kirk: I feel like that would be a nice humane thing to do, yes.

Mr. Parsley: Thank you.

Mr. Bob Arthur: This is why the.

Mr. Sedberry: We can't require, I'm sorry.

Mr. Arthur: I was just going to say that we have been through this with notification on some issues that can be somewhat controversial and so that is why the opt in option was put in to expand the notification out to a mile from where something like that would happen so people would know. So that's, I just wanted to say that. We have been here before and that was the result of being in this situation before where we give people the opportunity to sign up and be able to receive notification to, you know, when things are happening near their property.

Mr. Parsley: Yes, sir.

Mr. Mike Cyle(?): Mike Cyle, pastor at Friendship Baptist Church, 5395 E. Robinson. We would like to just go on record that we are concerned too having reviewed the Piney Ridge website. What's already been mentioned. We too are concerned about the location in such close proximity not only to the schools and park but to our church as well.

Mr. Parsley: Thank you.

Mr. Payton Parker: Can I ask about specific concerns. I mean just outside of the general like specifically, I would like to get just for my own

Mr. Cyple: Yeah, sure. Well, what kind of security means are there for residential for the people being treated at that location? Our church as you can see on the map is the little white parking lot there. Is just within a 1000 feet or so of that property so what kind of security measures would be in place for a facility like that regarding their clients being able to leave or come and go.

Mr. Parker: So I think, what I'm hearing though, the main issue is security which we can't really address at this meeting. Is that right?

Mr. Cyple: Yes, but we are just thinking ahead.

Mr. Parker: Sure and I hear all the concerns too. With 412 and city's plan that is probably going to be commercial at some point and we are just kind of you know, a little bit, I don't know.

Mr. Cyple: Thank you.

Mr. Sedberry: Concerns about security and how the property is going to be laid out and screened and maintained, those would all be addressed with the actual development plan. We can't really, I mean we can discuss some with the rezoning but we really can't make any type of commitment or bind the developer to a commitment because that's really in violation of the state law.

Mr. Cyple: I get it. My sister works for the Rogers' Planning Commission. She told me y'all could approve this and tomorrow they could cancel that plan and build an asbestos factory and be worse. So, it is really irrelevant what's going in, but to us who live there, you asked for specific concerns. 24/51 did an investigation on a DHS investigation on this same company for running a fight club with children and Staff. The same company was one point operating out of Forrest City and they were under investigation for firing whistle blowers trying to report illegal activity. Do you want that with sex offenders in your back yard?

Mr. Parsley: Thank you.

Ms. Whitely: Connie Whitely again. I have lived here for thirty years and I have seen the property values of my home increase over that time and I have watched Springdale grow and put in lots of different things that I find very exciting. Businesses, restaurants coming our way so we don't have to go very far, but the first thing my husband and I said when we found out about this was watch our property values now. Who will want to buy my piece of property knowing that they are adjacent to this facility? That's another one of my big concerns.

Mr. Parsley: Thank you.

Ms. Janet Judd: My name is Janet Judd, I am the trustee of James Hallum (?) estate which is the land right directly across from 412 where this is being discussed. My concern is, I know that all this coming out 412 will be commercial, I know that, that's part of the growing. But when they put something like Piney Ridge in, it is going to like she just said lower the value of the property out there in which there has been additions that

have been built all around, the park and the school. I just want to tell you my concerns about this and there has been instances in the other Piney Ridge where there has been runners and when they do and the people that work there, all they do is call the police to pick up them. There is a lot of other information, it says up to seventeen. I have also learned that they are in there for two years after seventeen years old they have to be, the psychiatrist will have to release them. If they are not ready they can keep them longer and there are times that they have been older before they can release them. That's all I wanted to say. Thank you.

Mr. Parsley: Thank you.

Ms. Karen Eldiringa(?): Good evening, my name Karen Eldiringa, 2837 Habberton Road. I am speaking on behalf of my father-in-law's home. You know we are living there. He has big family. We are talking about numerous kids and grandkids from the ages of 3 months to like teenagers. He is one of the property owners that did get notified, certified. It was all in English. It wasn't in Spanish so it was like he was notified and we were all brought aware because of Ms. Lori our neighbor. It was kind of like, o.k., what's going on, how can we voice our opinion. I guess our concern as a family is that I understand that this is a rezoning and I understand that it is just you guys are going to figure this out but in the long run our concern is our family. You know, we love to run around and play and that is another concern of ours. We are like, wow, what happens if these kids and leaving or traveling away from the facility. Our homes are so close, our family is there, there is children. We as a family is concerned. You know you guys mentioned that we could come and voice our opinion if it gets approved but what happens if my father-in-law can't come with another person that voice our concerns as our family? I think that the people that want to build something not to mention there are other families that live right across the street that were also made aware language I guess what I am going as for here as well. Please just keep that in mind when you make that decision. It is just the beginning but is a great impact on what is going to come.

Mr. Parsley: Thank you. Any other comments. Alright it is to the commission. I'll make one comment as far as the beginning. This has a similar flare that what we had to deal with as far as the other side of town when we had an industrial park type of proposal. My point of view, and I can't speak on behalf of each one of the planning commissioners on here, but when you deal with situations like this that have some complexity and some disagreements associated with it, I don't think that we can look at the rezoning in isolation. You do have to look at the future use and so forth on here. What Patsy always says on here is that we have to look at what is the extreme circumstances as far as what can be zoned and actually be a use unit within those different locations on there. I am not speaking specifically about this one on here but I mean, there could be a restaurant or something that goes in that really doesn't fit that area associated with it. I think some good points have been brought up as far as from a master planning perspective especially on this side of town we have invested as a city especially on our school systems and also our recreational facilities. A lot of great infrastructure and we are already seeing growth in that area. I think the city has invested a lot as far infrastructure from roads with the Don Tyson expansion out there. There is just huge opportunity that we have out there, so I think that if we want to look at something like this, I think that we need to look at it holistically and that would be my advice to counsel

that is representing his clients on here is that I wouldn't be in a situation that you just do minimal, viable, as far as notifications. I think with developments like this we have to show due diligence as far as partnership with the community, as far as what we want to put in these facilities and what we want that to represent as far as Springdale is concerned. That is just my stance as far as how we look at this. I didn't know if any of the other planning commissioners have any comments.

Mr. Brian Powell: Well, we already have some, we have a C-5 out there already. We all know, or we all hope that this area develops and grows but it needs to grow in a manner that suits the City of Springdale and the residents of Springdale. I know that in the past we have approved some areas that it came back to where that apparently it didn't fit the spectrum. We were doing overlay district, there was a Love's truck stop that wanted to come in there. Well apparently it didn't fit the narrative even though it wasn't in the overlay district and so it was not approved. I agree with you and I know that we are just rezoning and anything can go in there but when you know something that is going in there that really doesn't fit the narrative of that area it is very hard to just well we just need to zone it based off of just a rezoning. I would like to take, the question I have is why this area?

Mr. Eichmann: I will address that if I could. I think, what I want to refrain from, is I know there has been a lot of discussion about potential use and I know that when it comes to peoples' property, whether they are selling property they have held in their family for a very long time or whether they are talking about property that is next to them there are a lot of passions that are wrapped up into that. I will say that I don't want to sit before you and give a blow by blow in defense of Piney Ridge for the services they provide. I don't think that is appropriate here and frankly I don't want to get into an argument with people on things I may feel as a mischaracterization of the clinical services that they provide and to the people they provide them. We all have people, populations in our community that require services and if you don't provide those to the population of the community you have a problem, you have a big problem on your hands. So we have these facilities in Fayetteville, Springdale, Rogers and Bentonville, Lowell, other places. You have them here in Springdale on Don Tyson Parkway, out at Har-Ber. We have them down in Fayetteville, off of Joyce Street.

Mr. Parsley: The only comment I would make about that is the accessibility of those is much cleaner as far as the intersections with traffic lights and things like that. This is a very busy street associated with this and you are talking a lot of traffic coming into this location.

Mr. Eichmann: It is a busy street and that's why we thought it would be appropriate. This is a major corridor into the City where you are expected to see commercial growth and where your comprehensive plan indicates that is where you have chosen to go. Further to the east is where the 412 Bypass intersects. Further to the west you see Tractor Supply and all the commercial that aligns 412. I frankly couldn't see how it wouldn't be appropriate for commercial along 412. I would have a hard time explaining how that wouldn't be appropriate to somebody who is explaining it to me. How can it be appropriate for the length and breadth of this principle arterial going through Springdale except for this one spot. I don't know if I denigrate anyone's concerns and I think all of them are very valid. I would say there is a very different characterization of the services

that Piney provides. I would like to address that at some point but as to your question which was why this particular area was conformance with your comprehensive land use plan showing C-2 growth along this highway, accessibility for people to be able reach it through Don Tyson Parkway up to 412 coming into your city from the east, as it is right now you are developing a major children's hospital on the west side of you city and this would be a substantial facility on the east side of your city. Both of those were put there for reasons to be able to serve populations to be able to access them. Appropriately those typically go near principle arterials; 412s, near 49s, those types of locations. Again, this is an expanding need in our area. This is a population that we have to serve and that's why we are seeing clinical institutions growing like crazy around here because they are having to meet these needs. That's why it is here and that's why it is being proposed. The intention was and is to be a very good community member with Springdale and we want to work with that the best we know how. It was specifically for that reason and for that access and as a knowing to be a growing and vibrant area of the city.

Mr. Harrison: I don't think anybody has a problem with trying to offer health care to people. I think that we are all behind that and there's no problem with creating a facility like this but there is a more appropriate place. Right smack in the middle of a bunch of schools, a public park and a bunch of residential neighborhoods, it just doesn't make any sense you are exactly on track with your question.

Ms. Stephanie Long: Hi, my name is Stephanie Long and I teach at Turnbow. There is a group of teachers here who completely understand the validity of a place like Piney Ridge. We are not fighting that at all. What we don't agree with is the location of it. If we know that something commercial is going to go in there then what kind of rezoning do we have to do to make it like an appropriate commercial place.

Mr. Paul Snyder: Paul Snyder 13339 Kelly Road. I live all the way across town out by Elm Springs. This is the first, I am here for another purpose tonight, but this is the first I have heard of this. Just as a dad of a three year old little girl, I have major problems with it and I'm not even right next door. Your comment about people being right next door, I'm not right next door and I'm not o.k. with it either.

Ms. Tammy Smith: Tammy Smith, 19918 Davis Ford. I am on the east side of Springdale. I am about three miles away from this property. I work in health care. I am not disagreeing with this is not a needed facility. What I would ask you to look at is the type of people that go here. Yes, treatment is needed. Yes, this facility is needed somewhere in Springdale. I know that this is commercial property or it is going to be zoned for that in the future. I would love to have a Target out there by the way. We need one on the east side of town. My concern is the way they are playing off to you. This is not people from our community. These are people that come from all 50 United States. Not only that, some of them are court ordered some are not. Once they turn 18 their record is expunged so they have no record of what they have done.

Mr. Parsley: Thank you. Dr. Compton do you have a question?

Mr. Compton: Yes I do. Mr. Eichmann, Acadia Health the national organization which Piney Ridge is a part. Are they currently in negotiations to buy the property.

Mr. Eichmann: Yes, that is correct. There is a contract on the property. If I could, Acadia is the parent company of Piney Ridge. As I stated this is to be a Piney Ridge facility.

Mr. Compton: So Brian's point, even though this is a rezoning it is pretty inherent in the conversation once it is rezoned we know exactly who is going to buy it and exactly what is going to go there. Would that be correct?

Mr. Eichmann: Yes, I believe that is what we stated. Yes.

Mr. Compton: The lady that just addressed the clientele there, my understanding that the current group of young people that are at Piney Ridge none of those young people are from the Springdale School District. Is that true?

Mr. Eichmann: I might have to ask somebody to assist me on this one because I can't give you. This is the CEO of Piney Ridge. It is Doris Singleton. I think that she could better address this question.

Mr. Compton: Hey Doris.

Ms. Singleton: We accept residents

Mr. Parsley: If you could state your name and address.

Ms. Singleton: Doris Singleton and I live in Fayetteville, Arkansas. I am the CEO of Piney Ridge in Fayetteville and the question was about residents that are currently placed in Piney Ridge and their school enrollment. We provide all educational services on site and our educational program is provided over site by the Springdale School District.

Mr. Compton: Doris you and I have had conversations before and have exchanged emails. It is not the first time that you have heard me express some concerns to you and to others about this program. These students that would be at Piney Ridge or the young people that would be there, would they be integrated in any way into the Springdale School District.

Ms. Singleton: The children in the residential treatment facility receive all their education on site. We hire our teachers and the education is provided in class rooms in the facility.

Mr. Compton: O.K. so there would be no students that would go from Piney Ridge services and then

Ms. Singleton: Not from the treatment facility. Not the residential treatment facility. In the event that we would add a group home, which that would be future plans, those kids are currently are educated throughout the public school system. That is a step down program; a different type of program.

Mr. Compton: Thank you.

Mr. Parsley: Any other questions or comments from the commission?

Mr. Arthur: I have a question. I think I understand the process but I want to be sure I understand it so I am going to ask. If we either approve or disapprove this request it is still going to Council at one point, is that correct? It is going to go to Council at one point after we are done here. I mean we have situations in the past where we may have approved something and City Council shared that they didn't want that or vice versa. Do I have that correct? I'm not saying that we push this off on City Council, what I'm saying is, we experienced this once before and Kevin brought it up. When we have a situation here that is potentially you know a difficult situation for the neighbors and concerns, I understand the issues, I understand that we have kids, I understand that sexual stuff, all that stuff which does make it a little more emotional I agree. It tells me that the communication process as this goes forward on these type of things, I think, Kevin, you were alluding to that because we have been through this before. The intentional communication process for those that are close by or within the radius where education can be done, where people can have a better understanding of really what it is all about versus what they think it is or what it could possibly be and then all of a sudden the emotions get involved and then sometimes, thinking, no offense, I'm just saying that it happens. So the point is, is that if there is a window of time or opportunity regardless of what we do here, that I think some good education and communication with those that would be affected because of the controversy of this nature, I think would be a very positive thing. I know there is not legal requirements for that, I get all that. It is one of those things where maybe we just need to sit back and take into consideration the neighbors and all that and they may be appeased in those conversations once they can get the information they are looking for. That's my point. I think that, I didn't know about all this real well either before I came here tonight so there are a couple of things that we could probably improve upon on these type of issues. I'm giving you that word of encouragement regardless of what we do. There is still going to be a window. If we say no and you choose to appeal and say we are going to go to City Council. You have a window to communicate where maybe some of these issues can be addressed or alleviated. That's my whole point.

Mr. Eichmann: Thank you. Point well taken.

Mr. Parsley: I think that there is also the opportunity as well for the applicant here. Do you want us to hear this? Do you want it to be tabled? Those types of things. I offer that up as well.

Mr. Eichmann: Thank you. I read the concerns that you all have and want to be able to address those. If that would be between a council and a City Council meeting we would make every effort to do that if that would be the chair's recommendation a tabling, we would be willing to do that too. I do think this has strayed far from the zoning determination and that is what we are here to do. But we are also here to make sure that we are good citizens and that people understand what it is that the facility does.

Mr. Parsley: I am not making that recommendation. I mean that is something that you guys need to make sure that you choose on there. My only point for bringing that up is, is that I don't know what the outcome of the vote would be as far as this group here. If we did vote it down and that whole piece it would still go to City Council and they would have to hear it as well. I think what you need look at as far as how you stated as far as begin a great corporate citizen what time investment do you want these people to have

as far where they have to continue to come back for these type of things have to be heard as far that again. The same process will go through on that one just for rezoning then we have to come back, even if they overrode us in that whole piece and they approved it then we get to the large scale development and so forth and we have got this over and over again. I'm looking from the perspective as far how do you want to invest these people's time and this whole process on here. Do you want to be more collaborative and work with them as far as something that, I think that everyone, a vast majority of people have stated there is a need for health services. I think that there is a big concern as far as where we're looking as far as where this is going. Where does this need to go in northwest Arkansas? I think that is a big concern that people are asking. I think that people are in favor of having that support. People need help associated with it but I'm just giving that as, there are options. I can't tell you that that is the option you should choose but if you guys want to that is on the table as far as associated with it. We can vote on this tonight, you can choose to withdraw it, however you guys choose.

Mr. Eichmann: May I have a few minutes. I don't want to hold up your business. Is that possible to table the question to later in the meeting.

Mr. Parsley: Yeah, we can do that. I would encourage you not to table it too long cause I suspect that came for this hearing. O.K. so we will go to the next item on the agenda and come back to this. One last thing. Did you have a comment?

Ms. Kirk: I'm Kelly Kirk again. The lady back there from Piney Ridge stated that the future plan was to build a group home. Is that at this property? Now I have a bigger problem because that means that those kids are in my school with my kids. It is in your hands.

Mr. Parsley: So will table this and let them be able to converse and we will come back to that.

Mr. Harrison: Big picture-wise as far as city planning goes. As I said earlier, you are in a pocket of schools, you are right there by the new park and he is right about access. It is accessed which you all market as the biggest crafts fair in America. I live on that road, we fight getting out in the traffic. It is also it is where everybody goes to get to the lake from south Washington County, it is the same route.

Mr. Parsley: Thank you. Alright we are going to come back to that one. The next item on the agenda:

D. R16-23 Nanci Mota Flores
608 James Avenue
From MF-12 to I-1
 Presented by Blew & Associates

Mr. George DeQuesne with Blew and Associates was present on behalf of his client to answer any questions. He had with him Ms. Mota.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Encourage the development of industries that further diversify and stabilize the City's economic base that are compatible to the labor force, raw materials and industrial climate and provide space for new and expanding high technology industries with low environmental impact.

Assure adequate land allocation for industrial growth protected from encroachment by non-industrial use.

Mr. Parsley asked if there were those in the audience that had questions or comments.

Ms. Audrey Grimes who lives at 705 James Avenue. She said they have no objection to the rezoning however, she was told that a business would be going in that location and her concern was regarding the traffic on James Avenue.

Mr. Sedberry said that when they do a development plan those type of questions will be answered. He further stated that there is a possibility that there will be street improvements and that the utilities would need to be expanded. He said that a lot of questions would have to be answered if they were to develop that property. He also said that she would get another notification of a public hearing if and when the property is developed.

Mr. Powell called for the vote.

VOTE:

YES: Compton, Covert, Parker, Gaines, Haney, Miller, Parsley, Powell, Arthur

NO: None

The rezoning was approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, August 23, 2016.

Mr. Parsley: So we will come back to 16-32, Sherry Farms, LLC 5060 East Robinson from A-1 to C-2.

Mr. Eichmann: Thank you Mr. Chairman, yes we would like to table at this time if that is acceptable to the commission.

Mr. Parsley: Table this discussion? O.K.

Mr. Eichmann: Appreciate it. Thank you.

Mr. Parsley: Just so everyone is aware, we did not take any votes on this. That was their choice to table it for further discussion associated with it. Again, I think that this was a great opportunity to let everyone know as far as the notification service, you can go on line and get those types of notifications. Critically important because if you are within a one mile radius, I believe that's what it is, you can get those notifications. I think that you can opt in for all notifications for things across the entire city. I personally would encourage you to do that because there are incredible amounts that continue to come before us. Very exciting things that we have and just a way for you guys to stay engaged and informed about what is going on.

Mr. Compton: Kevin, when are we tabling it till, do we know?

Mr. Sedberry: It is automatically tabled to the September meeting which is the first Tuesday of the month unless we hear from the applicant that they want to withdraw it and then they would have to start all over.

Ms. Pounders: It will be September 6.

Mr. Parsley: O.K. so thank everyone for coming for this one in particular. You are more than welcomed to stay for the rest of the meeting.

E. R16-34 Alma Boyd
2377 N. 56th Street
From A-1 to SF-2
Presented by Travis Roe

Mr. Roe was present on behalf of Ms. Boyd to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval.

Protect the positive aspects of neighborhood character throughout the City.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Stabilize property values and maintain the integrity of neighborhoods by protecting residential neighborhoods from non-residential influences and providing buffers between residential and non-residential uses.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Mr. Parsley asked if there were those in the audience with comments or questions.

Ms. Maggie Lamoyne(?) who lives south of the property. She said she was concerned regarding the size of the houses that might be built on this property. She also wanted to know if there would be a fence built between her property and the site being rezoned.

Mr. Jerry Cork (?) spoke. He stated that he lived across the street from the site in Saddleridge subdivision. He wanted to know how big the site to be rezoned was going to be.

Mr. Sedberry stated the rezoning stated that it was 18.6 acres.

Mr. Cork said that it appears that SF-2 indicates there can be four houses per acre. He stated that his subdivision is SF-2 but the regulations require one house per acre because they are all on septic systems. He wanted to know if the City was going to run a sewer system for that site.

Mr. Sedberry said that the four per acre is the minimum lot size. It doesn't mean that, that will be the lot size. There are other factors such as topography, utilities and whether or not there will be sewer service.

Mr. Cork wanted to know what an SF-1 zone is.

Mr. Sedberry said it was a slightly larger and there were approximately three houses per acre. He said the lot width is wider and the lot area is larger.

Mr. Cork said that some of his other concerns for the future of Oak Grove, Bob Mills, 56th Street, but most of the white lines on the side of the road have flaked off. His concerns were if there are plans in place to upgrade those roads.

Mr. Sedberry said that he didn't think the City had any plans for those street/roads in the near future.

Mr. Roe said there is no sewer on the property, just water. He further stated that don't have plans to develop this property. The Boyd's are trying to sell off a portion of their property as they are not able to maintain such a large tract. He said they felt like by rezoning it to SF-2 they would have a better chance of selling it.

Mr. Cork wanted to know if the City had plans to put sewer in the area.

Mr. Sedberry stated that would have to be done through the Water and Sewer department which is a separate entity from the City.

Mr. Powell called for the vote.

VOTE:

YES: Covert, Parker, Gaines, Haney, Miller, Parsley, Powell, Arthur, Compton

NO: None

The rezoning was approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, August 23, 2016 at 6:00 p.m.

Public Hearing – Conditional Use

- A. C16-12 Marleen Newberry
271 Casteel Lane
Use Unit 28 (Home Occupation) in
A-1 District
 Presented by Marleen Newberry

Ms. Newberry was present to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

Acceptable Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

Acceptable Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

Acceptable Refuse and service areas, with particular reference to the item in 1 and 2 above.

Acceptable Utilities, with reference to locations, availability and compatibility.

N/A Screening and buffering with reference to type, dimension and character.

N/A Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.

Acceptable Yard requirements and other open space requirements.

Acceptable The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.

Acceptable Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.

Acceptable General compatibility with adjacent properties and other property in the general district.

Mr. Parsley asked if there were those in the audience that had questions or comments.

Ms. Missha Wagoner with Community Engagement spoke. She said this property currently had code violations. There are some unsightly situations, such as junk and trash even some building issues. She said that they will work with her to get the area cleaned.

Mr. Stith with Building Inspection said they house needs siding and it will take more than seven days to get that completed.

Ms. Sedberry said that it is a conditional use and those issues can be addressed in the resolution for the conditional use.

Mr. Arthur said that if Ms. Newberry gets it up to the standards that it needs to be at, the commission can grant her the conditional use so that she can get a business license.

Ms. Sparkman, the assistant City Attorney, stated that they could; however, they would need to be a definitive line on it as far as community engagement is concerned.

Mr. Parsley asked Ms. Newberry if she was in agreement with what had been recommended and did she have any questions.

Ms. Newberry said that she would get the trash and junk cleaned up within seven days.

Mr. Stith stated that he has made a list of items that need to be addressed and has referred them to Tom Evers.

Mr. Sedberry said that it could be approved subject to community engagement and building inspections being addressed.

Ms. Wagoner said that once Ms. Newberry is compliance the conditional use would be approved.

Mr. Sedberry said that the commission could approve the request subject to the Community Engagement's re-inspection of the site and getting that approval and subject to building codes being addressed. He said the resolution would not go to Council until such time that all issues have been satisfactorily addressed.

Mr. Miller called for the vote.

VOTE:

YES: Parker, Gaines, Haney, Miller, Parsley, Powell, Arthur, Compton, Covert

NO: None

The conditional use was passed by a unanimous vote subject to the issues with Community Engagement and Building Inspection being addressed.

Mr. Sedberry stated for the record that Staff would prepare the resolution but would hold it until Staff has been notified that all issues have been addressed.

Board of Adjustment

- A. B16-45 Freddy's Frozen Custard
NW corner of Hwy. 412 & Founder's Park Dr.
Variance for modification of Commercial
Design Standards (Foundation landscaping)
Presented by McClelland Consulting Engineers

Mr. Nathan Streett of McClelland Consulting Engineers was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry stated that their site design has a patio out front and in order to make it wide enough to be usable they need this variance.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Covert called for the vote.

VOTE:

YES: Haney, Miller, Parsley, Powell, Arthur, Compton, Covert, Parker

NO: None

Mr. Gaines excused himself from the meeting for another engagement.

The variance was passed by a unanimous vote.

- B. B16-46 Inez Paris
5014 Kelly Road
Variance for reduction of bulk area from
2 acres to 1.39 acres
Presented by Paul Snyder

Mr. Snyder was present on behalf of Ms. Paris to answer any questions or comments. Mr. Snyder stated that the property belonged to his mother-in-law and that she is planning to give this land to his wife and him so that they can build a house.

Mr. Parsley asked for Staff comments.

Mr. Sedberry said that it is a bulk area variance and that they also have a lot split that will be done administratively.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Powell called for the vote.

VOTE:

YES: Miller, Parsley, Powell, Compton, Covert, Parker, Haney

NO: None

RECUSE: Arthur

The variance was approved by a vote of seven (7) yes and one (1) recusal.

- C. B16-48 Shiloh Hospitality, LLC
4726, 4723, & 4641 Williamson Place
 Variance for paved driveway requirement
 Presented by Jorgensen & Associates

This variance was approved by a unanimous vote in conjunction with the large scale development.

- D. B16-49 Travis Johnston
5094 Bob Mills Road
 Variance to increase height of fence in front from 3' to 4'
 Variance to increase height of fence on side from 3' to 6'
 Presented by Travis Johnston

Mr. Johnston was present to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry stated that it was tabled so that some concerns a neighbor had could be addressed.

Ms. Wagoner said that the traffic committee did a study. She said they couldn't do the site triangle because they are only done on intersection and there was no intersection at this address. They videotaped going both directions to see if there were any kind of line of sight issues and they did not have any issues.

Mr. Sedberry stated that with corner lots, once you go past the front of the house it is considered the front of the house and it must be three feet tall. The length of fence on the front of his house on the west side towards being six feet tall violates that three feet.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Ms. Haney said that with this particular house, she didn't see any issue with the lower portion of the fence, but she had issues with the six foot fence.

Mr. Covert called for the vote. It was decided to take both variances together.

VOTE:

YES: Parsley, Powell, Arthur, Compton, Covert, Parker, Haney, Miller

NO: None

The variance was approved by a unanimous vote.

- E. B16-50 Badillo, Verde
5398 Ervin McGarran Rd. (In Springdale Planning area)
 Variance for paved driveway requirement
 Presented by Bates & Associates

This variance was approved by a vote of five (5) yes and four (4) no in conjunction with the tandem lot split and conditional use.

- F. B16-51 David Leach
1013 N. Pleasant
 Variance for reduction of bulk are from
 10,500 sq. ft. to 10,075 sq. feet
 Presented by David Leach

Mr. Leach was present to answer any questions or comments. In 2013 the lot had a duplex on it which burned and he would like to rebuild the duplex.

Mr. Parsley asked for Staff comments.

Mr. Sedberry said there was a duplex there but it burned down. He said there is a provision in the ordinance that he could have rebuilt the duplex, but it had to be done within six months of the duplex burning down. The previous property owner did not want to rebuild so Mr. Leach purchased the property with the intention of building a duplex.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Miller called for the vote.

VOTE:

YES: Powell, Arthur, Compton, Covert, Parker, Miller, Parsley

NO: Haney

The variance was approved by a vote of seven (7) yes and one (1) no.

- G. B16-52 Cypress Investments, LLC
1008 Clayton Street
 Variance for screening requirement
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry said it is a variance for screening equipment and that the use has not changed.

Ms. Wagoner said that her department did initiate this variance. It is from a violation notice that was given to the property owner. It started out with a no business license as there was a business there but they had not gotten a license. She further stated that once they were there for the no business license they recognized that there was tall grass and weeds, junk and trash and they also had to address the screening. She said there is a very small space on the north side of the building where they have some screening issues.

Mr. Sedberry asked how much area needed to be screened.

Ms. Wagoner said that it is a very small area. She also stated that they are storing their materials outside.

Mr. Parsley asked if there were those in the audience that comments or questions. There were none.

Ms. Haney called for the vote.

VOTE:

YES: Compton

NO: Arthur, Covert, Parker, Haney, Miller, Parsley, Powell

The variance was denied by a vote of seven (7) no and one (1) yes.

Other

- A. John Backus
2126 Maestri Road
 Expand an existing non-conforming use in an
 Agricultural District (A-1)
 Presented by Engineering Services, Inc.

This item was tabled by the applicant.

- B. Everett Dodge, Jeep, Ram
SW corner of DTP & Powell
 Presented by Tracy Harmon

Mayor Sprouse stated that he felt he needed to explain why this request was made. He stated that Everett Dodge has had an issue for a while and the City has tried to work with them on their needed parking not only for their inventory but also for their employees. He said they are a good business and they are community oriented. He said the neighbors to the north of them on Purtle Avenue have been dealing for quite some time with Everett having to park on the grass. He said that Everett has a design for additional parking to the east of their facility. In order to pave that area they needed to move some of their inventory.

They struck a deal with the owner of the property at DTP and Powell with a temporary lease agreement to allow Everett to park some of their inventory at this location until they can get the area paved where the inventory will go. It is a ninety day lease and they are already seventy-five days into the lease. For them to do this, Everett needs to get a temporary use to park their inventory at this location.

Mayor Sprouse said that it is on him and he is the one that made the decision to allow Everett to move their inventory temporarily to DTP and Powell.

Mr. Covert stated that he feels that the dealership is a good community steward and he too agreed with what the mayor had to say.

Mr. Parsley asked if, for some reason, the paving isn't complete what would the next step be.

Mr. Tracy Harmon, the general manager at Everett Dodge, Jeep, Ram spoke and just reiterated what Mayor Sprouse had to say. He also told Mr. Parsley that this is the best time of year to do this type of construction. It is hot and there is no sign of rain. The contract he has with the construction has an end clause that if the project isn't completed in ninety days the construction company will have to pay a penalty for each day that the work isn't completed.

He further stated they bought the dealership three years ago. At that time there were thirty five employees. Today there are 110. The inventory was at 43 vehicles they day they took possession of the dealership. Today they have 943 vehicles. He apologized if they had made anyone mad because that certainly wasn't their intent.

Mr. Parsley asked if there were those in the audience that had questions or comments.

Ms. Beth Nail, lives in Renaissance. She said that she has no problem with the vehicles being located at the corner of DTP and Powell. She said initially she had a problem with the trucks being parked so close to her fence. She called Mr. Harmon and she said that within the hour Mr. Harmon had someone there moving the trucks.

Ms. Melissa Reeves said that she and her husband live in the Renaissance subdivision and they have no problem with the trucks being there.

Mr. Covert called for the vote to allow Everett seventy-five (75) days to complete the paving project at their business location on S. Thompson Street.

VOTE:

YES: Compton, Covert, Parker, Miller, Parsley, Powell, Arthur

NO: Haney

The motion to allow a temporary use for parking at the corner of DTP and Powell for seventy-five days to complete the paving project at Everett Dodge, Jeep, Ram was approved by a vote of seven (7) yes and one (1) no.

Planning Director's Report

Ms. Christie was not at the meeting but it was decided that there would be a work session on Tuesday, August 16, 2016 at 5:30 p.m. in the multi-purpose room.

Mr. Sedberry asked Mr. Cate, City Attorney, if anything else was needed regarding the temporary use for Everett.

Mr. Cate said that as long as Staff has a copy of their letter we are o.k.

Adjourn

There being no further business the meeting was adjourned at 7:25 p.m.

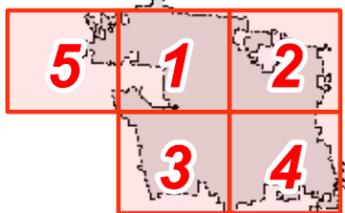
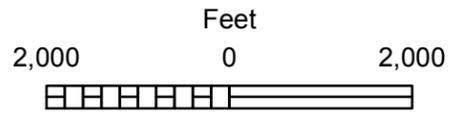
**Clayton Sedberry, GIS and Planning Coordinator
Planning and Community Development Division**

Kevin Parsley, Chairman

Vivi Haney, Secretary

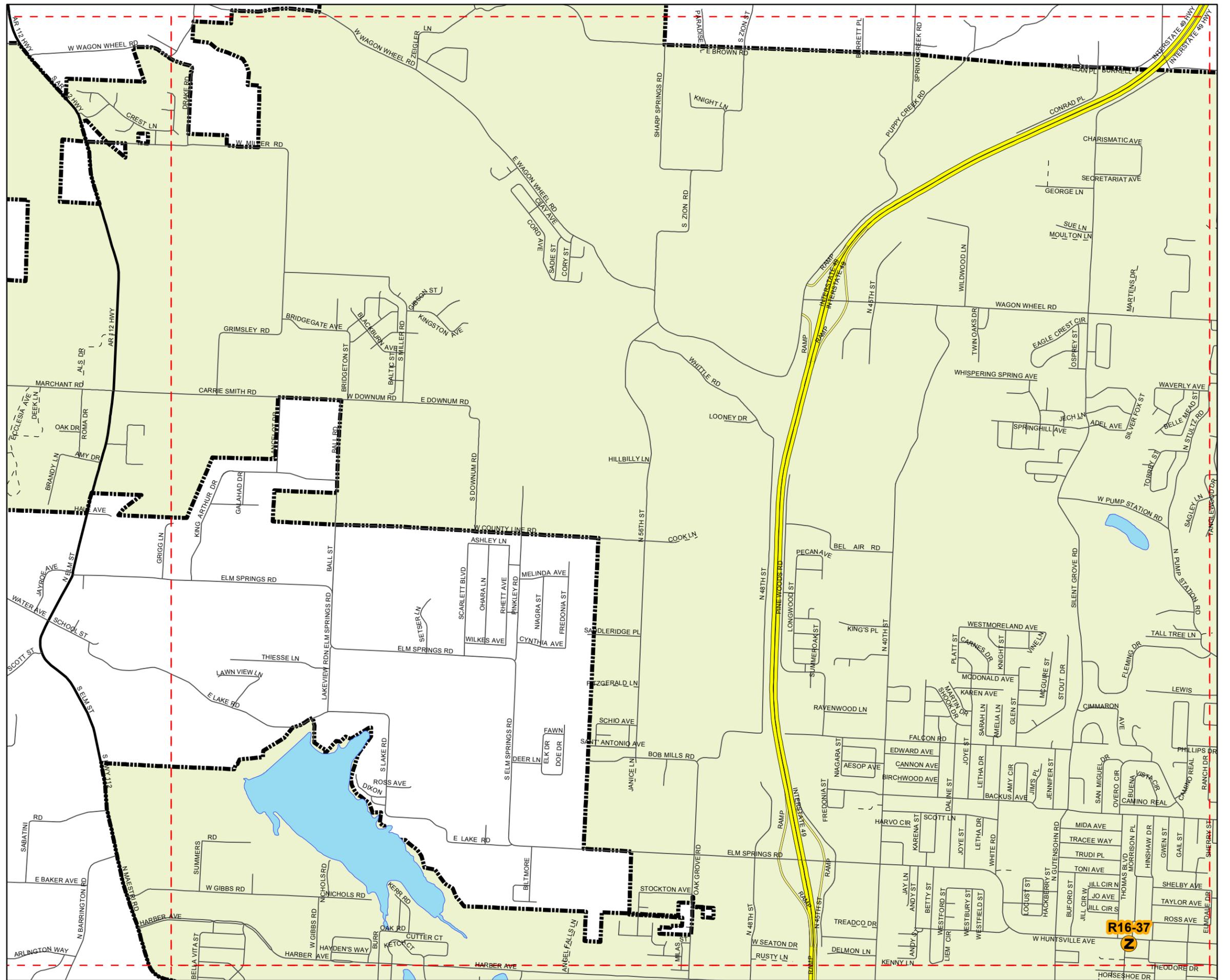
Debbie Ponders, Recording Secretary

**CITY OF SPRINGDALE
PLANNING COMMISSION
AGENDA ITEMS
SEPTEMBER 6TH, 2016**

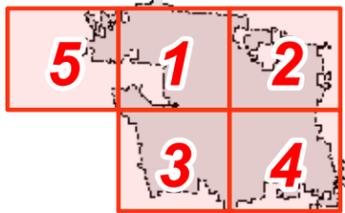
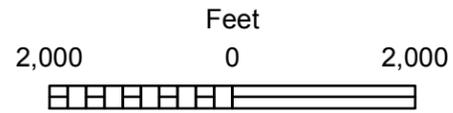


SHEET 1

- Rezoning Requests
- Conditional Use Requests
- Subdivisions (Prelim. & Final)
- Replats
- Large Scale Developments
- Variance Requests
- Lot Splits
- Waivers

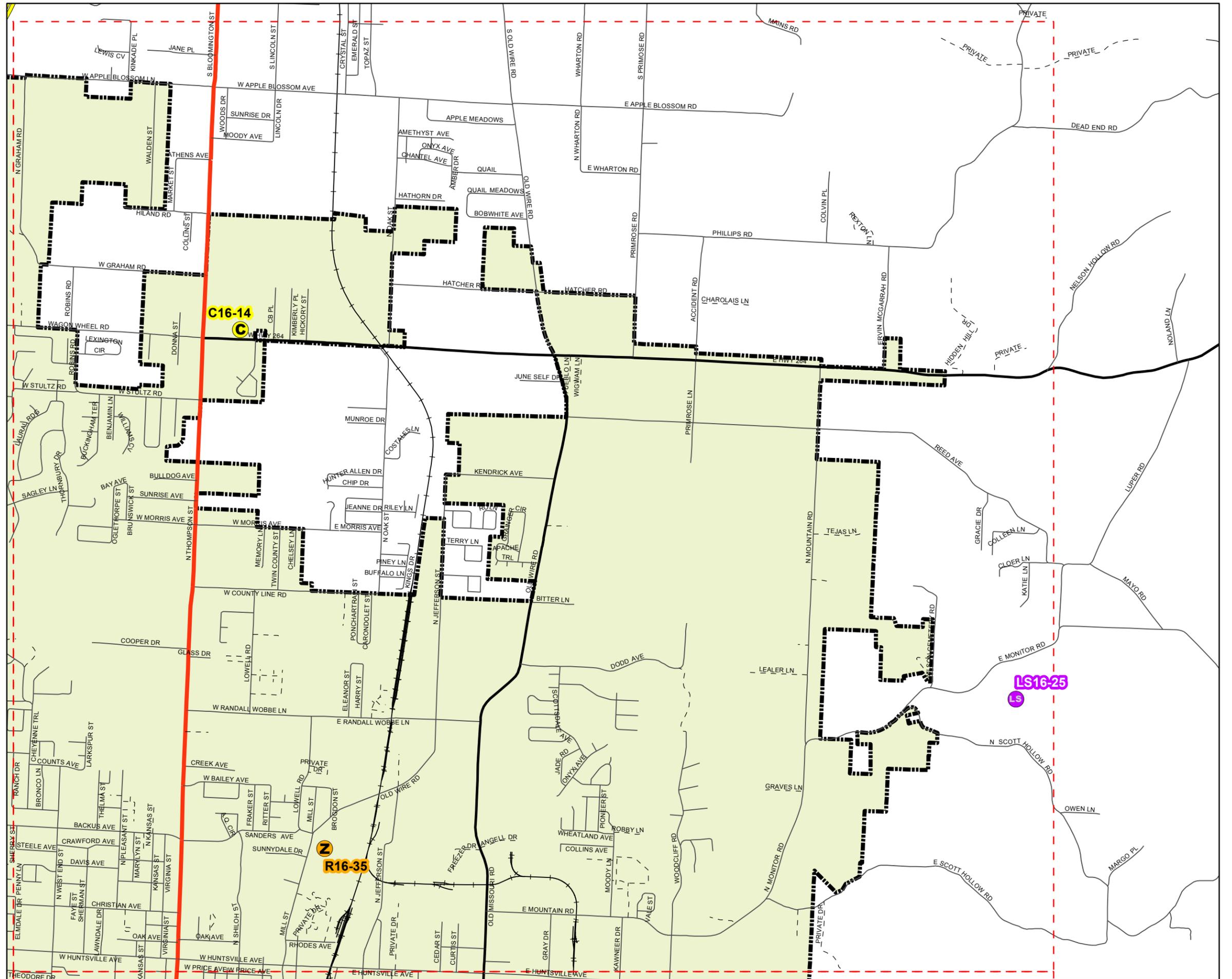


**CITY OF SPRINGDALE
PLANNING COMMISSION
AGENDA ITEMS
SEPTEMBER 6TH, 2016**

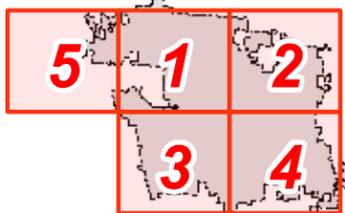
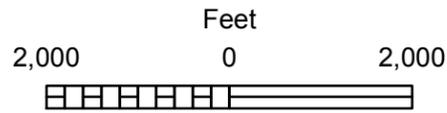


SHEET 2

-  Rezoning Requests
-  Conditional Use Requests
-  Subdivisions (Prelim. & Final)
-  Replats
-  Large Scale Developments
-  Variance Requests
-  Lot Splits
-  Waivers

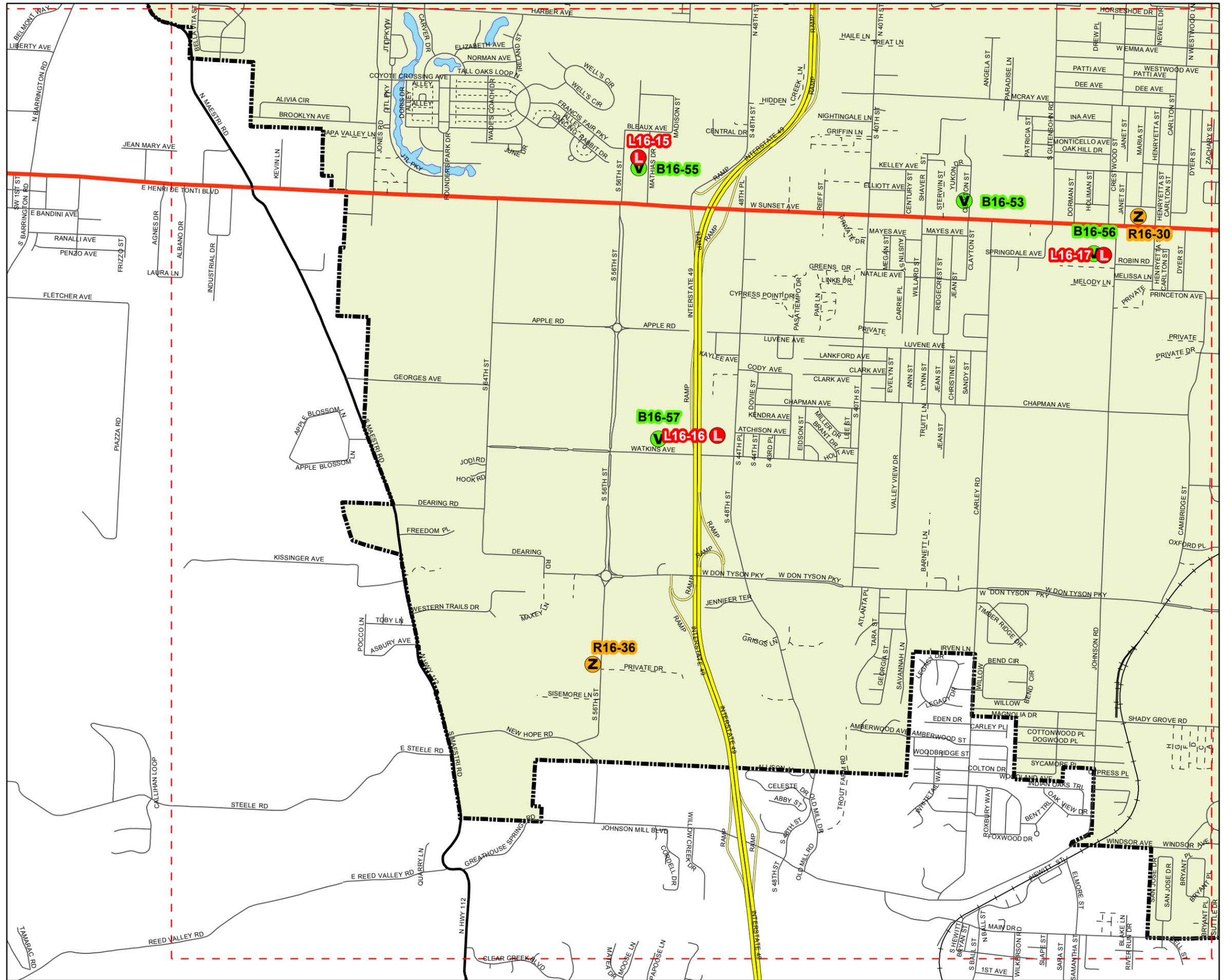


**CITY OF SPRINGDALE
PLANNING COMMISSION
AGENDA ITEMS
SEPTEMBER 6TH, 2016**

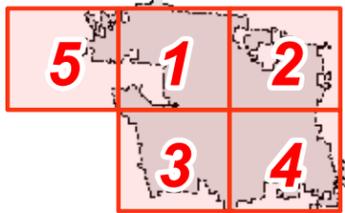
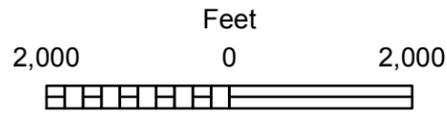


SHEET 3

- Rezoning Requests
- Conditional Use Requests
- Subdivisions (Prelim. & Final)
- Replats
- Large Scale Developments
- Variance Requests
- Lot Splits
- Waivers

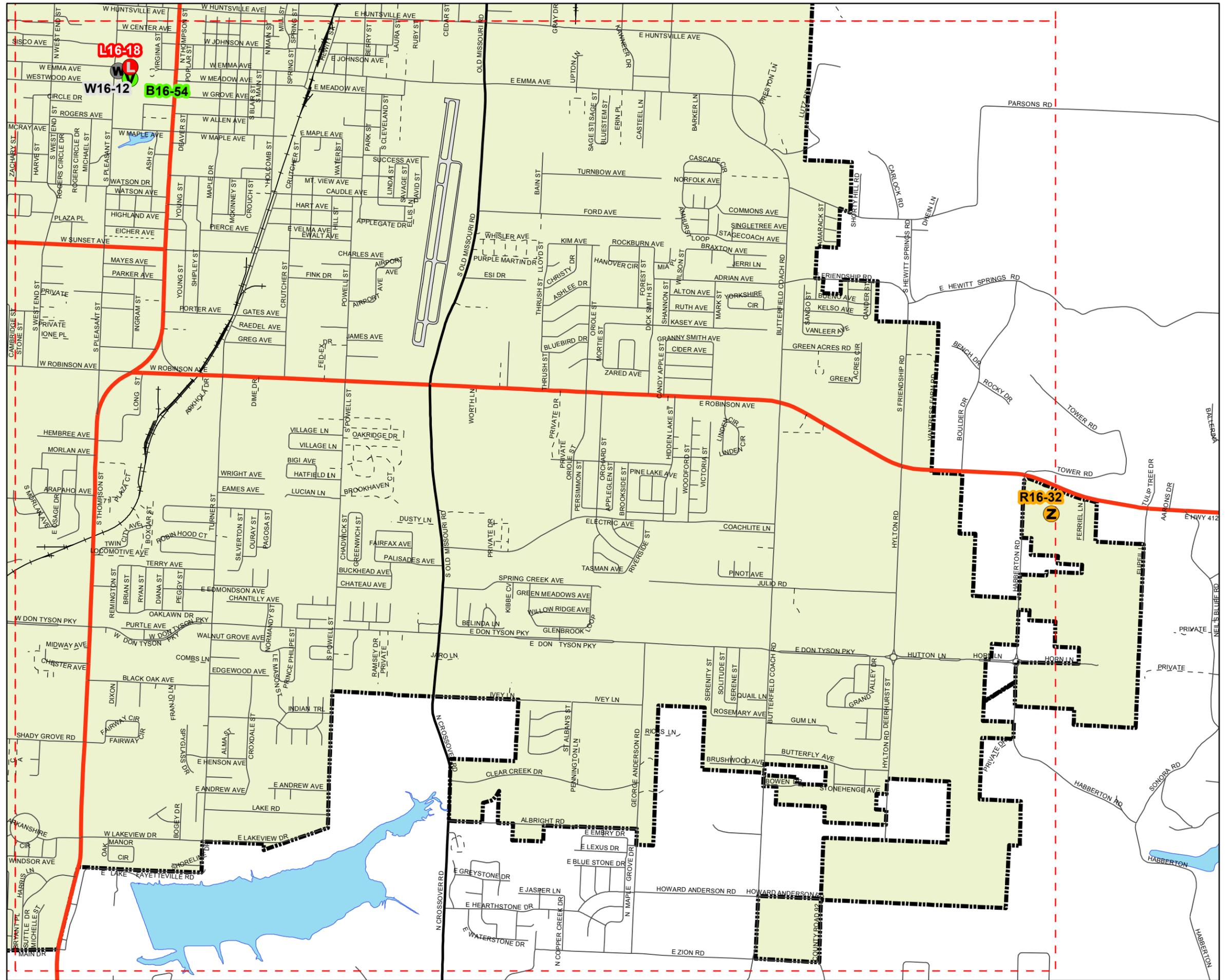


**CITY OF SPRINGDALE
PLANNING COMMISSION
AGENDA ITEMS
SEPTEMBER 6TH, 2016**



SHEET 4

- Rezoning Requests
- Conditional Use Requests
- Subdivisions (Prelim. & Final)
- Replats
- Large Scale Developments
- Variance Requests
- Lot Splits
- Waivers



That which is underlined is added and that which is stricken through is deleted.

ORDINANCE NO. _____

**AN ORDINANCE AMENDING ARTICLE 8,
SECTION 2 OF THE ZONING ORDINANCE OF
THE CITY OF SPRINGDALE, ARKANSAS,
DECLARING AN EMERGENCY, AND FOR
OTHER PURPOSES.**

WHEREAS, Article 8, Section 2 of the Zoning Ordinance of the City of Springdale, Arkansas, each contain regulations pertaining to the continuation of nonconforming uses, structures or lots;

WHEREAS, Article 8, Section 2 of the Zoning Ordinance of the City of Springdale, Arkansas, need to be amended to clarify the conditions under which a nonconforming use, structure, or lot may be allowed to continue;

WHEREAS, it is in the best interest of the City of Springdale, Arkansas, for the City Council of the City of Springdale, Arkansas, to amend Article 8, Section 2 of the Zoning Ordinance of the City of Springdale, Arkansas; and

WHEREAS, a public hearing was held before the Springdale Planning Commission on September 6, 2016, after notice was given of said hearing as required by law.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL FOR THE CITY OF SPRINGDALE, ARKANSAS:

Section 1: Article 8, Section 2 of the Zoning Ordinance of the City of Springdale, Arkansas, is hereby amended to read as follows:

Sec. 2. - Continuation.

Any nonconforming use, structure or lot which legally existed prior to the effective date of this chapter, as amended, or any use, structure or lot which has been rendered nonconforming by the provisions of this chapter may continue to be utilized in the same fashion as existed prior to the adoption of these regulations, provided that the nonconforming use, structure or lot complies with all other applicable City ordinances, including expansion of the nonconformity as outlined in Section 3(a) of this Article.

Section 2: All other provisions of Article 8 of the Zoning Ordinance of the City of Springdale, Arkansas, not specifically amended by this Ordinance shall remain in full force and effect.

Section 3: Emergency Clause. It is hereby declared that an emergency exists and this ordinance, being necessary for the preservation of the health, safety and welfare of the citizens of Springdale, Arkansas, shall be in effect immediately upon its passage and approval.

PASSED AND APPROVED this _____ day of _____, 2016.

Doug Sprouse, Mayor

ATTEST:

Denise Pearce, City Clerk

APPROVED AS TO FORM:

Ernest B. Cate, City Attorney

NOTICE OF PUBLIC HEARING

The Springdale Planning Commission will conduct a public hearing on a proposed street name change in accordance with Chapter 1.10, Article VI of the Springdale Code of Ordinances, Tuesday September 6, 2016 at 5:00 p.m. in the Council Chamber of the City Administration Building, 201 N. Spring, Springdale, Arkansas. The proposed change will include changing Kawnoer Drive between Huntsville Avenue and Emma Avenue to Reinert Drive. All interested persons are cordially invited to attend.

Vivi Haney, Secretary
738.216.68 August 21, 2016

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: September 6, 2016
Re: R16-30 Rezone

A request by 412 Investments, LLC; Four W. Investments for Planning Commission approval of a zone change from General Commercial District (C-2) to Thoroughfare Commercial District (C-5) for a tract of land containing 1.1 acres.

LOT LOCATION AND SIZE

The 1.1 acre tract is located at 2250 W. Sunset

A vicinity map is attached.

EXISTING ZONING

The existing zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35
Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

REQUESTED ZONING

The requested zoning of this tract is a C-5 Thoroughfare Commercial District. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping centers since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38

Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35

Temporary Uses: - 32

DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.
- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
 - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
 - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
 - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
 - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback	0
applicable fire and building codes)	(subject to
Side setback when contiguous to a residential district	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded are is shown on the attached map. The tract contains a commercial structure. The area to the north contains single family dwellings in SF-2 zoning. The area to the west contains multi-family dwellings in MF-12 zoning and a commercial use in C-2 zoning. The area to the south and east contains commercial uses in C-2 and C-5 zoning.

LAND USE PLAN AND MASTER STREET PLAN

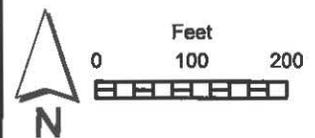
The adopted Comprehensive Land Use Plan indicates commercial uses.

The Master Street Plan indicates Sunset Avenue as a principal arterial

STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is not in keeping with the Comprehensive Land Use Plan and is not recommended for approval. With residential to the north and east of the property are more intense commercial use of the property would not provide an adequate buffer

Public hearing sign posted: / / 2016
Public hearing sign posted by: CS
 Public Hearing Sign Location



FILE NO. R16-30
APPLICANT: 412 INVESTMENTS, LLC
REZONING REQUEST: C-2 TO C-5

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016

File No. RK-30

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by 412 Investments, LLC

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

See Exhibit A

Layman's Description: 2250 W Sunset

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) C-2

TO (proposed zoning) C-5

The **Petitioner's** immediate intentions are to:

1. **Sell** the property No (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title No (Yes or No).
2. **Develop** the property No (Yes or No), and if so, the proposed use is _____.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: Negligible

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Matt Dearnley
Address: 2250 W Sunset Ave

PETITIONER/OWNER SIGNATURE

MAILING ADDRESS: 4100 Corporate Center Dr #101 Springdale, AR
TELEPHONE: 479-236-0228 DATE: 6/23/16 72762

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)



(Property Owner)
Matthew Deamley
Hanging Pasture

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 23rd day of June, 2016.



Notary Public

SHELLEY A. JACKSON
NOTARY PUBLIC
My Commission Expires April 1, 2022
Commission #12386984
Washington County, Arkansas

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: August 2, 2016
Re: R16-32 Rezone

A request by Sherry Farms, LLC, Acadia Healthcare Company, Inc. for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing 32.25 acres.

LOT LOCATION AND SIZE

The 32.35 acre tract is located at 5060 E. Robinson, southeast corner of the intersection of E. Robinson Avenue and Habberton Road.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped and recently annexed into the City. Robinson Avenue (Highway 412 East) borders the property on the north. The area to the east is undeveloped in a PUD District. The area to the south contains residential uses in A-1 zoning. The area to the east is undeveloped and outside the city limits.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates commercial use.

The Master Street Plan indicates Robinson Avenue as a principal arterial and Habberton Road as a minor collector.

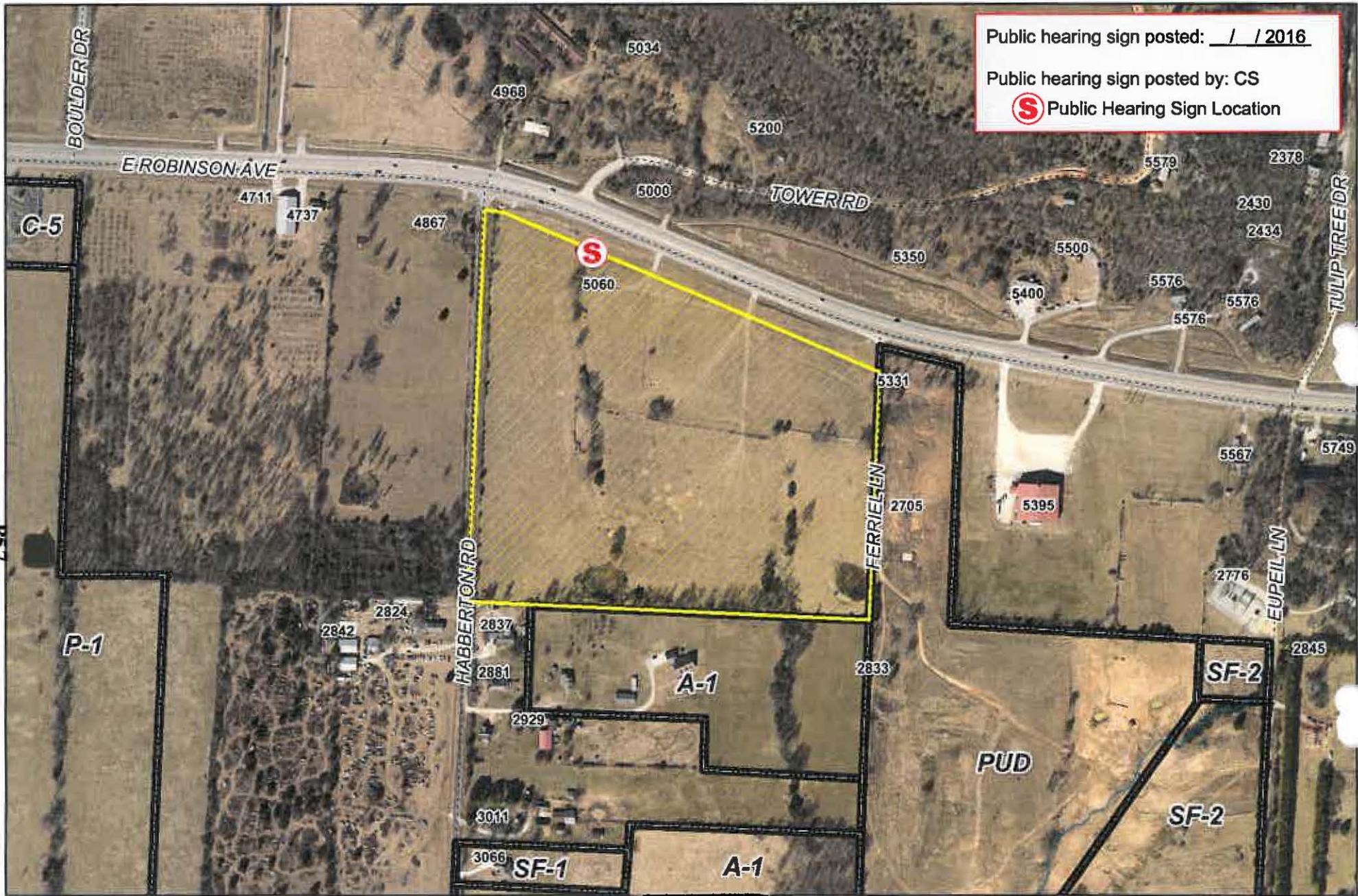
STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

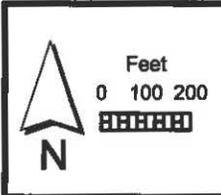
Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.



Public hearing sign posted: / / 2016

Public hearing sign posted by: CS

S Public Hearing Sign Location



FILE NO. R16-32
APPLICANT: SHERRY FARMS, LLC.
REZONING REQUEST: A-1 TO C-2

CITY OF SPRINGDALE
PLANNING OFFICE
 PLANNING COMMISSION MEETING
 AUGUST 2ND, 2016

File No. _____

R16-32

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Sherry Farms, LLC / Acadia Healthcare Company, Inc.

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

See attached legal description labelled as Exhibit D

Layman's Description: 5060 E. Robinson Ave., Springdale, Ar 72764

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) A1

TO (proposed zoning) C2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property Yes (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title Yes (Yes or No).
2. **Develop** the property Yes (Yes or No), and if so, the proposed use is residential health facility.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: compliment and continue commercial and institutional growth along HWY 412 and surrounding properties; provide appropriate transition to other commercial uses in the area.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: R. Justin Eichmann
Address: 4710 S. Thompson, Suite 102 | Springdale, AR 72764

PETITIONER/OWNER **SIGNATURE**
MAILING ADDRESS: 4710 S. Thompson, Suite 102 | Springdale, AR
TELEPHONE: (479) 751-6469 DATE: 7/12/2016

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)



(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 12th day of July, 20 16.





Notary Public

July 25, 2016

Springdale Planning Commission
201 Spring Street
Springdale, Arkansas 72762

RE: Request to Expand Existing Non-conforming Use
Backus Property on Highway 112

On behalf of our client, we are requesting authorization to increase the amount of land used by an existing non-conforming use within the A-1 zoning district in the City of Springdale. The property became a non-conforming use when it was annexed into the City of Springdale in 2011. The property is located at 2126 S. Maestri Road and is owned by John Backus. The property is approximately 4.5 acres in total size. We hereby request authorization from the Planning Commission to increase the amount of the property used for the non-conforming use by 30% in accordance with the provisions of Chapter 130, Article 8, Section 3 of the City of Springdale Code of Ordinances.

A drawing illustrating the original and requested areas utilized by the non-conforming use is attached.

Please contact me if you have any questions or need additional information regarding this project.

Sincerely,



Jason Appel, P.E.

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: September 6, 2016
Re: R16-05 Revision to PUD The Mansion at Mill Creek

A request by Thomas J. Embach, Revocable Trust for Planning Commission approval of a zone change from Medium Density Single Family Residential District (SF-2) to Planned Unit Development (PUD) for a tract of land containing 21.48 acres.

LOT LOCATION AND SIZE

The 21.48 acre tract is located at 905 N. Mill Street, east side of Mill Street, north of Plum Avenue.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is a SF-2 Low/Medium Density Single Family Residential District. The district is designed to permit and encourage the development of single-family detached dwellings on smaller lots to encourage flexibility in housing and lot sizes.

Uses permitted: - 1, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 28, 36

Temporary Uses – 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.

- (4) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an SF-2 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. For Use Unit 36, See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than eight thousand (8,000) square feet. In addition, there shall be a minimum lot width of not less than seventy (70) feet on a public street at the front setback line.
- (2) **DENSITY.** Four (4) units per acre.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
		(sq. ft.)			Interior	Corner	
						Interior	Exterior
One Family	70	8,000	30	20	8/8	8	30
Zero-lot line	70	8,000	30	20	16/0	16/0	30

BUILDING AREA

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

REQUESTED ZONING

The rezoning application requests a PUD Planned Unit Development district. The District is established to permit the subdivision of land and zoning review into one process. The combination review permits a development proposal to be acted upon simultaneously by the developer and the city. This system is advantageous when the developer that plats the land and provides access and utilities also provides the amenities that make the overall project marketable. An additional advantage is that the approved PUD plan remains intact even if transfer in ownership occurs. The approved PUD plan represents a commitment by both the developer and the city.

The PUD process permits more flexibility in the choice of building types, the arrangement of varied land uses, and the use of generalized rather than specific development regulation. By permitting and encouraging the use of such procedures the planning commission and the city council will be able to make more informed land use

decisions and thereby guide development more effectively in the best interest of the city. The PUD should:

- (1) Facilitate and encourage a maximum of social and community interactions and activity among those who live, shop, play and work there.
- (2) Provide open space not only for traditional private use in setbacks and yards surrounding structures, but also conveniently located with respect to points of residential and commercial concentration for the general benefit of the community and public as places for relaxation, recreation and social activity.
- (3) Provide a comprehensive, multi-modal circulation system separated from vehicular roadways which links residential, non-residential and open space areas
- (4) Preserve the natural environment by minimizing the grading necessary for construction.
- (5) Achieve a maximum of safety, convenience and amenity for both the residents of the PUD and the residents of neighboring areas and assure compatibility with existing and proposed surrounding land uses.

The development plan may be submitted in conjunction with the rezoning of the site or prior to the development of the site.

Uses permitted: - 1, 4, 8, 9,10, 11, 12, 13, 16, 17, 18, 19,20, 22, 27, 29

Conditional Uses Permitted on Appeal: - 2, 3, 6,7,15, 28

ACCESSORY USES

See Article 6, Section 2.7 of this chapter for residential uses and Article 6, Section 3.1 for commercial uses.

SITE PLAN REVIEW

When a proposal is made to develop a Planned Unit Development, a PUD Site Plan review shall be required. See Article 6, Section 5 of this chapter for the Planned Unit Development application review procedure.

DENSITY, BULK, AREA AND YARD REGULATIONS

Density. PUD densities may be determined on the basis of any and all of the following considerations; the densities designated by the land use plan, the densities of surrounding development, the densities allowed under the various zoning districts, the urban development goals and other policies of the city, topography and character of the natural environment and the impact of a given density on the specific site and adjacent properties. The city also has the discretion to consider any other relevant factors.,

Lot size. There shall be no minimum standards for lot size although existing standards of zoning and subdivision regulations may be used as a guide.

Setback. There shall be no minimum standard although existing standards of the zoning and subdivision regulations will be used as a guide.

OFF-STREET PARKING

See Article 7 of this chapter.

ENCLOSURE OF USES

All commercial uses shall be restricted to closed buildings except parking lots, plant nurseries, temporary farmers markets and craft fairs, promotional events, and normal pump island fuel services. In addition, outdoor display of merchandise is allowed in an area equal to one-half (1/2) of the façade area of the front of the building

as long as said display of merchandise is stored inside the building or other completely enclosed structure after normal working hours.

SCREENING AND LANDSCAPING

In order to enhance the integrity and attractiveness of the development, and when deemed necessary to protect adjacent properties, the planning commission shall require landscaping and screening as part of a PUD. The nature and extent of screening and landscaping shall be determined by the planning commission in relation to the overall character of the development and its specific location. The required screening shall be submitted to the planning commission as part of the final development plan. Landscape plans shall show the general location, type and quality (size/age) of plant material. Screening plans shall include typical details of fences, berms and plant material to be used.

OPEN SPACE

Due to the flexibility allowed in development density, well-designed open space is an important factor in providing for innovative design and visual attractiveness. A minimum of fifteen (15) percent of gross residential areas shall be designated as common usable open space.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains single family dwellings. The area to the north contains a single family dwelling and undeveloped area in SF-2 zoning. The area to the south contains multi-family dwellings in PUD zoning. The railroad is to the west and single family dwellings are in the area to the east in SF-2 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates medium density residential use.

The Master Street Plan indicates Mill Street as a local street.

STAFF COMMENTS AND RECOMMENDATIONS

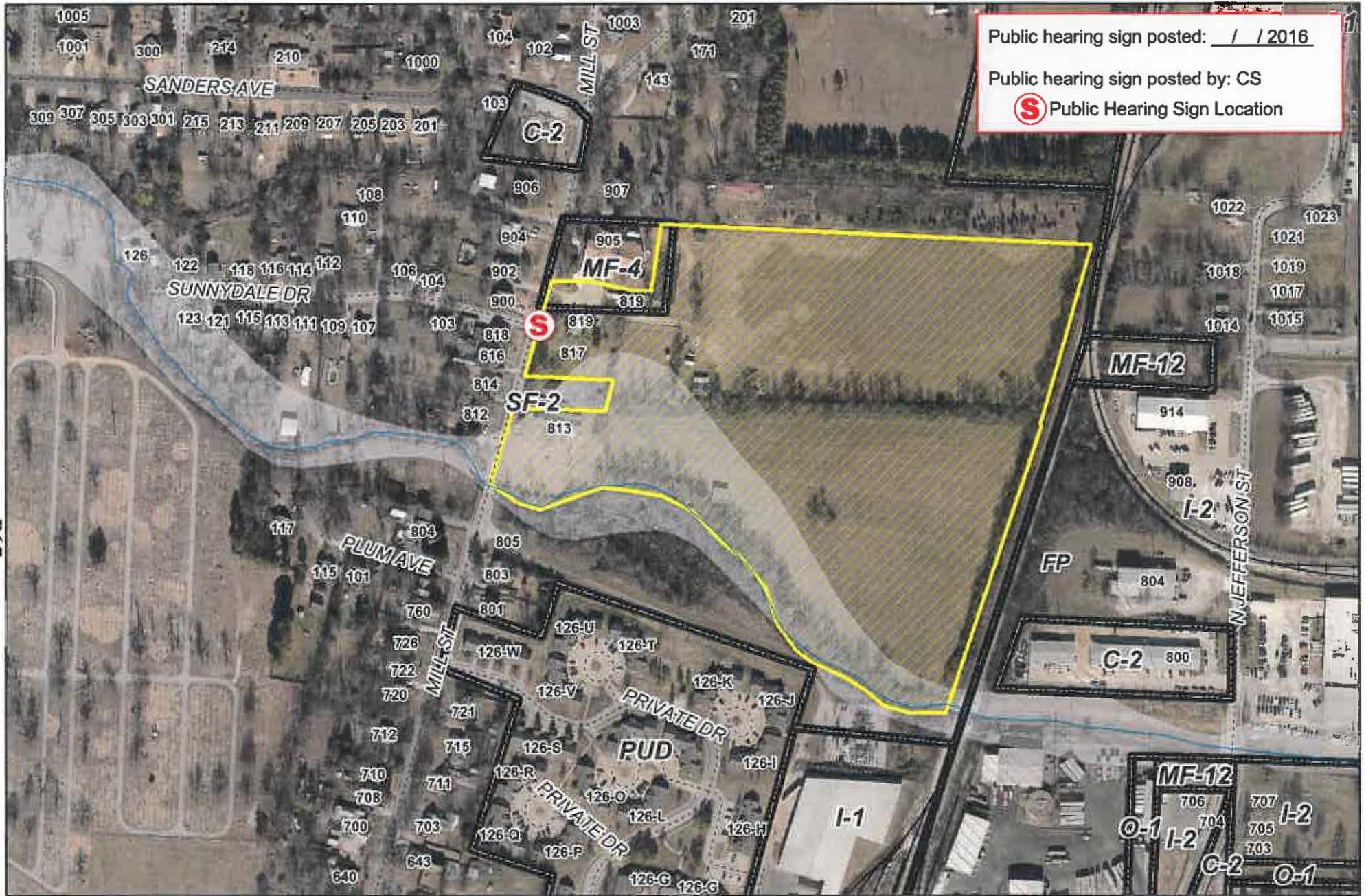
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval; subject to the conditions set forth on the site plan and development plan.

Protect the positive aspects of neighborhood character throughout the City.

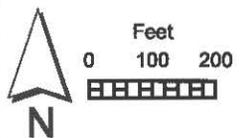
Assure adequate land allocation for residential purposes by providing lots of adequate size.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Revision includes revision of floodplain area.



Public hearing sign posted: / / 2016
 Public hearing sign posted by: CS
 (S) Public Hearing Sign Location



FILE NO. R16-35
APPLICANT: THOMAS J EMBACH REVOCABLE TRUST
REZONING REQUEST: PUD TO PUD

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by THOMAS J. EMBACH, REVOCABLE TRUST

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

A PART OF THE NW ¼ OF THE NE ¼ AND PART OF THE NE ¼ OF THE NE ¼ OF SECTION 36, TOWNSHIP 18 NORTH, RANGE 30 WEST, IN THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, DESCRIBED AS COMMENCING AT A 1-1/4-INCH FOUND PIPE FOR THE NW CORNER OF THE THE NW ¼ OF THE NE ¼ OF SECTION 36, TOWNSHIP 18 NORTH, RANGE 30 WEST; THENCE ALONG THE NORTH LINE OF SAID SECTION 36, S87°56'05"E A DISTANCE OF 104.25 FEET TO A POINT IN MILL STREET; THENCE LEAVING SAID NORTH LINE AND RUNNING S15° 41'50"W IN THE PRESCRIPTIVE RIGHT OF WAY OF MILL STREET A DISTANCE OF 544.98 FEET TO A SET COTTON PICKER SPINDLE; THENCE S88°32'15"E 211.02 FEET TO THE POINT OF BEGINNING; THENCE N88°32'15"W 205.08-FEET; THENCE N15°34'00"E 153.37-FEET; THENCE N15°13'35"E 76.97-FEET; THENCE N14°27'48"E 72.00-FEET; THENCE N14°27'49"E 142.87-FEET; THENCE S87°40'14"E 30.82-FEET; THENCE S87°40'10"E 184.05-FEET; THENCE S87°40'15"E 983.60-FEET; THENCE S15°01'30"W 232.50-FEET; THENCE N15°49'38"W 193.38-FEET; THENCE N60°59'01"E 2.98-FEET; THENCE S18°02'39"W 465.80-FEET; THENCE S18°02'39"W 224.20-FEET; THENCE S89°44'18"W 87.20-FEET; THENCE N74°29'00"W 56.00-FEET; THENCE N51°29'00"W 60.00-FEET; THENCE N58°46'00"W 50.00-FEET; THENCE N65°28'00"W 90.00-FEET; THENCE N50°41'00"W 40.00-FEET; THENCE N36°55'00"W 70.00-FEET; THENCE N18°12'00"W 90.00-FEET; THENCE N40°11'00"W 90.00-FEET; THENCE N51°44'00"W 60.00-FEET; THENCE N43°06'00"W 90.00-FEET; THENCE N63°42'00"W 80.00-FEET; THENCE N80°00'00"W 70.00-FEET; THENCE N85°16'00"W 70.00-FEET; THENCE N02°19'29"E 186.17-FEET TO THE POINT OF BEGINNING AND CONTAINING 921,110 SQUARE FEET OR 21.48 ACRES MORE OR LESS, AND BEING SUBJECT TO ALL EASEMENTS AND RIGHTS OF WAY OF RECORD OR FACT.

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) SF-2

TO (proposed zoning) PUD (PLANNED UNIT DEVELOPMENT)

The **Petitioner's** immediate intentions are to:

1. **Sell** the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. **Develop** the property YES (Yes or No), and if so, the proposed use is MULTI-FAMILY RESIDENTIAL WITH UP TO 6 UNITS/ACRE
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: NONE

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: FERDI FOURIE, P.E.
CIVIL DESIGN ENGINEERS, INC.

Address: 4847 KAYLEE AVENUE SUITE A, SPRINGDALE, AR 72762

PETITIONER/OWNER **SIGNATURE** LEISURE HOMES CORP.
ATTN : TOM EMBACH
351 E. 4TH STREET SUITE 2
MOUNTAIN HOME, AR 72653

MAILING ADDRESS: _____
TELEPHONE: 870-424-7460 DATE: 1-11-2016

VERIFICATION

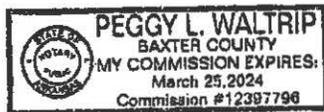
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)

[Handwritten Signature]
(Property Owner)

State of Arkansas)
 Baxter) ss.
County of ~~Washington~~)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 11th day of January, 202016



[Handwritten Signature]
Notary Public

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: September 6, 2016
Re: R16-36 Rezone

A request by Robin L. Jeter, successor Trustee of the Daryl & Sally Hawkins revocable trust dated 8- 24, 2005 for Planning Commission approval of a zone change from Agricultural District (A-1) to Thoroughfare Commercial District (C-5) for a tract of land containing 2.0 acres.

LOT LOCATION AND SIZE

The 2.0 acre tract is located at 4200 S. 56th Street, west side of 56th Street, south of Don Tyson Parkway.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

REQUESTED ZONING

The requested zoning of this tract is a C-5 Thoroughfare Commercial District. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping centers since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38

Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35

Temporary Uses: - 32

DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.

- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
 - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
 - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
 - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
 - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.
- ii.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

SETBACKS:

Front setback	30'	
Front setback if parking is allowed between R-O-W and the building	50'	
Side setback applicable fire and building codes)	0	(subject to

Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains two structures. The area to the north and south contain residential uses in A-1 zoning. The area to the west is undeveloped in A-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Medium Density Residential Use.

The Master Street Plan indicates 56th Street as a major collector.

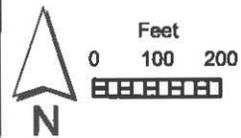
STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is not in keeping with the comprehensive Land Use Plan and is not recommended for approval.



Public hearing sign posted: ___ / ___ / 2016
Public hearing sign posted by: CS
 Public Hearing Sign Location

P75



FILE NO. R16-36
APPLICANT: DARYL & SALLY HAWKINS TRUST
REZONING REQUEST: A-1 TO C-5

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016

File No. _____

R16-312

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale code of Ordinances, as amended, by Robin L Jeter, as successor Trustee of the Daryl M. Hawkins and Sally D. Hawkins Revocable Trust dated August 24, 2005, the record property owner, petitioning to rezone the following described area:

Legal Description: Part of the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4) of Section Seventeen (17), Township Seventeen (17) North, Range Thirty (30) West, more particularly described as follows, to-wit: Beginning at the Southeast corner of the Southeast Quarter (SE1/4) of the Northeast Quarter (NE1/4), thence North 0 degrees 05 minutes 58 seconds East 632.06 feet for a Point of Beginning, thence North 89 degrees 47 minutes 58 seconds West 351.12 feet, thence North 0 degrees 05 minutes 58 seconds East 248.12 feet, thence South 89 degrees 47 minutes 58 seconds West 248.12 feet to the point of beginning containing Two (2) acres, more or less.

Layman's Description: Approximately 2 acres situated along the west side of 56th Street approximately 600 feet north of Sisemore Lane and approximately 1,800 feet south of 56th Street in Springdale, Washington County, Arkansas.

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and addresses of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classifications:

FROM (current zoning) A-1 (Agricultural District)

TO (proposed zoning) C-5 (Thoroughfare Commercial District)

The **Petitioner's** immediate intentions are to:

1. Sell the property Yes (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, or other contract for conveyance of title Yes (Yes or No).

2. Develop the property No (Yes or No), and if so, the proposed use is _____.

3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None anticipated – this property is in an area which will be developed as commercial properties due to the recent and planned improvements to 56th Street and Don Tyson Parkway and adjacent properties to the east are already zoned C-5.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Engineering Services, Inc.

Address: P.O. Box 282, Springdale, AR 72765-0282

PETITIONER/OWNER: 
(Signature)

MAILING ADDRESS: 10494 W. Jeter Road, Fayetteville, AR 72701

TELEPHONE: 479-301-4931 DATE: 8-17-16, 2016

VERIFICATION

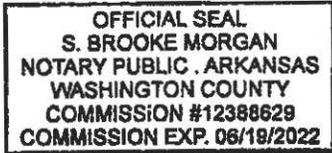
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Robert Jeter
(Property Owner Signature)

(Property Owner Signature)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 17th day of August, 2016.



S. Brooke Morgan
Notary Public

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: September 6, 2016
Re: R16-37 Rezone

A request by Martin and Eugenia Palma for Planning Commission approval of a zone change from Neighborhood Commercial District (C-1) to General Commercial District (C-2) for a tract of land containing 0.8 acres.

LOT LOCATION AND SIZE

The 0.8 acre tract is located at 1911 W. Huntsville Avenue, south side of Huntsville Avenue, east of Campbell Drive.

A vicinity map is attached.

EXISTING ZONING

The existing zoning of this tract is a C-1 Neighborhood Commercial district. The District is designed to accommodate limited retail developments within or adjacent to neighborhood areas for the purpose of supplying daily household needs of the residents for food, drugs and personal services. Commercial uses within this district should not depend on market areas larger than the neighborhood served. The district may also be used in conjunction with existing commercial developments as an extension of such established commercial district. The C-1 district shall generally be located at arterial or collector street intersections and within walking distance of residential areas.

Uses permitted: - 1, 4, 16, 17, 19, 27

Conditional Uses Permitted on Appeal: - 2, 3, 8, 28, 29

DEVELOPMENT CRITERIA

1. Developments shall be designed to accommodate between one (1) to fifteen (15) stores on a site not more than five (5) acres in size.

2. Maximum gross leasable area of five thousand (5,000) square feet per establishment, except that one (1) establishment may have not more than ten thousand (10,000) square feet.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-1 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-1 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular

traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35
Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains commercial structures. The property to the north contains multifamily residential units in C-1 zoning. The area to the east contains office and commercial uses in C-1 zoning. The area to the south contains multifamily residential uses in MF-12. The area to the west contains commercial uses in C-2 zoning.

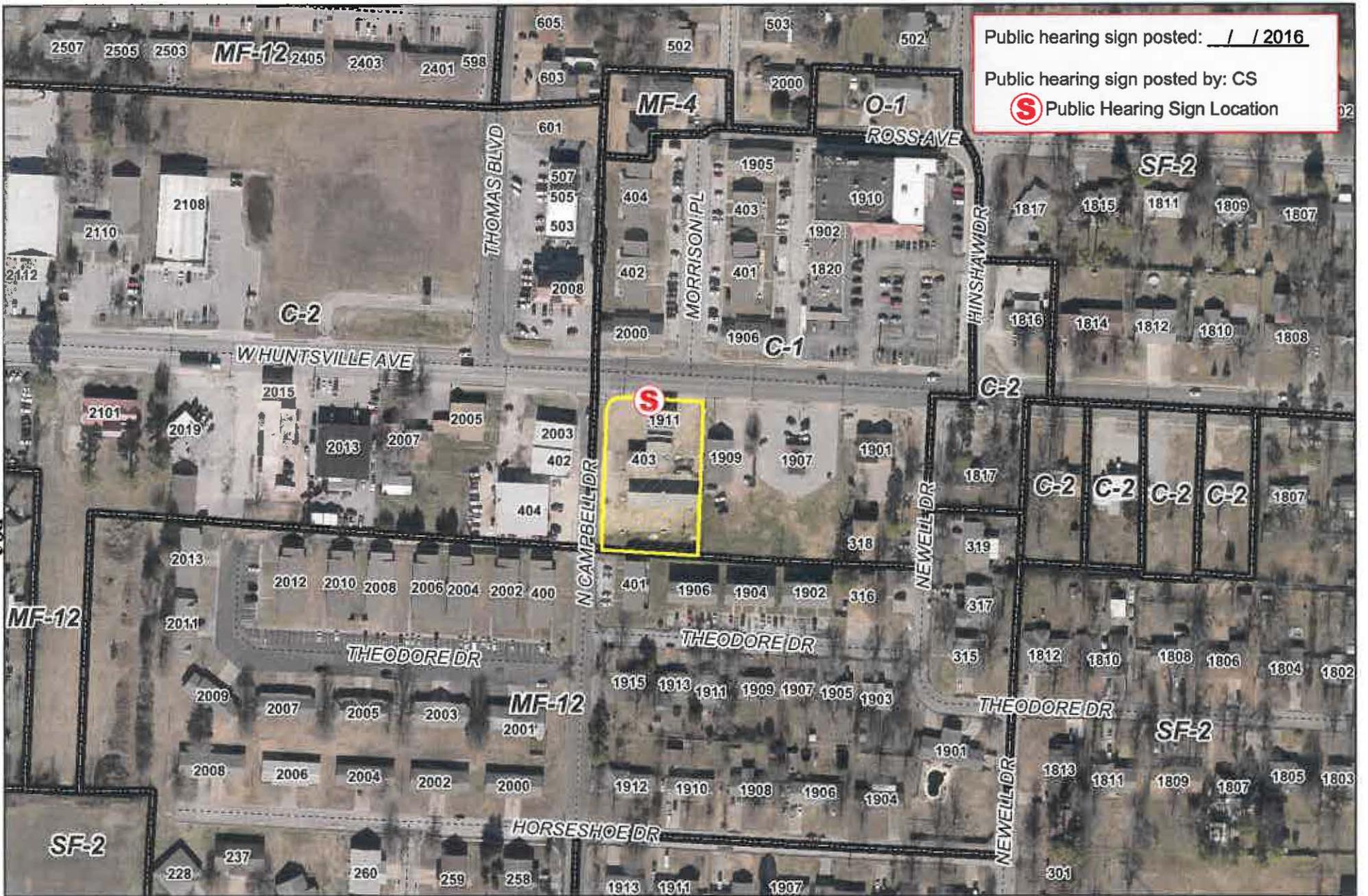
LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Neighborhood Commercial use.

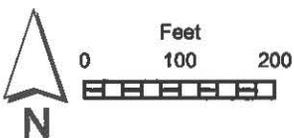
The Master Street Plan indicates Huntsville Avenue as a major collector.

STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is not in keeping with the Comprehensive Land Use Plan and is not recommended for approval. Current zoning district is in keeping with the Comprehensive Land Use Plan.



Public hearing sign posted: ___ / ___ / 2016
 Public hearing sign posted by: CS
 (S) Public Hearing Sign Location



FILE NO. R16-37
APPLICANT: MARTIN & EUGENIA PALMA
REZONING REQUEST: C-1 TO C-2

CITY OF SPRINGDALE
 PLANNING OFFICE
 PLANNING COMMISSION MEETING
 SEPTEMBER 6, 2016

File No. RK 37

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Martin & Eugene Plus

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

See attach pages

Thank you.

Martin P.

Layman's Description: 1911 W Huntsville

The Petitioner hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The Petitioner requests the following zoning classification:

FROM (current zoning) C-1

TO (proposed zoning) C-2

The Petitioner's immediate intentions are to:

1. Sell the property _____ (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title _____ (Yes or No).
2. Develop the property yes (Yes or No), and if so, the proposed use is Commercial - Construction Equipment.
Stucco Company
3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: _____

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: _____

Address: _____

PETITIONER/OWNER: Martin Palma

MAILING ADDRESS: 1802 N. 56th St. Springdale AR 72762

TELEPHONE: 479 871 3358 DATE: 7/28/16

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.



(Property Owner)



(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 9th day of August, 2016.



Notary Public

OFFICIAL SEAL
ALESCHAL MASSEY
NOTARY PUBLIC - ARKANSAS
WASHINGTON COUNTY
COMMISSION # 12370856
COMMISSION EXP. 04/07/2019

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: September 6, 2016
Re: C16-14

A request by EcoSite, Helps, LLC for a Conditional Use Permitted on Appeal as a Use Unit 33 (Self supporting tower or antenna or monopole) in a General Commercial District (C-2)

LOCATION

650 W. Highway 264

EXISTING CONDITIONS

Commercial use of the property with residential to the east and south.

SITE PLAN REVIEW REQUIRED: Yes No

DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

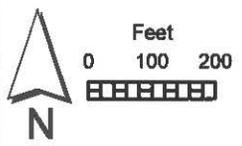
- | | |
|-------------------|--|
| Acceptable | Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe. |
| N/A | Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district. |
| N/S | Refuse and service areas, with particular reference to the item in 1 and 2 above. |
| Acceptable | Utilities, with reference to locations, availability and compatibility. |
| Acceptable | Screening and buffering with reference to type, dimension and character. |

N/A	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
Acceptable	Yard requirements and other open space requirements.
Acceptable	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
Acceptable	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
Acceptable	General compatibility with adjacent properties and other property in the general district.

Public hearing sign posted: / / 2016
 Public hearing sign posted by: CS
 Public Hearing Sign Location



68d



FILE NO. C16-14
APPLICANT: HELP, LLC
CONDITIONAL USE REQUEST:
USE UNIT 33 - TOWER

CITY OF SPRINGDALE
PLANNING OFFICE
 PLANNING COMMISSION MEETING
 SEPTEMBER 6, 2016

APPLICATION FOR CONDITIONAL USE

CITY OF SPRINGDALE, ARKANSAS

Helps, LLC

1. APPLICANT: Eco Site | Agent: James Cardinal
Address: 240 Leigh Farm Rd., Suite 415
Durham, NC 27707
Phone: 317-430-1760 Profit: Non-Profit
2. Property Location (street address or layman's description):
650 W. State Highway 264
Springdale, AR 72754
3. Record Title Holder of Property: HELPS, LLC
(A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested Conditional in C-2 Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:
A self-supporting telecommunication tower as shown
in accompanying drawings.
It should be approved because it conforms to all setbacks
and regulations listed in the City of Springdale zoning
Ordinance. It will also provide better coverage and cellular/data
services to the surrounding areas.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?
A telecommunication tower would have no effect on the
character of the neighborhood or residents in this area.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use. Will Provide

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)
[Signature]
Rogan H. Purgwitz
Owner HELPS, LLC
Date: 8/4/2016

Signature of Applicant
[Signature]
James Cardinal
Agent on behalf of Ego Site
Date: 8-4-2016

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

[Signature]

State of Arkansas)
County of Benton) ss:

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 4 day of August, 2016

[Signature]
Notary Public

My commission expires: 5-25-2026



Memo

To: Planning Commission

From: Staff

Date: September 6, 2016

RE: LS16-25 Lot Split

**SW corner Scott Hollow & Monitor
Roads**

Planning Comments

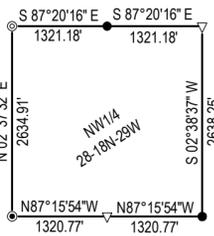
1. All comments from the utility companies and other city departments must be addressed prior to approval.
2. A waiver from the subdivision requirements will need to be requested and granted prior to approval for filing.



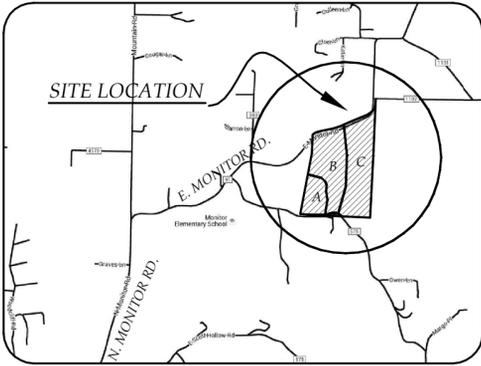
SCALE: 1" = 200'

LEGEND

- CENTERLINE
 - BOUNDARY
 - RIGHT OF WAY
 - ELECTRIC LINE
 - FENCE LINE
 - EASEMENT/BLDG SETBACK
 - 2" WATERLINE
 - CALCULATED POINT
 - FOUND IRON PIN
 - SET 1/2" REBAR
 - WATER SPIGOT
 - SET PK
 - RR SPIKE
 - ALUM MONUMENT
 - TELE PED
 - STONE (PER PLAT 2004-67)
- BENTON COUNTY, AR



LINE	BEARING	DISTANCE
L1	N58°19'00"E	70.72
L2	N67°14'38"E	57.00
L3	N74°33'22"E	65.36
L4	N79°16'51"E	159.05
L5	N76°29'36"E	158.48
L6	N70°52'37"E	108.34
L7	N67°40'26"E	84.79
L8	N67°15'51"E	218.15
L9	N66°48'59"E	339.10
L10	N56°35'42"E	129.72
L11	N35°48'17"E	64.80
L12	N09°42'31"E	144.68
L13	N08°13'10"E	49.35
L14	S49°09'19"E	103.36
L15	S23°03'43"E	86.76
L16	S02°13'04"W	145.60
L17	S08°48'30"E	185.55
L18	N44°14'47"W	31.88
L19	N58°58'23"W	60.05
L20	N72°00'06"W	59.61
L21	N88°09'04"W	74.64
L22	S76°40'58"W	60.52
L23	S88°43'21"W	64.80
L24	S83°04'20"W	33.18



FLOOD CERTIFICATION
THE HEREIN DESCRIBED TRACT IS NOT WITHIN THE 100 YEAR FLOOD ZONE PER F.I.R.M. COMMUNITY NO. 05007CD4551, WASHINGTON COUNTY, AR EFFECTIVE DATE 09/28/2007.

ZONING: AG/SF-1, WASHINGTON COUNTY
FRONT - 25'
SIDE - 10'
REAR - 20'

- NOTE:**
- 1) UNDERGROUND UTILITIES WERE NOT EXAMINED AS A PART OF THIS SURVEY. THERE MAY OR MAY NOT BE UTILITY EASEMENTS AFFECTING THIS PROPERTY.
 - 2) OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING, PAVING, LOT LINE ADJUSTMENTS OR OTHER MATTERS.
 - 3) OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR PROVIDING POTABLE WATER METERS FOR ALL PLATTED LOTS WITHIN SUBDIVISIONS.
 - 4) SANITARY SEWER IS NOT CONTIGUOUS OR DIRECTLY AVAILABLE
 - 5) RELOCATING OCC FACILITIES IF NEEDED WILL BE AT THE DEVELOPER'S EXPENSE.

BASIS OF BEARINGS
NAD 83 SPCS - AR NORTH ZONE

BUILDING SETBACKS/COUNTY ZONE AG/SF-1
FRONT - 25'
SIDES - 10'
REAR - 20'

SURVEYORS CERTIFICATION
I HEREBY CERTIFY I HAVE SURVEYED HEREIN DESCRIBED TRACT AND THAT THE PROPERTY LINES AND CORNER MONUMENTS ARE, TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED AS SHOWN. ALSO, ANY EASEMENTS AND/OR ENCROACHMENTS REVEALED BY SAID SURVEY ARE SHOWN HEREON.

SURVEY DESCRIPTION - PARENT TRACT - 001-18461-000

THE SE1/4 OF THE NW1/4, A PART OF THE SW1/4 OF THE NW1/4, AND A PART OF THE NE1/4 OF THE NW1/4, ALL IN SECTION 28, TOWNSHIP 18 NORTH, RANGE 29 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 1/2" REBAR AT THE SOUTHWEST CORNER OF SAID NE1/4 OF THE NW1/4; THENCE N02°34'10"E 406.26 FEET ALONG THE WEST LINE OF SAID NE1/4 OF THE NW1/4 TO A PK NAIL ON THE CENTERLINE OF E. MONITOR RD.; THENCE CONTINUING NORTHEASTERLY ALONG SAID CENTERLINE THE FOLLOWING: N58°19'00"E 70.72 FEET, N67°14'38"E 57.00 FEET, N74°33'22"E 65.36 FEET, N79°16'51"E 159.05 FEET, N76°29'36"E 158.48 FEET, N70°52'37"E 108.34 FEET, N67°40'26"E 84.79 FEET, N67°15'51"E 218.15 FEET, N66°48'59"E 339.10 FEET, N56°35'42"E 129.72 FEET, N35°48'17"E 64.80 FEET, N09°42'31"E 144.68 FEET, AND N06°13'10"E 49.35 FEET TO A PK NAIL ON THE EAST LINE OF SAID NE1/4 OF THE NW1/4; THENCE S02°38'37"W 1205.86 FEET TO THE SOUTHWEST CORNER OF SAID NE1/4 OF THE NW1/4; THENCE S02°38'37"W 1319.13 FEET TO A 1/2" REBAR AT THE SOUTHWEST CORNER OF SAID SE1/4 OF THE NW1/4; THENCE N87°15'54"W 1320.77 FEET TO A PK NAIL AT THE SOUTHWEST CORNER OF SAID SE1/4 OF THE NW1/4; THENCE N85°41'30"W 185.39 FEET TO A PK NAIL ON THE CENTERLINE OF N. SCOTT HOLLOW RD.; THENCE N10°46'51"E 1318.43 FEET TO THE POINT OF BEGINNING. CONTAINING 62.96 ACRES, MORE OR LESS.

SUBJECT TO THE E. MONITOR RD. RIGHT-OF-WAY ALONG THE NORTH SIDE, THE N. SCOTT HOLLOW RD. RIGHT-OF-WAY ALONG THE SOUTH SIDE, OZARKS ELECTRIC TRANSMISSION LINE RUNNING THROUGH THE MIDDLE, AND ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD.

SURVEY DESCRIPTION - TRACT A

A PART OF THE SW1/4 OF THE NW1/4 AND A PART OF THE SE1/4 OF THE NW1/4, OF SECTION 28, TOWNSHIP 18 NORTH, RANGE 29 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A PK NAIL AT THE SOUTHWEST CORNER OF SAID SE1/4 OF THE NW1/4; THENCE N85°41'30"W 185.39 FEET TO A PK NAIL; THENCE N10°46'51"E 864.95 FEET TO A 1/2" REBAR; THENCE S75°34'48"E 299.61 FEET TO THE CENTERLINE OF A CREEK; THENCE SOUTHEASTERLY ALONG SAID CREEK THE FOLLOWING: S49°09'19"E 103.36 FEET, S23°03'43"E 86.76 FEET, S02°13'04"W 145.60 FEET, S08°48'30"E 185.55 FEET, AND S09°43'19"W 319.90 FEET TO A PK NAIL ON THE CENTERLINE OF N. SCOTT HOLLOW RD.; THENCE N89°34'31"W 348.04 FEET TO THE POINT OF BEGINNING. CONTAINING 9.00 ACRES, MORE OR LESS.

SUBJECT TO THE N. SCOTT HOLLOW RD. RIGHT-OF-WAY ALONG THE SOUTH LINE, AND ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD.

SURVEY DESCRIPTION - TRACT B

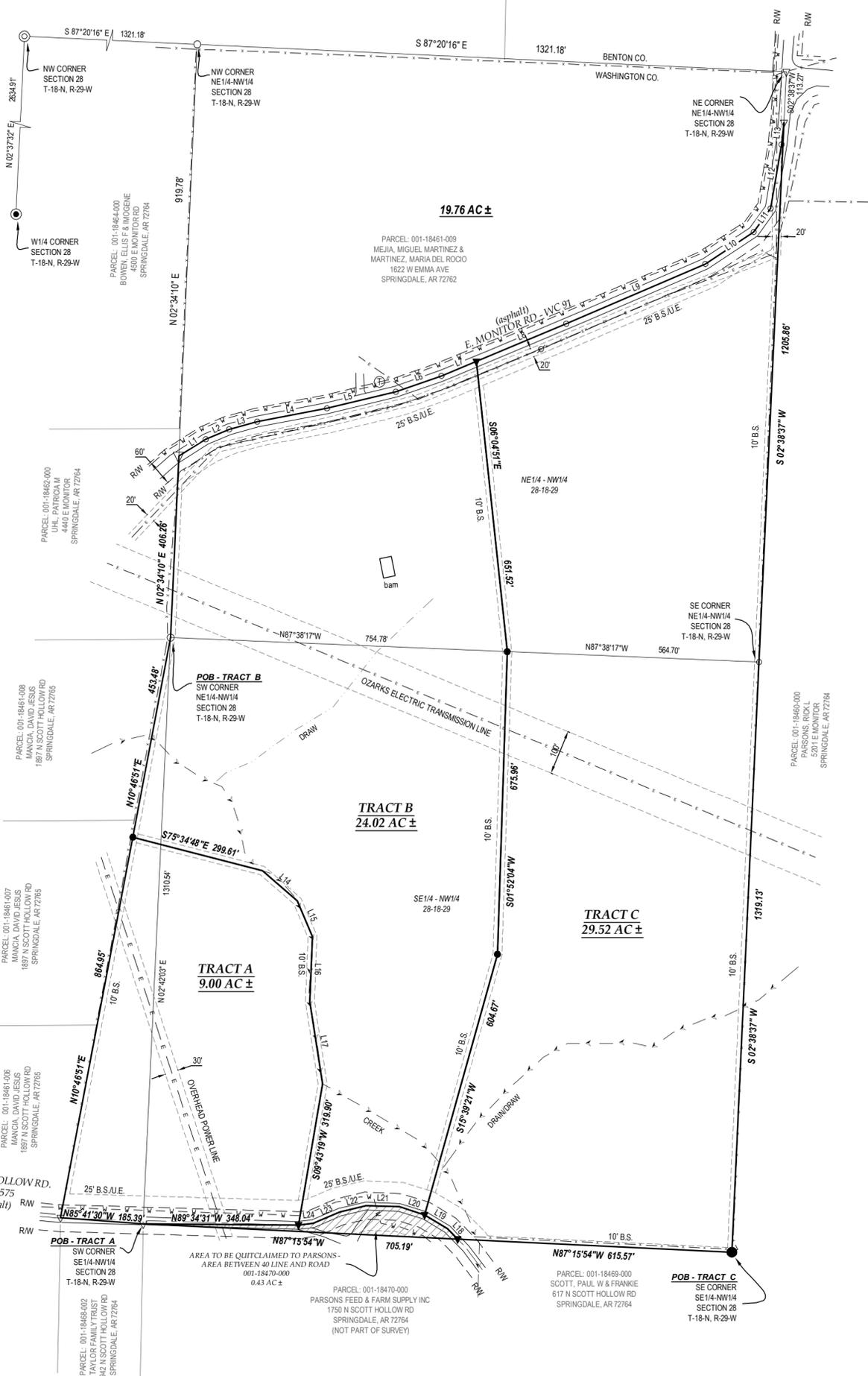
A PART OF THE SW1/4 OF THE NW1/4, A PART OF THE SE1/4 OF THE NW1/4, AND A PART OF THE NE1/4 OF THE NW1/4, OF SECTION 28, TOWNSHIP 18 NORTH, RANGE 29 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 1/2" REBAR AT THE SOUTHWEST CORNER OF SAID NE1/4 OF THE NW1/4; THENCE N02°34'10"E 406.26 FEET TO A PK NAIL ON THE CENTERLINE OF E. MONITOR RD.; THENCE NORTHEASTERLY ALONG SAID CENTERLINE THE FOLLOWING: N58°19'00"E 70.72 FEET, N67°14'38"E 57.00 FEET, N74°33'22"E 65.36 FEET, N79°16'51"E 159.05 FEET, N76°29'36"E 158.48 FEET, N70°52'37"E 108.34 FEET, AND N67°40'26"E 84.79 FEET TO A PK NAIL; THENCE LEAVING SAID CENTERLINE S06°04'51"E 651.52 FEET TO A 1/2" REBAR; THENCE S01°52'04"W 675.96 FEET TO A 1/2" REBAR; THENCE S15°39'21"W 604.67 FEET TO A PK NAIL ON THE CENTERLINE OF N. SCOTT HOLLOW RD.; THENCE WESTERLY ALONG SAID CENTERLINE THE FOLLOWING: N72°00'06"W 59.61 FEET, N88°09'04"W 74.64 FEET, S76°40'58"W 60.52 FEET, S88°43'21"W 64.80 FEET, AND S83°04'20"W 33.18 FEET TO A PK NAIL; THENCE LEAVING SAID CENTERLINE N08°13'10"E 49.35 FEET TO A PK NAIL; THENCE LEAVING SAID CENTERLINE N09°42'31"E 144.68 FEET, N06°13'10"E 49.35 FEET TO A PK NAIL; THENCE LEAVING SAID CENTERLINE S02°38'37"W 1205.86 FEET TO A 1/2" REBAR AT THE SOUTHWEST CORNER OF SAID NE1/4 OF THE NW1/4; THENCE S02°38'37"W 1319.13 FEET TO THE POINT OF BEGINNING. CONTAINING 29.52 ACRES, MORE OR LESS.

SUBJECT TO THE E. MONITOR RD. RIGHT-OF-WAY ALONG THE NORTH SIDE, THE N. SCOTT HOLLOW RD. RIGHT-OF-WAY ALONG THE SOUTH SIDE, OZARKS ELECTRIC TRANSMISSION LINE RUNNING THROUGH THE MIDDLE, AND ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD.

SURVEY DESCRIPTION - TRACT C

A PART OF THE SE1/4 OF THE NW1/4, AND A PART OF THE NE1/4 OF THE NW1/4, OF SECTION 28, TOWNSHIP 18 NORTH, RANGE 29 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A 1/2" REBAR AT THE SOUTHWEST CORNER OF SAID SE1/4 OF THE NW1/4; THENCE N87°15'54"W 615.57 FEET ALONG THE SOUTH LINE OF SAID SE1/4 OF THE NW1/4 TO THE CENTERLINE OF N. SCOTT HOLLOW RD.; THENCE ALONG SAID CENTERLINE N44°14'47"W 31.88 FEET AND N58°58'23"W 60.05 FEET TO A PK NAIL; THENCE LEAVING SAID CENTERLINE N15°39'21"E 604.67 FEET TO A 1/2" REBAR; THENCE N01°52'04"E 675.96 FEET TO A 1/2" REBAR; THENCE N06°04'51"W 651.52 FEET TO A PK NAIL ON THE CENTERLINE OF E. MONITOR RD.; THENCE NORTHEASTERLY ALONG SAID CENTERLINE THE FOLLOWING: N67°15'51"E 218.15 FEET, N66°48'59"E 339.10 FEET, N56°35'42"E 129.72 FEET, N35°48'17"E 64.80 FEET, N09°42'31"E 144.68 FEET, AND N06°13'10"E 49.35 FEET TO A PK NAIL; THENCE LEAVING SAID CENTERLINE S02°38'37"W 1205.86 FEET TO A 1/2" REBAR AT THE SOUTHWEST CORNER OF SAID NE1/4 OF THE NW1/4; THENCE S02°38'37"W 1319.13 FEET TO THE POINT OF BEGINNING. CONTAINING 29.52 ACRES, MORE OR LESS.

SUBJECT TO THE E. MONITOR RD. RIGHT-OF-WAY ALONG THE NORTH SIDE, THE N. SCOTT HOLLOW RD. RIGHT-OF-WAY ALONG THE SOUTH SIDE, OZARKS ELECTRIC TRANSMISSION LINE RUNNING THROUGH THE MIDDLE, AND ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD.



PROPERTY LINE ADJUSTMENT

AREA TO BE QUITCLAIMED - 0.43 ACRES

A PART OF THE SE1/4 OF THE NW1/4 OF SECTION 28, TOWNSHIP 18 NORTH, RANGE 29 WEST, WASHINGTON COUNTY, ARKANSAS, SAID TRACT BEING ALL OF SAID 40 ACRE TRACT LYING SOUTH OF THE CENTERLINE OF N. SCOTT HOLLOW RD. AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A PK NAIL AT THE SOUTHWEST CORNER OF SAID SE1/4 OF THE NW1/4; THENCE S89°34'31"E 348.04 FEET ALONG SAID CENTERLINE TO A PK NAIL; THENCE ALONG SAID CENTERLINE THE FOLLOWING: N83°04'20"E 33.18 FEET, N66°43'21"E 64.80 FEET, N76°40'58"E 60.52 FEET, S88°09'04"E 74.64 FEET, S72°00'06"E 59.61 FEET TO A PK NAIL; THENCE CONTINUING ALONG SAID CENTERLINE S58°58'23"E 60.05 FEET AND S44°14'47"E 31.88 FEET TO A PK NAIL ON THE SOUTH LINE OF SAID 40 ACRE TRACT; THENCE N87°15'54"W 705.19 FEET TO THE POINT OF BEGINNING. CONTAINING 0.43 ACRES, MORE OR LESS.

PARSONS LEGAL DESCRIPTION (NOT SURVEYED) - PARCEL 001-18470-000

WARRANTY DEED BK: 607 PG: 265

THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION THIRTY-THREE (33) AND THE EAST HALF OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION TWENTY-EIGHT (28), EXCEPT THE FOLLOWING DESCRIBED TRACTS: BEGINNING AT THE NORTHEAST CORNER OF SAID LAST NAMED 40 ACRE TRACT, AND RUNNING THENCE WEST 13.43 CHAINS, THENCE SOUTH 16 1/2 DEGREES EAST 20.69 CHAINS; THENCE EAST 7.76 CHAINS; THENCE NORTH 20 CHAINS TO THE PLACE OF BEGINNING, AND ALSO EXCEPT THE FOLLOWING DESCRIBED TRACT: BEGINNING AT THE CENTER OF SECTION TWENTY-EIGHT (28), AND RUNNING THENCE WEST 620 FEET; THENCE SOUTH 36° EAST 425 FEET; THENCE SOUTH 75° EAST 283 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION TWENTY-EIGHT (28); THENCE NORTH 464 FEET TO THE PLACE OF BEGINNING, ALL BEING IN TOWNSHIP EIGHTEEN (18) NORTH OF RANGE TWENTY-NINE (29) WEST, AND CONTAINING 115 1/2 ACRES, MORE OR LESS.



JENKINS SURVEYING	DATE: 8/22/16
1552 CEDAR ST.	DRAWN BY: DWJ
FAYETTEVILLE, AR 72703	SCALE: 1" = 200'
P/F 479-521-5231	JOB NO.: 16-032
PLAT CODE: 500-18N-29W-0-28-400-72-1647	

TRACT SPLIT
FOR
MARK & PAMELA
MCGARRAH

AUTHORIZATION FORM

I, Mark McGarrah, authorize Jenkins Surveying (Bill or Dan Jenkins) to represent me as an agent regarding the tract split on parcel 001-18461-000.

WAIVER FROM SUBDIVISION REQUIRMENTS

I, Mark McGarrah, am requesting a waiver from the subdivision requirements and performing a tract split on parcel 001-18461-000.

W1613

Memo

To: Planning Commission
From: Staff
Date: September 6, 2016
RE: L16-15 Large Scale Development Ozark Center Point
Place West

Variance (B16-55) of distance between drives from 150' to 136'
Variance (B16-55) for modification of Commercial Design Standards
Variance (B16-55) to allow green space width to vary from 3' to 6.2'

Planning Comments

1. Notice to all adjacent property owners must be sent by certified mail, return receipt requested at the time of resubmission. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, shall be submitted. Please return white mail receipts and affidavit to the Planning Office. Green return cards must be submitted to the Planning Office prior to the Planning Commission meeting or may be submitted at the meeting.
2. Need State Plane Coordinates (NAD 82, Feet) for all fire hydrant locations.
3. Show the typical dimensions for handicapped parking, (11' x 19').
4. Show the width of the handicapped access area, (5' min.).
5. Show the location of the handicapped parking signs.
6. Handicapped ramps shall be provided wherever a sidewalk crosses a curb at crosswalks, driveways, and street intersections.
7. Landscape islands are required at a rate of 1 per 15 parking spaces, in accordance with Chapter 56. 12 islands are required.
8. Interior parking area landscaping is required in accordance with Chapter 56. Show the total area of the parking lot, the percentage of landscaping required

and the percentage of landscaping provided. Include a drawing that identifies all areas included in the calculations.

9. Need a landscape plan that shows the details of the landscaped areas including type, size and location of plants. Show plant type and species.
10. Minimum width of a drive for a one-way traffic is fifteen feet (15').
11. Maximum width of a drive, exclusive of radii, is forty feet (40').
12. Scale is incorrect.
13. Minimum radius to the face of the curb for driveways is twenty-five feet (25').
14. Show all existing easements.
15. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. Show location and the State Plane Coordinates (NAD 83, Feet) for each streetlight.
16. Need to show dumpster location.
17. Show the size and location of all freestanding signs. Show distances from street right-of-way.
18. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
19. This development must comply with the City of Springdale Commercial Design Standards or a variance is required..

Commercial Design Standards Comments

- 1) All sides of a principal building that directly faces an abutting public right-of-way shall feature at least one customer entrance unless, the principal building directly faces more than 2 abutting rights-of-way then only 2 entrances are required, one along the primary street and one along a secondary street.
- 2) Outdoor storage, trash collection, and loading areas must be landscaped so that their functions are fully contained and out of view of the adjacent property and the public right-of-way.
- 3) Façades over 100' in linear length shall incorporate wall projections and/or recesses per Springdale Commercial Design Standard.
- 4) Trash containers, trash compactors, and recycling bins shall be screened from public view on all four sides with a solid fence, wall, or gate constructed of cedar, redwood, masonry, or other compatible building material, and shall be appropriately landscaped.
- 5) Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meter shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture.
- 6) All rooftop equipment shall be screened from public view with an architectural treatment that is compatible with the building architecture.
- 7) Submit a unified lighting plan per Springdale Commercial Design Standards.

Engineering Comments

- 1) **Sect 112-8(i)** Need to show:
 - a. Original topography
 - b. Location and size of loading areas.
 - c. Set back lines. Distance from property lines to paving, curbs, buildings, etc.
- 2) Show the final contours.
- 3) Need a legend identifying all symbols used.
- 4) Show the size and location of all freestanding signs. Show distances from street right-of-way.
- 5) **Sect 112-4** Show existing and proposed streetlight locations. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - a. The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
- 6) **Sect 106** Submit a preliminary drainage report, as outlined in the City of Springdale Drainage Criteria Manual.
 - a. Need to provide the City Staff with detailed calculations to support all drainage improvements.
- 7) **Sect 107** The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/department/planning_and_community_development/

**LSD FOR COMMERCIAL BUILDINGS
AT OZARK CENTER POINT PLACE
WEST (L16-15)**

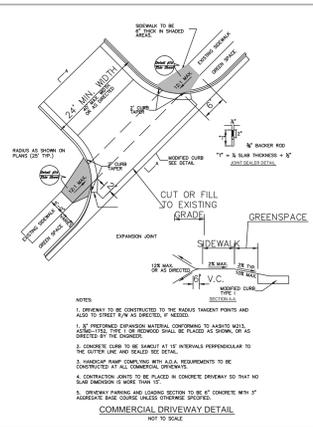
**ON MATHIAS DRIVE & 56th STREET
A LARGE SCALE DEVELOPMENT PLAN TO THE CITY
OF SPRINGDALE, ARKANSAS**

BUILDING SETBACKS
FRONT 50 FEET IF PARKING IS ALLOWED OTHERWISE
FRONT IS 30'
SIDE INT. 0 FEET
BACK NOT APPLICABLE FOR THIS LOT

STREET LIGHT NOTE

The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street. All public streetlight fixtures shall be by LSI Lighting Model Crossover XRM, #SPL-XRM3-119W/LED/UE-MSV-IPC-PC

SCALE: 1" = 100'
CONTOUR INTERVAL 0.5 FEET
Only Proposed Contours shown for clarity purposes



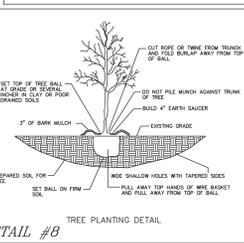
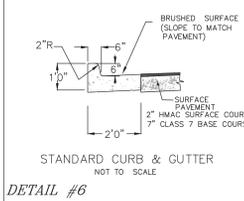
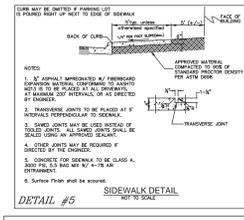
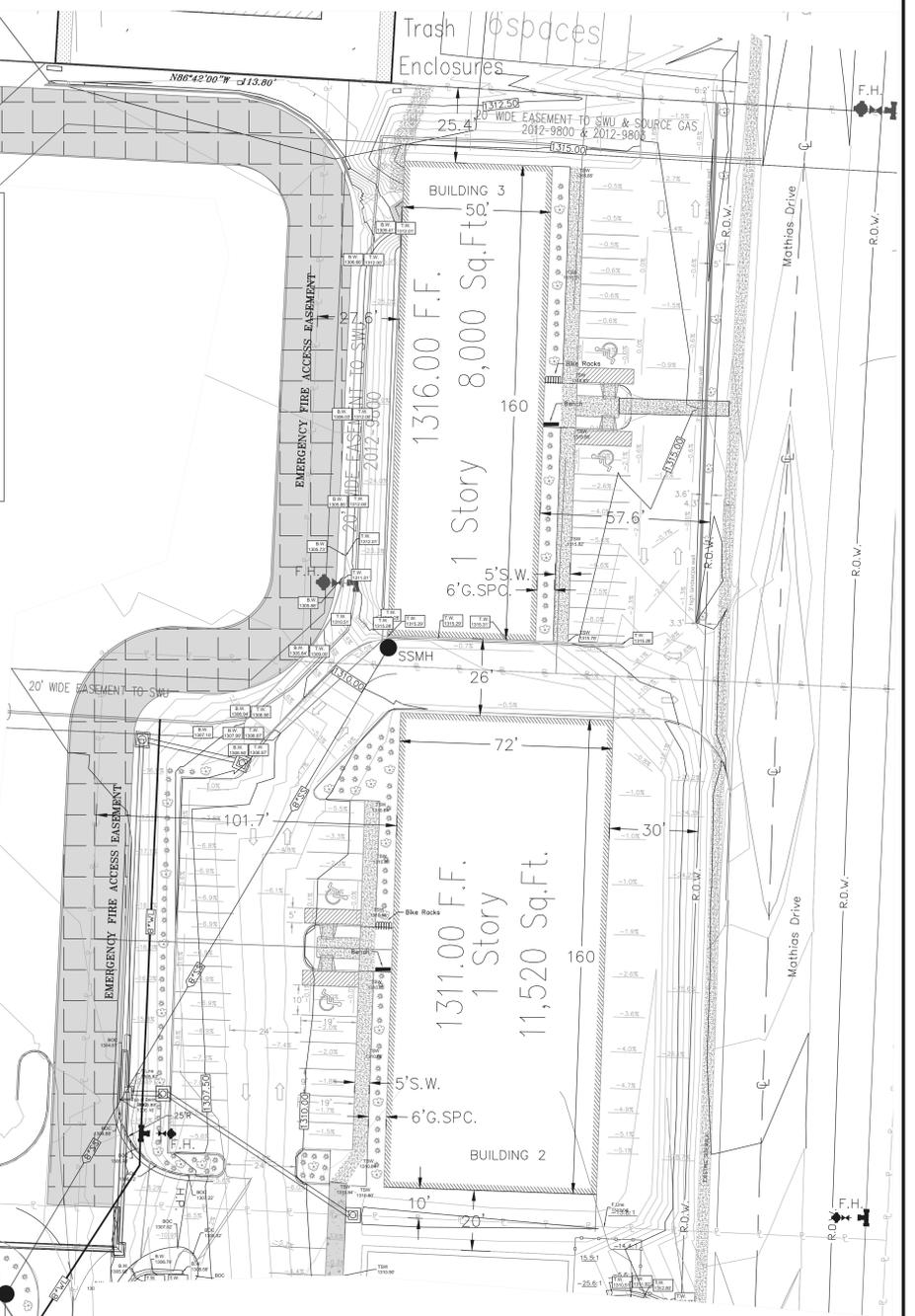
ADJOINERS AND ADJACENT ZONING

A	Parcel 815-39279-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
B	Parcel 815-30054-250 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
C	Parcel 815-35583-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
D	Parcel 815-35554-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
E	Parcel 815-35555-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
F	Parcel 815-35556-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
G	Parcel 815-35557-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
H	Parcel 815-34042-000 HARBOR MEADOWS PROPERTY OWNERS c/o Alicia Hines, Treasurer 6542 Bernice Ave. Springdale, AR 72762-5824
I	Parcel 815-37959-000 HARBOR MEADOWS POA C/O ANDREW BREUER 766 FOUNDERS DRIVE W. Springdale, AR 72762
J	Parcel 815-30803-000 Pilot Travel Centers LLC c/o Pilot Delaware LLC 539 S Main Str. Findlay, OH 45840-3229
K	Parcel 815-38278-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485
L	Parcel 815-38279-000 Mathias Shopping Centers, Inc., 956 Mathias Drive P.O. Box 6485 Springdale, AR 72766-6485



VICINITY MAP (NOT TO SCALE)

GROSS SITE AREA:
207,827.14 Sq.Ft. or 4.771 acres
NET SITE AREA: (same no r/w dedication)
207,827.14 Sq.Ft. or 4.771 acres

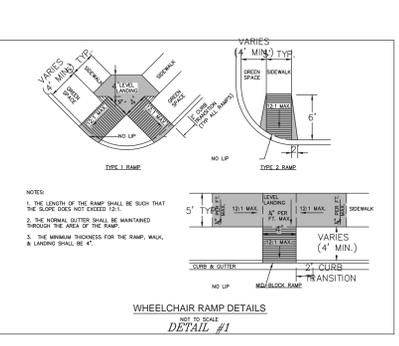
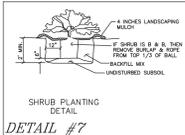
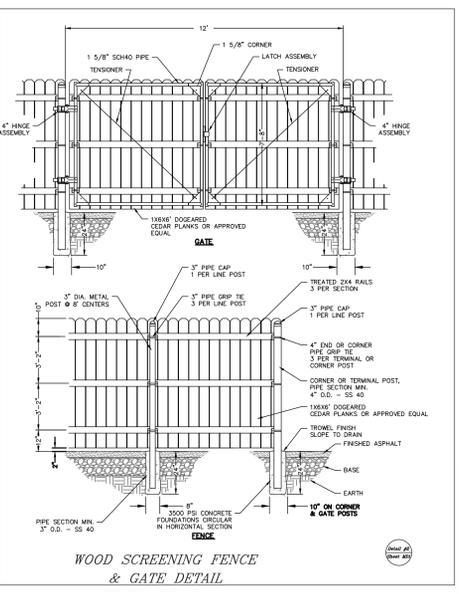


EXISTING ZONING
C-1 AND C-2

ADJACENT ZONING
ALL ADJOINING PROPERTY
SEE ADJOINERS MAP THIS SHT.

REQUIRED PARKING CALCULATIONS

BUILDING #1 Office/General Business/Retail Sales BUILDING SIZE: 32,000 sq. ft. PARKING (A 0.85 Reduction Factor is Allowed) REQUIRED 1 per 200 sq. ft. 32,000 / 200 = 160 spaces 160 x 0.85 = 136 PROVIDED 136 spaces including 6 Handicapped
BUILDING #2 Business and Professional Office BUILDING SIZE: 11,520 sq. ft. PARKING (A 0.95 Reduction Factor is Allowed) REQUIRED 1 per 300 sq. ft. 11,520 / 300 = 38.4 spaces 57.6 x 0.95 = 54.72 REQUIRED 37 spaces including 2 Handicapped PROVIDED 39 spaces including 2 Handicapped (28 ON WEST SIDE OF BLDG. & 11 FROM CASSADAY CLINIC)
BUILDING #3 Business and Professional Office BUILDING SIZE: 8,000 sq. ft. PARKING (No Reduction Factor is Allowed) REQUIRED 1 per 300 sq. ft. 8,000 / 300 = 26.67 spaces REQUIRED 27 spaces including 1 Handicapped PROVIDED 27 spaces including 1 Handicapped (13 ON EAST SIDE OF BLDG. 14 FROM DAYSPRING PARKING LOT TO THE NORTH)



GENERAL NOTES

- SURFACE PAVEMENT SHALL BE 2" HMAC Surface Course over a 7" Class 7 base placed on a compacted subgrade.
- PRESENT ZONING C-2 and C-1
- ALL EXISTING ON-SITE MATERIALS REMOVED DURING CONSTRUCTION NOT SUITABLE FOR FILL SHALL BE HAULED OFF SITE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF SPRINGDALE STANDARD SPECIFICATIONS.
- GRADING IS BASED ON SPOT ELEVATIONS & PROPOSED CONTOURS.
- THERE ARE NO WETLANDS ON THIS PROPERTY.
- THIS PROPERTY IS NOT IN THE 100 YEAR FLOOD ZONE ACCORDING TO F.E.M.A. MAP 05143C0065F, DATED MAY 16, 2008.
- TRASH ENCLOSURE SHALL BE SCREENED WITH 8' OPAQUE FENCING.
- ALL SIDEWALKS SHALL BE A MINIMUM OF 5' WIDE.
- ALL LANDSCAPING MUST BE GUARANTEED FOR TWO YEARS.
- SIDEWALKS ARE REQUIRED TO BE MAINTAINED ALONG MATHIAS DRIVE AND ALONG 56TH.
- Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street if lighting is not already in place.
- Modified Curb is required at all drives see detail 4 this sheet.
- Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meter shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture and meter shall be screen from public view with an architectural treatment that is compatible with the building architecture.

LEGAL DESCRIPTION:

PART OF PARCEL 815-30054-220

A part of the SW 1/4 of the NW 1/4 of T17N, R33W in Washington County, Arkansas and being described as follows: Commencing at the SW corner of said SW 1/4 NW 1/4 thence N02°40'30"E 536.78 feet to the P.O.B.; thence N02°40'30"E 393.50 feet; thence S87°19'30"E 300.00 feet; thence N02°40'30"E 187.37 feet; thence S87°19'30"E 66.83 feet; thence N02°40'30"E 196.27 feet; thence S86°39'13"E 209.79 feet; thence S03°07'48"W 680.98 feet; thence N87°36'18"W 320.83 feet; thence S02°36'26"W 91.07 feet; thence N87°34'22"W 250.94 feet to the P.O.B.; Containing 6.60 acres more or less subject to easements and right of way of record.

OZARK CENTER POINT PLACE

Owner/Developer
MATHIAS SHOPPING CENTERS, INC
P.O. BOX 6485
SPRINGDALE, AR 72766-6485

Project Data
Project # 0300P-0001
Drawing Date 08/26/18
System: SPC (2008 AR AC)
Drawn By LFG
Checked By LFG
Scale 1"=20'
Sheet 1 of 1
Revision 0

James Layton Services, LLC
7901 W. Washington, AR
Springdale, Arkansas
Telephone: (479) 446-7771
www.jls.com

Staff Use Only

- Fee Paid (\$75) Cash Check CC
 Warranty Deed
 Authorization of Representation
 Drawing/Photo or Other Exhibit

File # PK-55

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Mathias Properties

Applicant's Mailing Address:

7521 W Wedington Drive

Street Address or P.O. Box

Fayetteville, AR 72704

City, State & Zip Code

(479) 409-9259

Telephone Number

Property Owner's Name

(If different from Applicant):

Mathias Properties

Property Owner's Mailing Address:

(If different from Applicant):

P.O. Box 6485

Street Address or P.O. Box

Springdale, AR 72766-6485

City, State & Zip Code

(479) 750-9100

Telephone Number

Address of Variance Request: Property Not Addressed yet but is located between 56th Street and Mathias drive in close proximity to 956 Mathias Drive.

Zoning District: C-1 & C-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.***

- Variance Request 1: To Vary Drive Separation from 150' to 136' a Variance of 14' feet variance.
Variance Request 2: To allow Building #2 to Face West Toward N. 56th, Street this is a variance from the Commercial Design Standards.
Variance Request 3: To allow the greenspace width in front of building 3 to vary from 3' on the South end to 6.2 feet on the North end.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

Variance #1: Building 1 There is an existing electrical transmission main which has a low point at this location which we're trying to protect by placing in a median and placing the entrance there this gets rid of the drainage eye soar that exists now, centers the existing pole in the median and also allows the entrance of the building to be centered on the entrance as well, greatly enhancing the curb appeal of the entire site.

Variance #2: Building 2 is being considered as an annex to the existing children's rehab facility in order to function as such we're facing it the same direction and placing the finished floor so that it matches the existing facility for easy handicap access.

Variance #3: Building 3 Landscape buffers Option#4 Requires a 3 foot high wall of brick, stone or finished concrete in a 5 foot buffer area including one shade tree per 25 linear feet. We have 179 L.F. of Frontage Buffer which varies from 3.3' to 6.2' for an average of 4.75' across the front we are requesting to be allowed to use this existing buffer w Opt.4

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

Variance #1: The Literal interpretation of the Ordinance would not allow the drive to be built in such a manner as to blend into the existing terrain features that exist out there.

Variance #2: The Literal interpretation of the Ordinance would not allow this building to be used as an annex to the existing children's clinic just south of this proposed facility

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

None of the variances requested have resulted from any action of the owner.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Leonard Gabbard
Applicant Signature*

Sam Mathias
Property Owner Signature*
(If different from Applicant)

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 17th day of August, 2016.

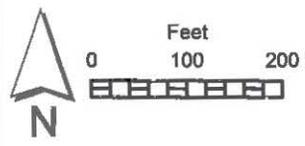
Tereasa L. Vickers
Notary Public

TEREASA L VICKERS
NOTARY PUBLIC
WASHINGTON COUNTY, ARKANSAS
COMMISSION # 12693670
COMMISSION EXP. APRIL 21, 2025



Public hearing sign posted: / / 2016
Public hearing sign posted by: CS
S Public Hearing Sign Location

P103



FILE NO. B16-55
APPLICANT: MATHIAS PROPERTIES
VARIANCE REQUEST: DISTANCE BETWEEN DRIVES; PLANNING COMMISSION MEETING
COMMERCIAL DESIGN STANDARDS

*CITY OF SPRINGDALE
PLANNING OFFICE
SEPTEMBER 6, 2016*

Memo

To: Planning Commission
From: Staff
Date: September 6, 2016
RE: L16-16 Large Scale Development Waco Title

Concept of Detention

Planning Comments

1. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

Engineering Comments

- 1) Show the size and location of all freestanding signs. Show distances from street right-of-way.
Sect 98-60(c)(1) Front Set back = 2-feet (leading edge) from ROW
Sect 98-60(c)(2) = 10-ft side PL
- 2) **The concept of detention must be approved by the Planning Commission.**
- 3) **DCM Section 5.4.10** *“An easement shall be provided in Plans for detention facilities. A minimum 20’ wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system.”* Ownership of the detention facility will remain with the land .

- 4) Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/departments/planning_and_community_development/

PLANS FOR A

LARGE SCALE DEVELOPMENT

TO SERVE

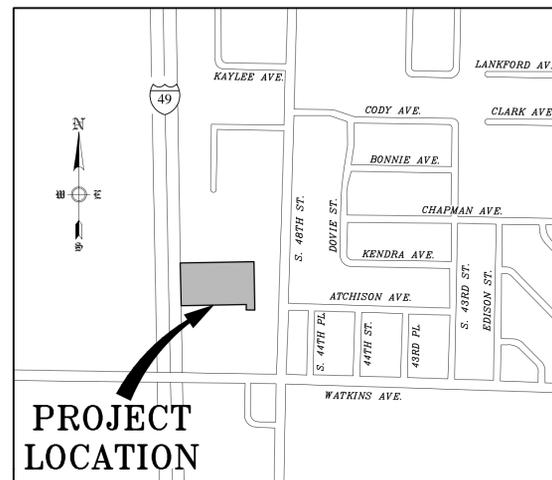
WACO TITLE

L16-16

A COMMERCIAL DEVELOPMENT

IN THE CITY OF

SPRINGDALE, ARKANSAS



VICINITY MAP
NTS

August 17, 2016

BY

ENGINEERING SERVICES INC.



CONSULTING ENGINEERS
SPRINGDALE, ARKANSAS
PHONE: 479-751-8733
FAX: 479-751-8746
WWW.ENGINEERINGSERVICES.COM

CONTACT LIST

BLACK HILLS
SCOTT STOKES - 479-575-1424
OZARKS ELECTRIC
MIKE PHIPPS - 479-684-4696
SPRINGDALE WATER UTILITIES
LARRY PECKHAM - 479-751-5751
COX COMMUNICATION
CHRIS BYRD - 479-751-2000
AT&T
LAYNE RHODES - 479-442-1977
SPRINGDALE FIRE DEPARTMENT
DUANE MILLER - 479-750-8190

INDEX OF SHEETS

SHEET No.	DESCRIPTION
1	LARGE SCALE DEVELOPMENT
2-3	UTILITY PLAN & PROFILE
4	WATER AND SANITARY SEWER DETAILS
5	STORM DRAINAGE PLAN & PROFILES
6	PAVING PLAN
7	LIGHTING PLAN
8	TYPICAL DETAILS
9	STORM WATER POLLUTION PREVENTION PLAN
10	LANDSCAPE PLAN

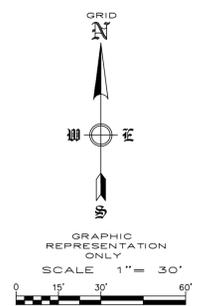
REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF SPRINGDALE ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF SPRINGDALE RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.



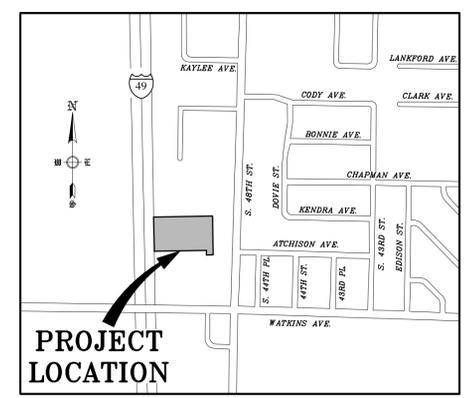
THOMAS J. APPEL, P.E. No. 13828
ENGINEERING SERVICES, INC.

NOTES :

- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF SPRINGDALE, ARKANSAS, AS CONTAINED IN CHAPTER 110, ART. III, OF THE CODE OF ORDINANCES, CITY OF SPRINGDALE, ARKANSAS.
- 2) ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF SPRINGDALE WATER UTILITIES.
- 3) ALL BUILDINGS SHALL BE DESIGNED ACCORDING TO THE 2015 SPRINGDALE, ARKANSAS ORDINANCES CHAPTER 22, ARTICLE II SUPPLEMENT 91- CODIFIED THROUGH ORDINANCE NO. 4956, ENACTED SEPTEMBER 8, 2015, UPDATED ON OCTOBER 30, 2015.



LEGEND	
(+)	IRON PIN FOUND
(x)	MAG NAIL FOUND
(---)	PROPERTY LINE
(---)	SAW-CUT LINE
(---)	EASEMENT LINE
(---)	BUILDING SETBACK LINE
(---)	EX. ROAD CENTERLINE
(---)	EX. CURB & GUTTER
(---)	EX. CONTOUR
(---)	PROPOSED CONTOUR
(---)	EX. OVERHEAD POWER LINE
(---)	EX. GAS LINE
(---)	EX. UNDERGROUND TELEPHONE LINE
(---)	EX. 8" SEWER LINE
(---)	EX. STORM DRAIN LINE
(---)	EX. WATER LINE
(---)	EX. FIBER OPTIC LINE
(---)	EX. WATER METER
(---)	EX. FIRE HYDRANT
(---)	EX. SEWER MANHOLE
(---)	EX. POWER POLE
(---)	EX. WATER VALVE
(---)	EX. LIGHT POLE
(---)	EX. SIGN
(---)	PROPOSED HANDICAP RAMP



VICINITY MAP
NTS

OWNER/DEVELOPER: OZARK GUIDANCE CENTER FOUNDATION
PO BOX 6430
SPRINGDALE, AR 72766-6430

ENGINEER: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72765-0282

ZONING: C-2

GROSS: 2.32 ACRES

NET: 2.32 ACRES

PROPOSED BUILDING SIZE: PROPOSED OFFICE = 15,832

PARKING SPACES REQUIRED: OFFICE = 53 SPACES
(1/300) = 53 SPACES
(INCLUDING 3 A.D.A. ACCESSIBLE)
(OFFICE @ 1 PER 300 SQ.FT.)
TOTAL: 53

PARKING SPACES PROVIDED: OFFICE = 86 SPACE (INCLUDING
4 A.D.A. ACCESSIBLE)
TOTAL: 86

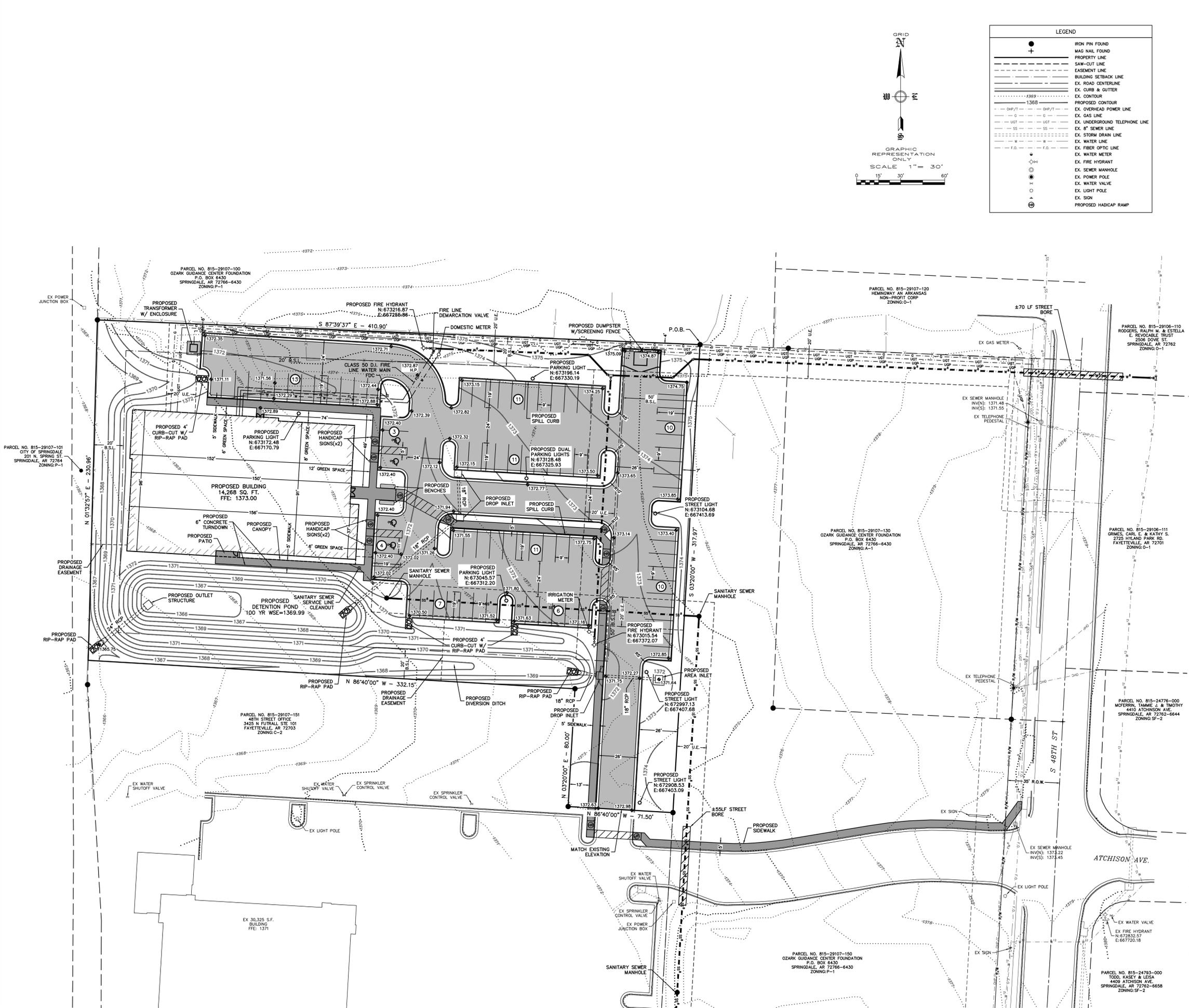
- NOTES:**
- ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED (EXAMPLE: 15'00" AS TO BACK OF CURB).
 - ALL PROPOSED CURBING SHALL BE 6" WIDE X 6" HIGH.
 - A.D.A. ACCESSIBLE RAMPS TO HAVE A MAXIMUM INCLINATION RATIO OF 12:1.
 - ANY COST OF ADJUSTMENTS, RELOCATION OR DAMAGE OF EXISTING UTILITIES WILL BE THE RESPONSIBILITY OF THE OWNERS/DEVELOPERS.
 - THE MINIMUM INITIAL RATING FOR THE STREETLIGHTS SHALL BE 6,800 LUMENS FOR A LOCAL STREET, 11,000 LUMENS FOR A COLLECTOR STREET, OR 20,000 LUMENS FOR AN ARTERIAL STREET. FIXTURES SHALL BE BY L&L LIGHTING MODEL CROSSOVER XRM, #SFL-XRM3-119W/LED/UE-MSV-PC-COS.
 - MODIFIED CURB REQUIRED AT ALL DRIVES.
 - ALL UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND.
 - INTERNAL PEDESTRIAN WALKWAYS MUST BE DISTINGUISHABLE FROM DRIVING SURFACES THROUGH THE USE OF LOW MAINTENANCE SURFACE MATERIAL SUCH AS PAVERS, BRICKS, OR SCORED CONCRETE.
 - OUTDOOR STORAGE, TRASH COLLECTION, AND LOADING AREAS MUST BE LANDSCAPED, SO THAT THEIR FUNCTIONS ARE FULLY CONTAINED AND OUT OF VIEW OF THE ADJACENT PROPERTY AND THE PUBLIC RIGHT-OF-WAY.
 - EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - WHEN A COMMERCIAL DEVELOPMENT INCLUDES A FENCE OR WALL, THE FOLLOWING GUIDELINES AND STANDARDS APPLY:
 - MAXIMUM HEIGHT OF A FENCE OR WALL SHALL BE 8'.
 - CONSTRUCTED OF HIGH QUALITY MATERIALS SUCH AS DECORATIVE BLOCKS, BRICK, STONE, CYPRESS, CEDAR, REDWOOD, AND/OR WROUGHT IRON.
 - MAXIMUM LENGTH OF A CONTINUOUS, UNBROKEN, AND UNINTERRUPTED FENCE OR WALL SHALL BE 50'. BREAKS SHALL BE PROVIDED THROUGH THE USE OF COLUMNS, LANDSCAPING POCKETS, TRANSPARENT SECTIONS, AND/OR A CHANGE TO DIFFERENT MATERIALS.
 - THE GLOBAL POSITIONING SYSTEM (GPS) AND CONVENTIONAL TERRESTRIAL SURVEYING EQUIPMENT PROVIDED THE RELATIVE POSITIONING FOR THE TOPOGRAPHIC, PLANIMETRIC AND BOUNDARY LOCATIONS SHOWN HEREON.
 - THE MAP PROJECTION IS REFERENCED TO THE HORIZONTAL CONTROL DATUM OF NAD83 (NORTH AMERICAN DATUM OF 1983), STATE PLANE COORDINATE SYSTEM, ARKANSAS NORTH ZONE (0301). THE BASIS OF BEARINGS FOR THIS PLAN ARE STATE PLANE GRID BEARING. THE VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
 - ALL UTILITY WIRES, LINES AND/OR CABLE IN SAID DEVELOPMENTS UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND, EXCLUDING 12KV OR ABOVE.
 - EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES AND BANKS OF METER SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
 - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.

FLOOD PLAIN ZONING:
THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 05143C007F, ANEL700F-075, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

**PARCEL NO. 819-29107-140
TRACT 2B - SURVEY DESCRIPTION:**
A PART OF THE SOUTHEAST QUARTER (SE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION NINE (9), TOWNSHIP SEVENTEEN NORTH (T-17-N), RANGE THIRTY-THREE WEST (R-30-W) OF THE FIFTH PRINCIPAL MERIDIAN, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AND BEING FURTHER DESCRIBED AS FOLLOWS:

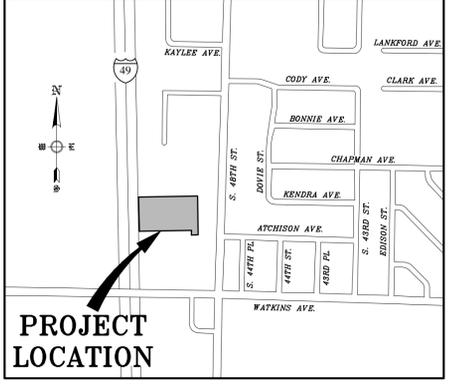
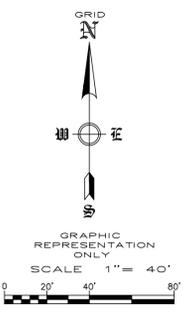
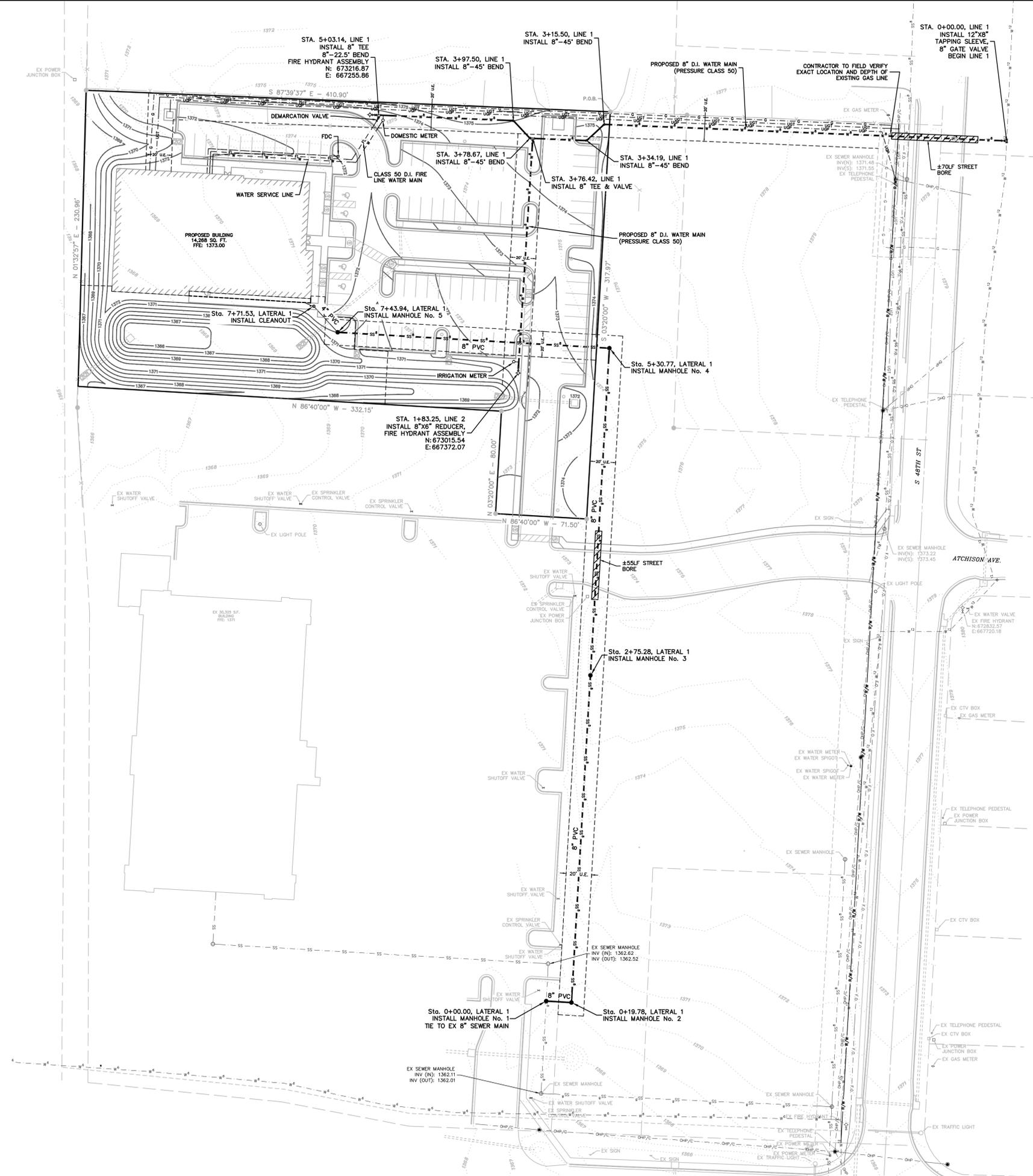
COMMENCING AT A SET MAG NAIL BEING THE SOUTHWEST CORNER OF THE SE 1/4 OF THE NW 1/4 OF SAID SECTION 9, THENCE ALONG THE EAST LINE OF SAID SE 1/4 OF THE NW 1/4, N02°33'06"E A DISTANCE OF 620.42 FEET TO A POINT; THENCE N87°18'25"W A DISTANCE OF 207.61 FEET TO A SET IRON PIN WITH CAP PLS 1156; THENCE N02°25'35"E A DISTANCE OF 244.27 FEET TO A SET IRON PIN WITH CAP PLS 1156; THENCE N87°39'37"W A DISTANCE OF 60.10 FEET TO THE POINT OF BEGINNING, SAID POINT BEING A SET IRON PIN WITH CAP PLS 1156; THENCE S03°20'00"W A DISTANCE OF 317.97 FEET TO A SET IRON PIN WITH CAP PLS 1156; THENCE N86°40'00"W A DISTANCE OF 71.50 FEET TO A SET IRON PIN WITH CAP PLS 1156; THENCE N03°20'00"E A DISTANCE OF 80.00 FEET TO A FOUND 5/8 INCH REBAR; THENCE N86°40'00"W 332.15 FEET TO THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49 AND A SET IRON PIN WITH CAP PLS 1156; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE, N01°52'57"E A DISTANCE OF 230.96 FEET TO A FOUND ARKANSAS HIGHWAY AND TRANSPORTATION DEPARTMENT 1 1/2 INCH ALUMINUM CAP LS 1392; THENCE LEAVING SAID RIGHT OF WAY LINE, S87°39'37"E A DISTANCE OF 410.90 FEET TO THE POINT OF BEGINNING.

SAID TRACT OR PARCEL OF LAND CONTAINING 2.32 ACRES (101,229 SQ. FT.), MORE OR LESS.



REVISION	DATE	DESCRIPTION

SCALE: 1"=30"
DATE: AUG. 2016
ENGINEER: TJA
DRAWN BY: DLS
W.O. #: 19645



VICINITY MAP
 NTS

DEVELOPER: OZARK GUIDANCE CENTER FOUNDATION
 PO BOX 6430
 SPRINGDALE, AR 72766-6430

ENGINEER: ENGINEERING SERVICES, INC.
 1207 S. OLD MISSOURI RD.
 P.O. BOX 282
 SPRINGDALE, AR 72765-0282

ZONING: C-2

LEGEND

●	IRON PIN FOUND
+	MAG NAIL FOUND
—	PROPERTY LINE
---	SAW-CUT LINE
---	EASEMENT LINE
---	BUILDING SETBACK LINE
---	EX. ROAD CENTERLINE
---	EX. CURB & GUTTER
---	EX. CONTOUR
---	PROPOSED CONTOUR
---	EX. OVERHEAD POWER LINE
---	EX. GAS LINE
---	EX. UNDERGROUND TELEPHONE LINE
---	EX. 8" SEWER LINE
---	EX. STORM DRAIN LINE
---	EX. WATER LINE
---	EX. FIBER OPTIC LINE
---	EX. WATER METER
---	EX. FIRE HYDRANT
---	EX. SEWER MANHOLE
---	EX. POWER POLE
---	EX. WATER VALVE
---	EX. LIGHT POLE
---	EX. SIGN
---	PROPOSED HADICAP RAMP

FLOOD PLAIN ZONING:
 THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 051430070 F, PANEL 70 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

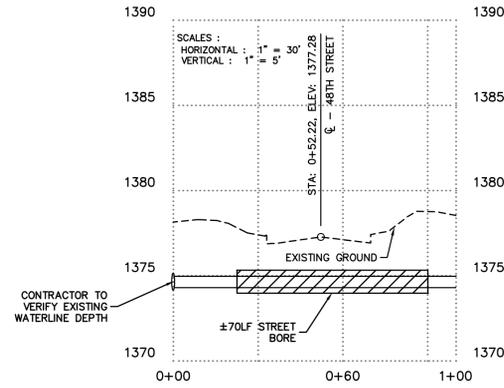


UTILITY PLAN
WACO TITLE
SPRINGDALE, ARKANSAS

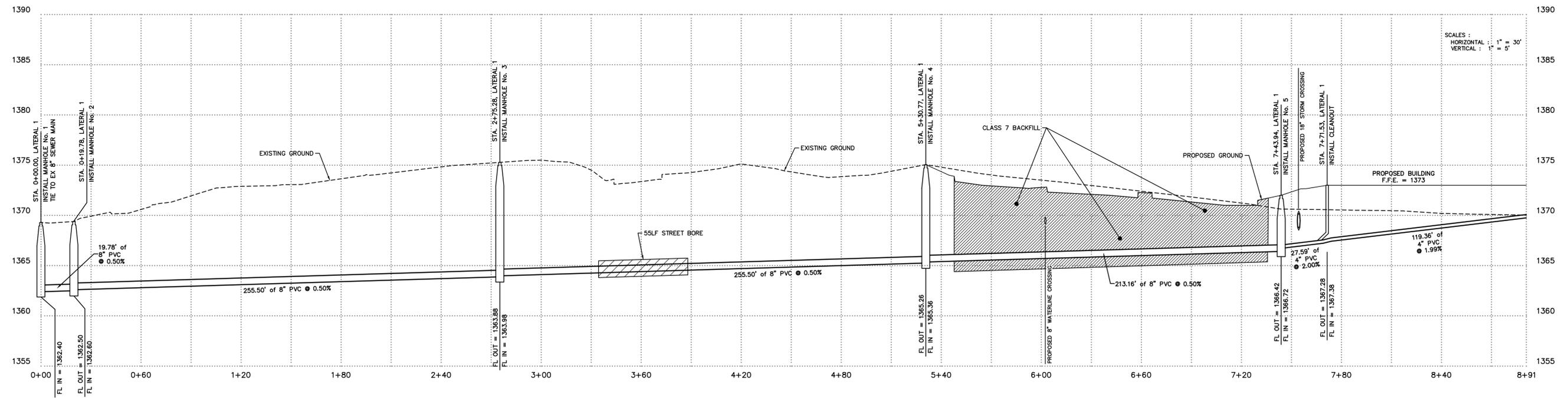
REVISION	DATE	DESCRIPTION

SCALE: 1"=40'
 DATE: AUG. 2016
 ENGINEER: TJA
 DRAWN BY: JSC
 W.O. #: 16945

LINE 1



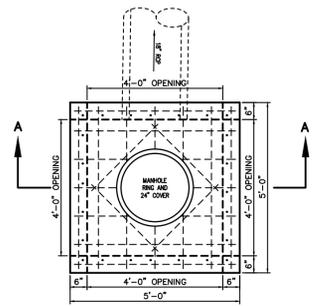
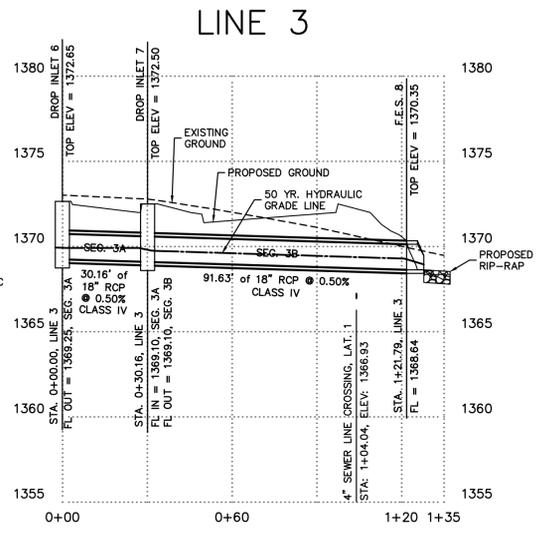
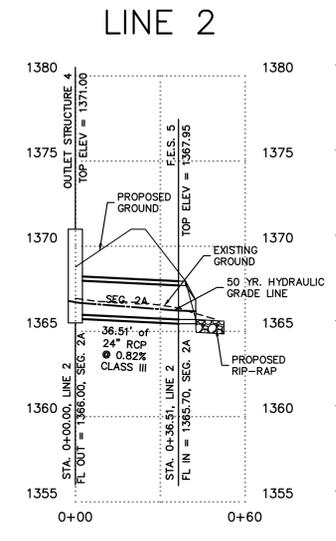
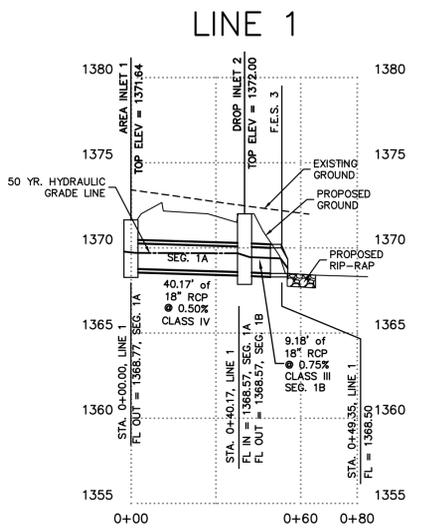
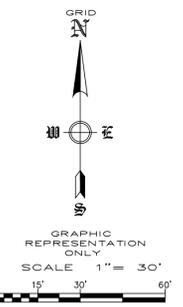
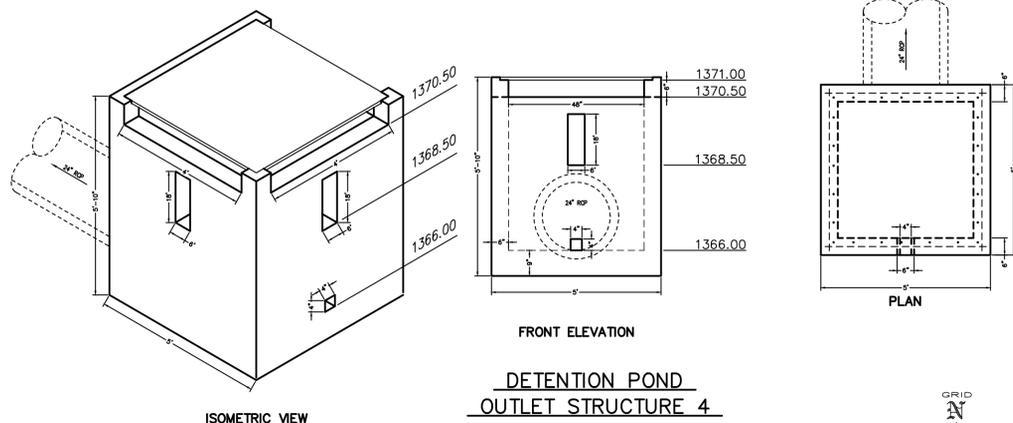
LATERAL 1



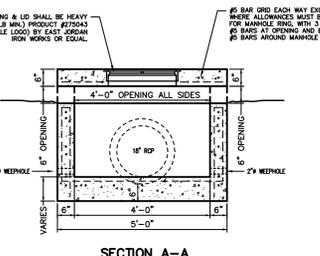
UTILITY PROFILE
 WACO TITLE
 SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1" = 30'
 DATE: AUG. 2016
 ENGINEER: TJA
 DRAWN BY: JSC
 W.O. #: 16945

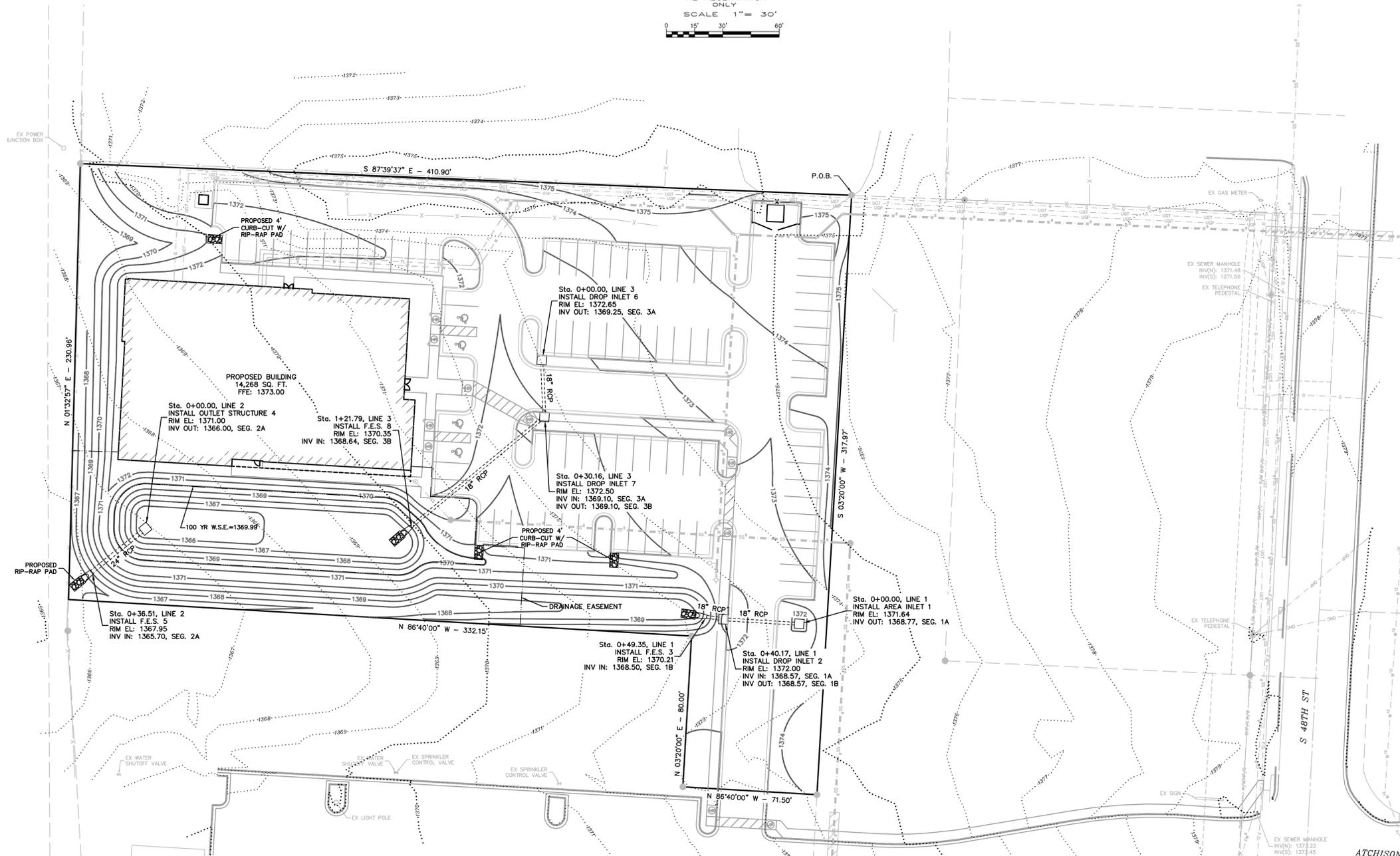


- NOTES:
1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
 2. ALL REINFORCEMENT BARS SHALL BE SPACED 40 AND SHALL HAVE A MINIMUM 1-1/2" COVER UNLESS OTHERWISE NOTED.
 3. CURB INLET BOX OPENING LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE ENGINEER.
 4. WHEN AN INLET IS PLACED ADJACENT TO CONCRETE PAVEMENT, THE GUTTER DEPRESSION SHALL BE FORMED IN CONCRETE PAVEMENT.
 5. PIPES MAY ENTER BOX FROM ANY ANGLE OR ELEVATION AS DIRECTED BY THE ENGINEER. REINFORCING BARS SHALL BE OUT TO CLEAR PIPE BY 1-1/2".
 6. THE EXPANSION JOINT SHALL HAVE A THICKNESS OF 1-1/2" AND CONFORM TO AASHTO M20 AND PROFILE SHEETS TO DETERMINE EXTENSIONS AND SIZE.
 7. REFER TO PLAN AND PROFILE SHEETS TO DETERMINE EXTENSIONS AND SIZE.
 8. EXTENSIONS WITH LIMITING DIMENSIONS AS STATED ON DETAILS UNLESS OTHERWISE NOTED.
 9. CONCRETE FOR RECTANGULAR DROP INLETS SHALL BE CLASS A, 3000 PSI, 5.5 BAG MIX WITH 4-75 AIR ENTRAINMENT.
 10. ALL REINFORCING TO BE #5 BAR @ 12" O.C. E.M. EXCEPT WHERE ALLOWANCES MUST BE MADE FOR PIPES, OPENINGS, OR MANHOLE INLETS.
 11. REINFORCEMENT STEEL STEPS ARE TO BE INSTALLED IN ALL DROP INLETS AND JUNCTION BOXES WITH A DEPTH OF 4'-0" OR GREATER. STEP SPACING TO BE 12".
 12. BOTTOM OF DRAINAGE BOX TO BE AT 0.5% MINIMUM SLOPE FROM INLET TO OUTLET.



**AREA INLET #1
 LINE 1**

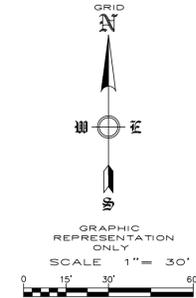
FLOOD PLAIN ZONING:
 THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 05143C0070 F. PANEL 70 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.



**STORM DRAINAGE PLAN & PROFILES
 WACO TITLE
 SPRINGDALE, ARKANSAS**

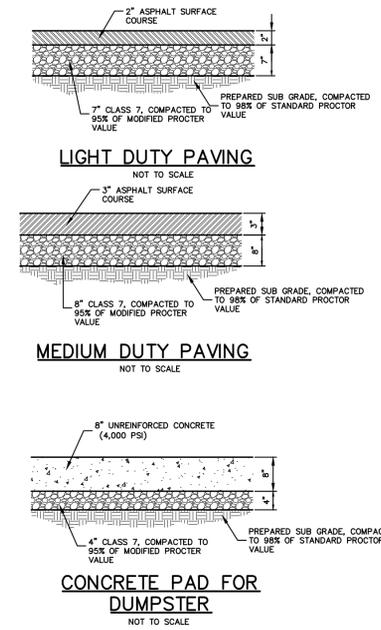
REVISION	DATE	DESCRIPTION

SCALE: 1"=30'
 DATE: AUG. 2016
 ENGINEER: TJA
 DRAWN BY: JRC
 W.O. #: 16945



- *NOTE:**
- 1) SECTIONS SHOWN SHALL BE MODIFIED TO THE GEOTECHNICAL ENGINEER RECOMMENDATION.
 - 2) ALL STRIPING AND SYMBOLS SHALL BE COORDINATED WITH OWNER PRIOR TO INSTALLATION.

	DUMPSTER PAD: CLASS 7 BASE 4" THICK
	UNREINFORCED CONCRETE (4,000 PSI), 8" THICK
	MEDIUM DUTY PAVING: CLASS 7 BASE 8" THICK
	SURFACE COURSE, 3" THICK
	LIGHT DUTY PAVING: CLASS 7 BASE 7" THICK
	SURFACE COURSE, 2" THICK

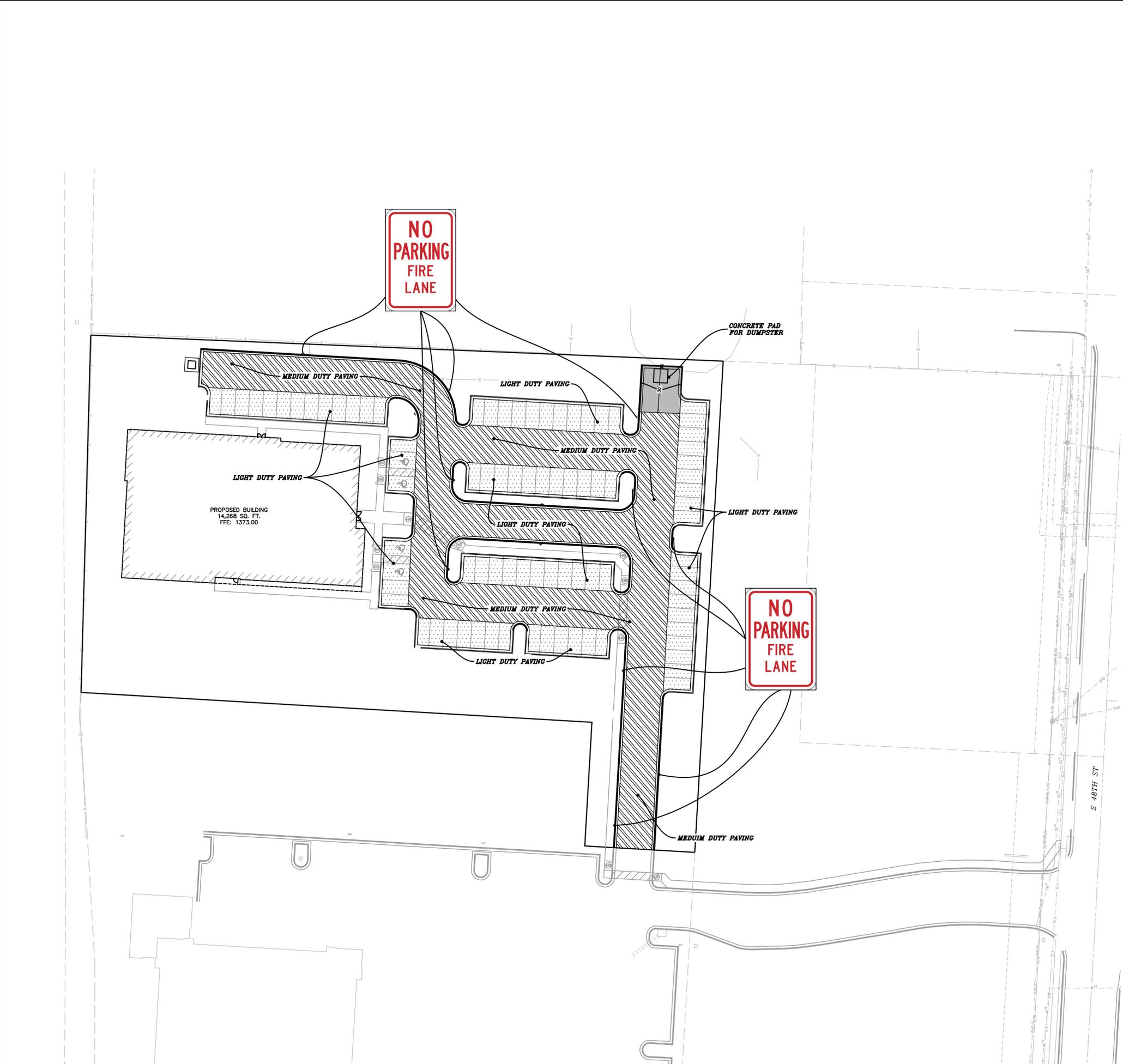


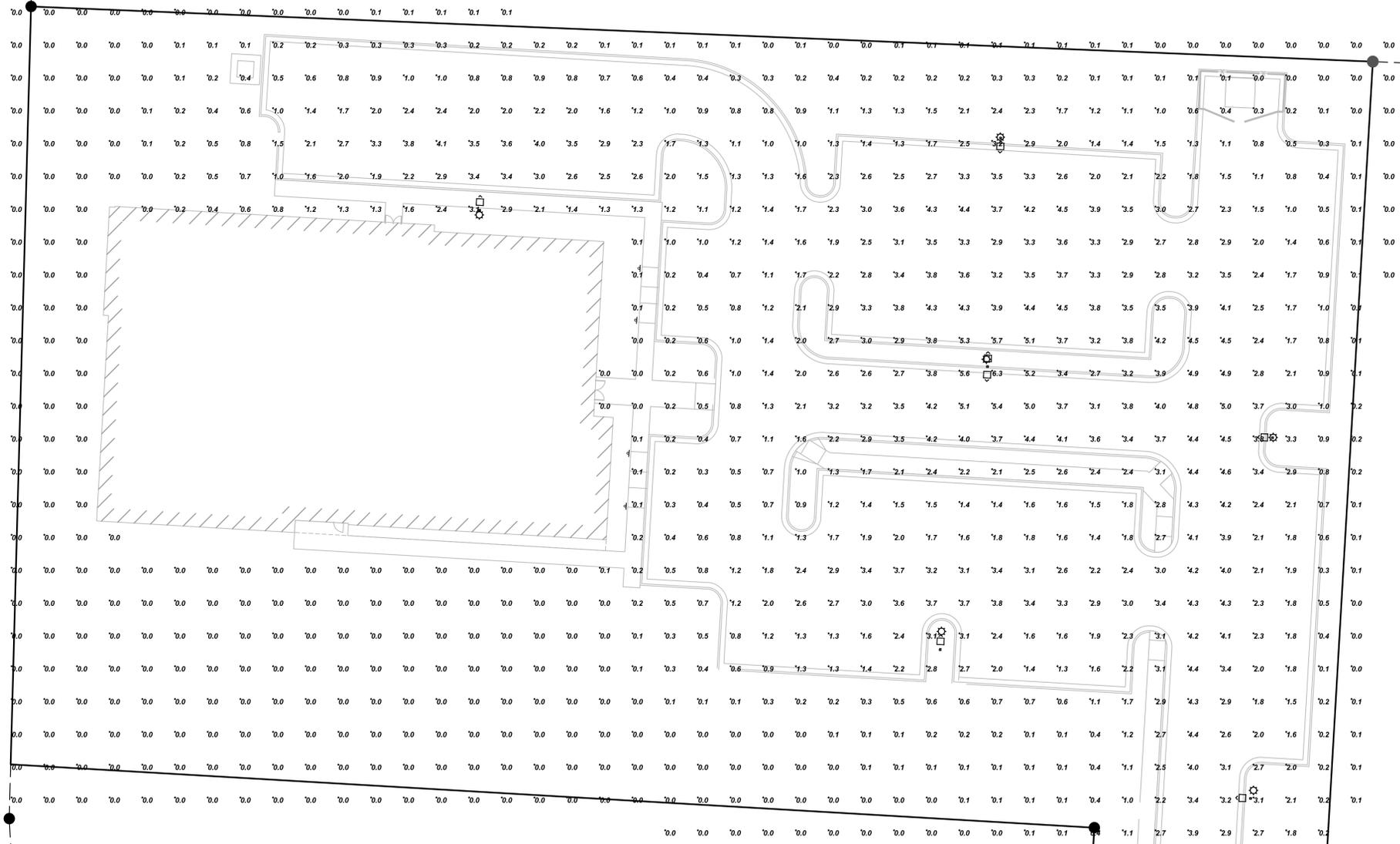
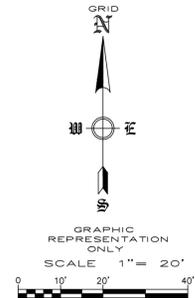
FLOOD PLAIN ZONING:
 THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 05143C0070 F, PANEL 70 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

**PAVING PLAN
 WACO TITLE
 SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=30"
 DATE: AUG. 2016
 ENGINEER: TJA
 DRAWN BY: JSC
 W.O. #: 16945





LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A	5	LS1-A18-4K-UN-2B	AREOS GEN 2 22" LOW PROFILE LED AREA LIGHT, CAST BROWN ENAMEL ALUMINUM HEATSINK HOUSING, TYPE II DISTRIBUTION FORMED SPECULAR ALUMINUM REFLECTORS, CLEAR GLASS ENCLOSURE	WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW EACH	LS1-A18-4K-UN-2B Led (L.TL28343).ies	Absolute	0.81	194
	B	1	LS1-A18-4K-UN-2B	AREOS GEN 2 22" LOW PROFILE LED AREA LIGHT, CAST BROWN ENAMEL ALUMINUM HEATSINK HOUSING, TYPE II DISTRIBUTION FORMED SPECULAR ALUMINUM REFLECTORS, CLEAR GLASS ENCLOSURE	WHITE LEDS WITH CLEAR PLASTIC OPTICS BELOW EACH	LS1-A18-4K-UN-2B Led (L.TL28343).ies	Absolute	0.81	388

STATISTICS					
Description	Symbol	Avg	Max	Min	Avg/Min
Site	+	1.2 fc	8.3 fc	0.0 fc	N/A

LIGHTING PLAN
WACO TITLE
SPRINGDALE, ARKANSAS

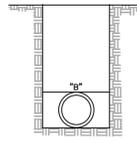
REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
 DATE: AUG. 2016
 ENGINEER: TJA
 DRAWN BY: JRC
 W.O. #: 16945

NOMINAL PIPE DIAMETER	"B"
3" AND 4"	2'-4"
6"	2'-6"
8"	2'-8"
10"	2'-10"
12"	3'-0"
14"	3'-2"
16"	3'-4"
18"	3'-6"
20"	3'-8"
24"	4'-0"
27"	4'-4"
30"	4'-6"
36"	5'-0"
42"	5'-6"
48"	6'-0"

TRENCH WIDTH SCHEDULE

NOTES:
TRENCH WIDTH SHALL BE AS SET FORTH IN ANSI/AWWA 600, INCLUDED AS THE TABLE ON THIS SHEET. LARGER TRENCH WIDTHS MAY BE NECESSARY FOR THE PLACEMENT OF A TRENCH SUPPORT SYSTEM OR AS OTHERWISE REQUIRED.



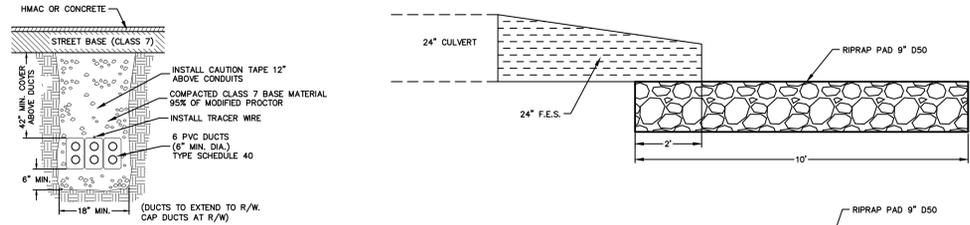
TYPICAL PIPE TRENCH

N.T.S.

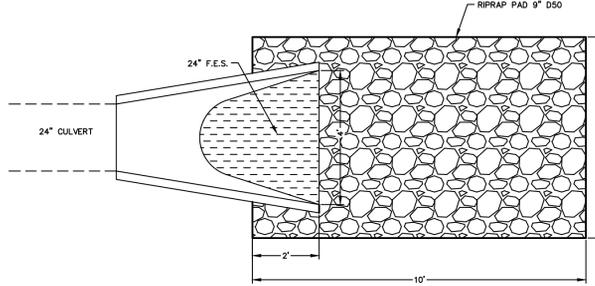
SPRINGDALE
WATER UTILITIES

STANDARD DETAILS
FOR
WATER AND SEWER CONSTRUCTION

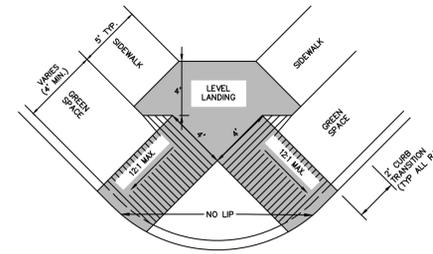
525 OAK AVENUE • P.O. BOX 789 • SPRINGDALE, ARKANSAS • 72765-0789 • (479) 751-5751
DRAWN BY: JNK DRAWING NO: S-17 DATE: MARCH 2008



TYPICAL SECTION
6-6" UTILITY DUCTS

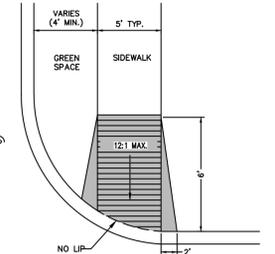


24" CULVERT
NOT TO SCALE

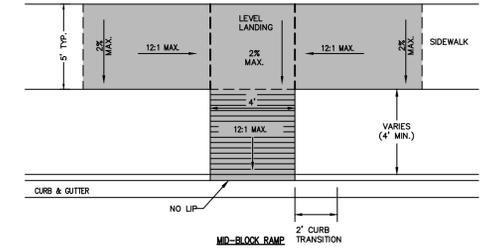


TYPE 1 RAMP

- NOTES:
- 1) THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
 - 2) THE NORMAL GUTTER SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP.
 - 3) THE MINIMUM THICKNESS FOR THE RAMP, WALK & LANDING SHALL BE 4".

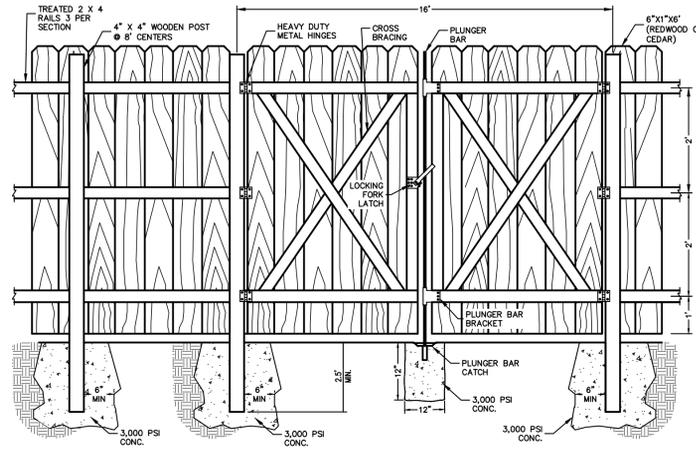


TYPE 2 RAMP

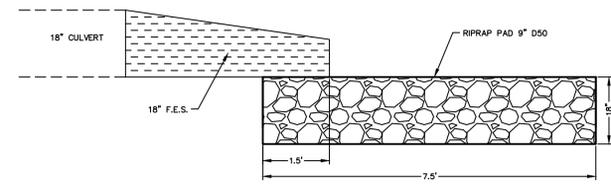


MID-BLOCK RAMP

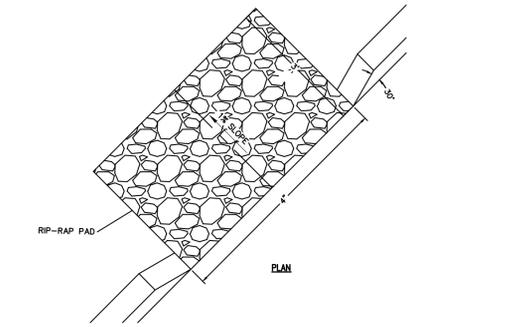
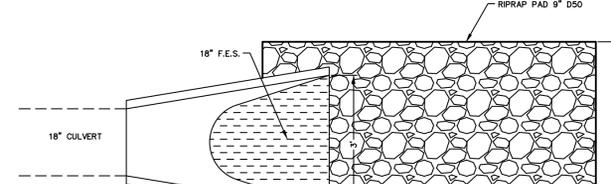
WHEELCHAIR RAMP DETAILS
NOT TO SCALE



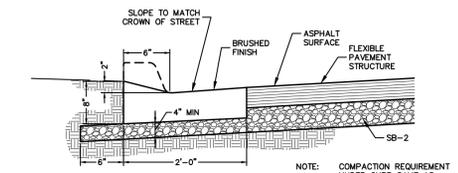
SCREENING FENCE DETAIL
NOT TO SCALE



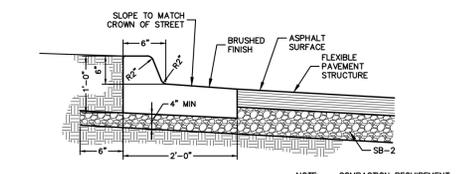
18" CULVERT
NOT TO SCALE



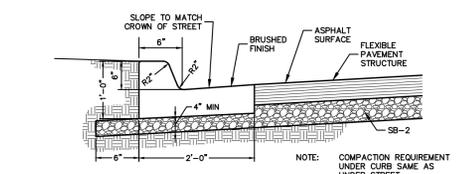
TYPICAL 4' CURB CUT WITH CONCRETE FLUME
NOT TO SCALE



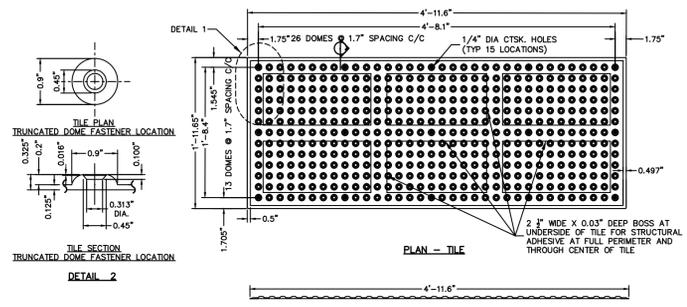
MODIFIED CONCRETE
CURB & GUTTER
NOT TO SCALE



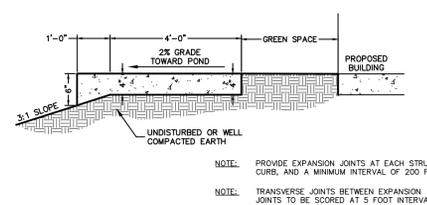
STANDARD 6" CONCRETE
SPILL CURB & GUTTER
NOT TO SCALE



STANDARD 6" CONCRETE
CURB & GUTTER
NOT TO SCALE

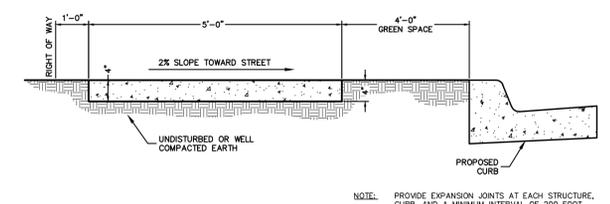
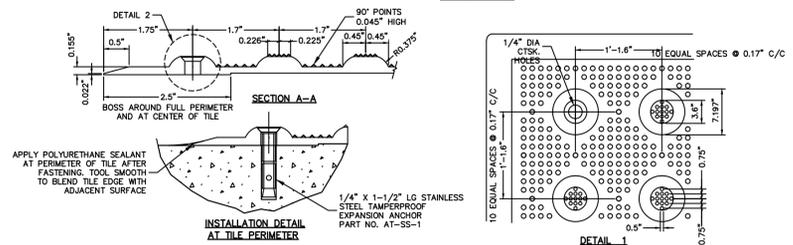


TRUNCATED DOMES DETAIL
NOT TO SCALE



SIDWALK 6" TURNDOWN DETAIL
NOT TO SCALE

NOTE: PROVIDE EXPANSION JOINTS AT EACH STRUCTURE, CURB, AND A MINIMUM INTERVAL OF 200 FEET.
NOTE: TRANSVERSE JOINTS BETWEEN EXPANSION JOINTS TO BE SCORED AT 5 FOOT INTERVALS.



SIDWALK DETAIL
NOT TO SCALE

NOTE: PROVIDE EXPANSION JOINTS AT EACH STRUCTURE, CURB, AND A MINIMUM INTERVAL OF 200 FEET.
NOTE: TRANSVERSE JOINTS BETWEEN EXPANSION JOINTS TO BE SCORED AT 5 FOOT INTERVALS.

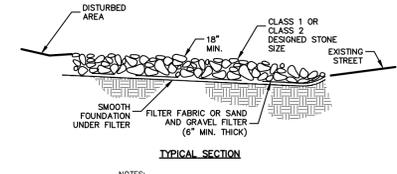
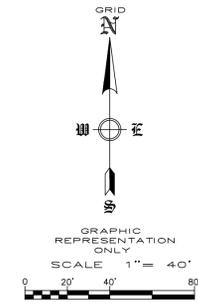
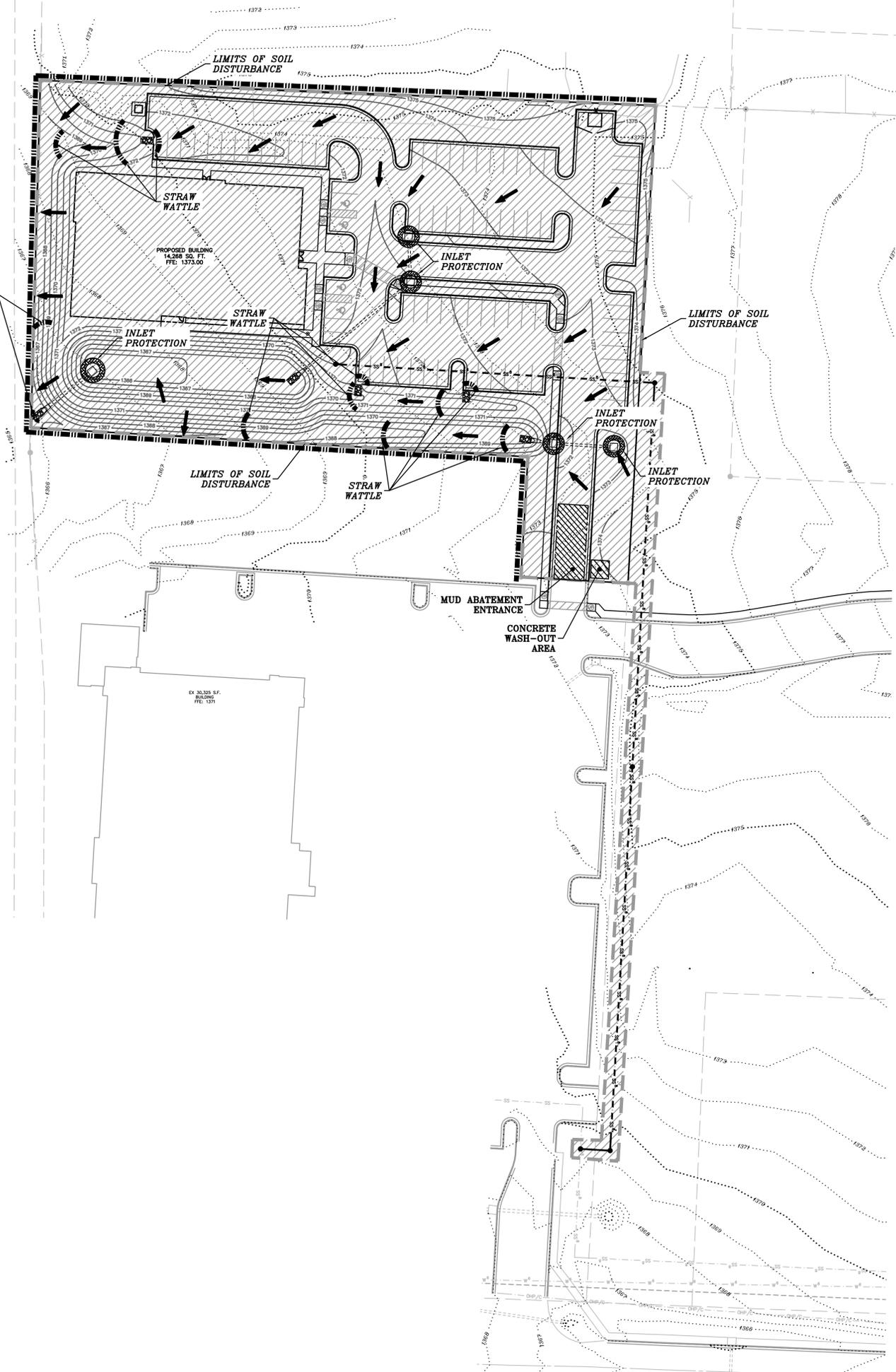
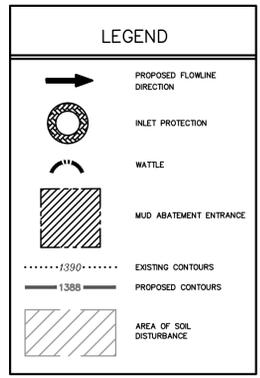


TYPICAL DETAILS
WACO TITLE
SPRINGDALE, ARKANSAS

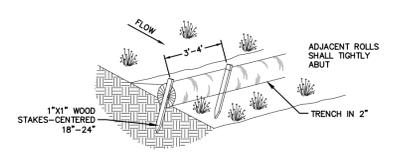
REVISION	DATE	DESCRIPTION

SCALE: N.T.S.
DATE: AUG. 2016
ENGINEER: TJA
DRAWN BY: JNK
W.O. #: 16945

REVISION	DATE	DESCRIPTION

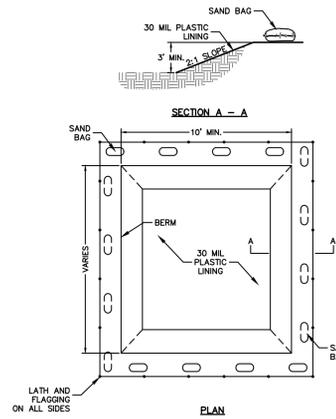


MUD ABATEMENT ENTRANCE
 NOT TO SCALE

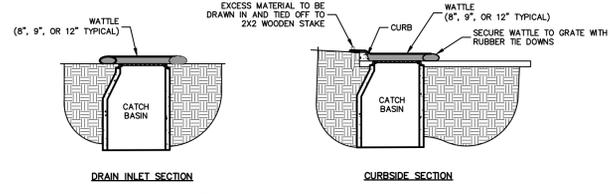
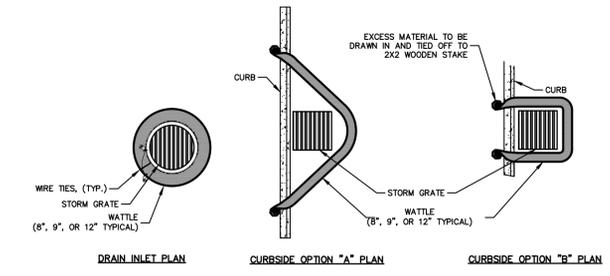


- INSTALLATION NOTES:**
- 1) WATTLES SHALL CONSIST OF STRAW, COMPOST, EXCELISOR, OR COCONUT FIBER.
 - 2) NOT FOR USE IN CONCENTRATED FLOW AREAS.
 - 3) THE WATTLES SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF TWO (2) INCHES.
 - 4) WATTLES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 - 5) ON SLOPES, WATTLES SHOULD BE INSTALLED ON CONTOUR WITH A SLIGHT UPWARD CURVE AT THE END OF THE ROW IN ORDER TO CREATE POOLING.
 - 6) RUNNING LENGTHS OF WATTLES SHOULD BE ABUTTED FIRMLY TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
 - 7) WHEN INSTALLING RUNNING LENGTHS OF WATTLES, BUTT THE SECOND WATTLE TIGHTLY AGAINST THE FIRST, DO NOT OVERLAP THE ENDS. STAKE THE WATTLES AT EACH END AND FOUR FEET ON CENTER.
 - 8) STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2-3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE. WHEN INSTALLING WATTLES ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.
 - 9) DRIVE THE FIRST END STAKE OF THE SECOND WATTLE AT AN ANGLE TOWARD THE FIRST WATTLE IN ORDER TO HELP ABUT THEM TIGHTLY TOGETHER.
 - 10) STAKING: THE CITY RECOMMENDS USING WOOD STAKES TO SECURE THE WATTLES. 2" TO 5/8" REBAR IS ALSO ACCEPTABLE WITH A SAFETY CAP. BE SURE TO USE A STAKE THAT IS LONG ENOUGH TO PROTRUDE SEVERAL INCHES ABOVE THE WATTLE.
 - 11) THE CONTRACTOR SHALL INSPECT WATTLES EVERY TWO WEEKS AND AFTER ANY SIGNIFICANT STORM EVENT AND MAKE SURE REPAIRS OR REMOVE SEDIMENT ACCUMULATED BEHIND WATTLE AS NECESSARY.
 - 12) SEDIMENT ACCUMULATED BEHIND WATTLE SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DIAMETER OF THE WATTLE.
 - 13) WATTLES SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND IS ACCEPTED BY THE CITY.

WATTLE DETAIL
 NOT TO SCALE



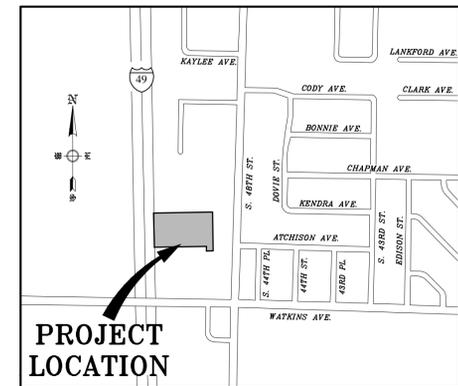
CONCRETE WASH-OUT AREA
 NOT TO SCALE



INLET PROTECTION
 NOT TO SCALE

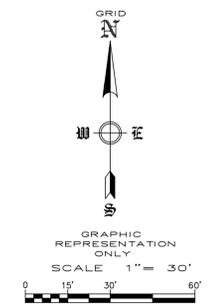
- NOTES:**
- 1) NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
 - 2) SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
 - 3) STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
 - 4) PLACE WATTLES ON ALL CURB INLETS.
- *WATTLES ARE USED AS ENERGY DISSIPATION DEVICES
 *SILT FENCE AND WATTLES ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE
 *SILT FENCE AND WATTLES MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED
- AREA OF SOIL DISTURBANCE: 2.48 ACRES

FLOOD PLAIN ZONING:
 THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 05143C0070 F, PANEL 70 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.



PROJECT LOCATION

VICINITY MAP
 NTS



DEVELOPER: OZARK GUIDANCE CENTER FOUNDATION
 PO BOX 6430
 SPRINGDALE, AR 72766-6430

ENGINEER: ENGINEERING SERVICES, INC.
 1207 S. OLD MISSOURI RD.
 P.O. BOX 282
 SPRINGDALE, AR 72765-0282

ZONING: C-2

NOTES:

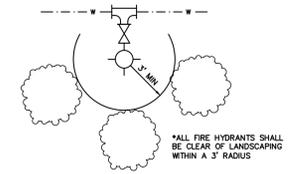
1. AUTOMATIC IRRIGATION OR HOSE BIBS SHALL BE INSTALLED FOR LANDSCAPED AREAS.
2. EDGING SHALL BE PLACED IN LANDSCAPE BEDS AS SHOWN ON PLANS.
3. SOIL SHALL BE AMENDED AND SOD REMOVED IN LANDSCAPE BEDS.
4. ORGANIC MULCH SHALL BE PLACED AROUND ALL TREES AND WITHIN ALL LANDSCAPE BEDS.
5. NOTE THE SIZE OF LANDSCAPE TREES AT TIME OF PLANTING.
6. WIRE BASKETS AND BURLAP TO BE REMOVED DURING TREE PLANTING.
7. ALL AREAS NOT TO BE SODDED SHALL BE SEEDED PER SPECIFICATIONS.
8. ALL TREES SHALL BE STAKED AS NECESSARY, PER DETAIL.

INTERIOR LANDSCAPE REQUIREMENTS:

TOTAL PARKING AREA PROVIDED: 33,394 SQ. FT.
 TOTAL INTERIOR LANDSCAPE REQUIRED: 2,672 SQ. FT. (8%)
 TOTAL INTERIOR LANDSCAPE PROVIDED: 4,453 SQ. FT. (13.33%)

INDEX OF TREES				
TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	SIZE
	RED BUD	Cercis canadensis	9	2" Cal B & B
	FLOWERING CRABAPPLE	Malus sp.	6	2" Cal B & B
	WATER OAK	Quercus nigra	8	2" Cal B & B
	CHINESE PISTACHE	Pistachia chinensis	7	2" Cal B & B

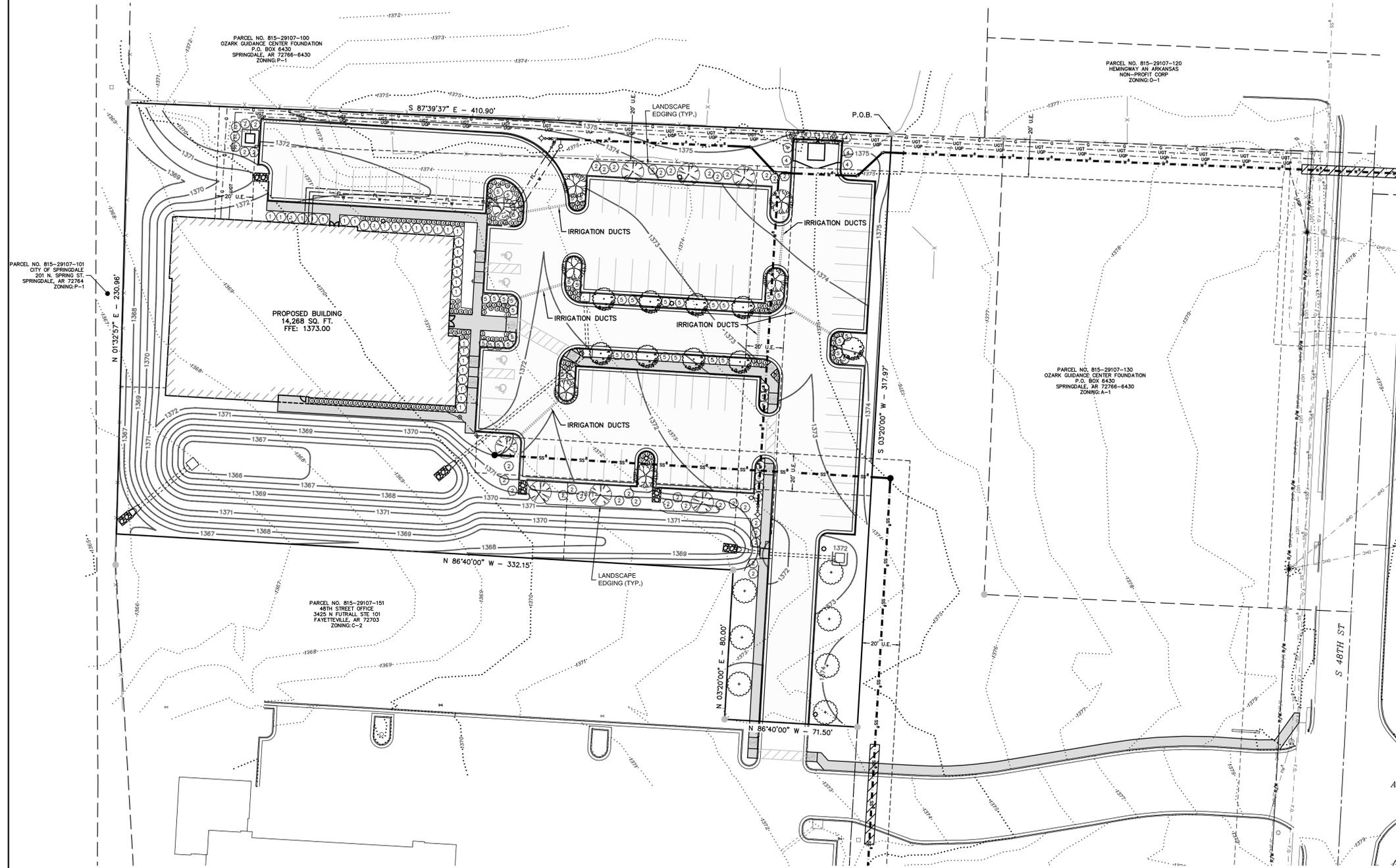
INDEX OF SHRUBS				
PLANT SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # PLANTS	SIZE
	DWARF YAUPON HOLLY	Ilex vomitoria	32	3 GAL.
	BLACKHAW VIBURNUM	Viburnum pruniflorum	40	5 GAL.
	LIRIOPE	Liriope sp.	162	3 GAL.
	CREPE MYRTLE	Lagerstroemia indica	9	5 GAL.
	BUMALD SPIREA	Spiraea 'x' bumalda	44	3 GAL.



TYPICAL FIRE HYDRANT CLEARANCE DETAIL

FLOOD PLAIN ZONING:

THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 0514300070 F, PANEL 70 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.



LANDSCAPE PLAN
WACO TITLE
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=30'
 DATE: AUG. 2016
 ENGINEER: TJA
 DRAWN BY: AWV
 W.O. #: 16945

Memo

To: Planning Commission
From: Staff
Date: September 6, 2016
RE: L16-17 Large Scale Development Tyson Shared Services

Concept of Detention

Planning Comments

1. Notice to all adjacent property owners must be sent by certified mail, return receipt requested at the time of resubmission. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, shall be submitted. Please return white mail receipts and affidavit to the Planning Office. Green return cards must be submitted to the Planning Office prior to the Planning Commission meeting or may be submitted at the meeting.
2. Submit the approved authorization or representation form, if the property owner will not be present at Planning Commission meeting.
3. Minimum distance between driveways on adjoining properties is fifty feet (50') and 150' on a single tract.
4. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

Engineering Comments

- 1) **The concept of detention must be approved by the Planning Commission.**

- 2) **DCM Section 5.4.10** *"An easement shall be provided in Plans for detention facilities. A minimum 20' wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system."* Ownership of the detention facility will remain with the land .

- 3) Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/departments/planning_and_community_development/

CONSTRUCTION PLANS FOR

LARGE SCALE DEVELOPMENT

TO SERVE

TYSON SHARED SERVICES, INC.

L 16-17

A COMMERCIAL DEVELOPMENT

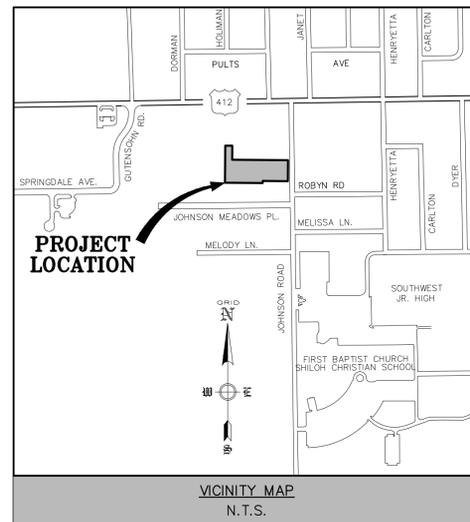
IN THE CITY OF

SPRINGDALE, ARKANSAS



CONTACT LIST	
BLACK HILLS ENERGY	
SCOTT STOKES -	479-575-1424
OZARKS ELECTRIC	
MIKE PHIPPS -	479-684-4696
SPRINGDALE WATER UTILITIES	
LARRY PECKHAM -	479-751-5751
COX COMMUNICATION	
CHRIS BYRD -	479-751-2000
AT&T	
LAYNE RHODES -	479-442-1977
SPRINGDALE FIRE DEPARTMENT	
DUANE MILLER -	479-750-8190

INDEX OF SHEETS	
SHEET No.	DESCRIPTION
1	LARGE SCALE DEVELOPMENT
2	STORM DRAINAGE PLAN
3	STORM & TYPICAL DETAILS
4	STORM WATER POLLUTION PREVENTION PLAN
5	LANDSCAPE PLAN



August 16, 2016

BY
ENGINEERING SERVICES INC.



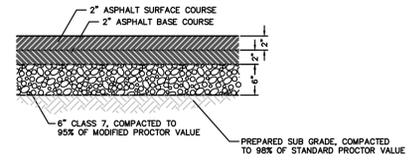
CONSULTING ENGINEERS
SPRINGDALE, ARKANSAS
PHONE: 479-751-8733
FAX: 479-751-8746
WWW.ENGINEERINGSERVICES.COM

REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF SPRINGDALE ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF SPRINGDALE RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

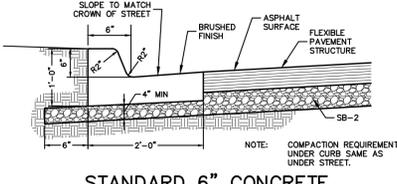
THOMAS J. APPEL, P.E. No. 13828
ENGINEERING SERVICES, INC.

NOTES :

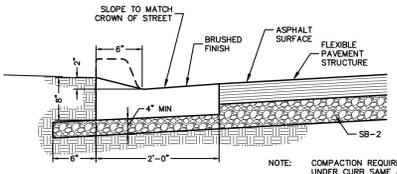
- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF SPRINGDALE, ARKANSAS, AS CONTAINED IN CHAPTER 110, ART. III, OF THE CODE OF ORDINANCES, CITY OF SPRINGDALE, ARKANSAS.



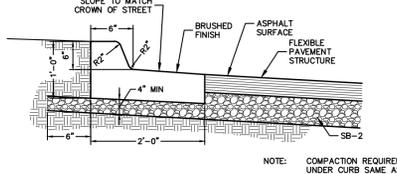
LIGHT DUTY PAVING



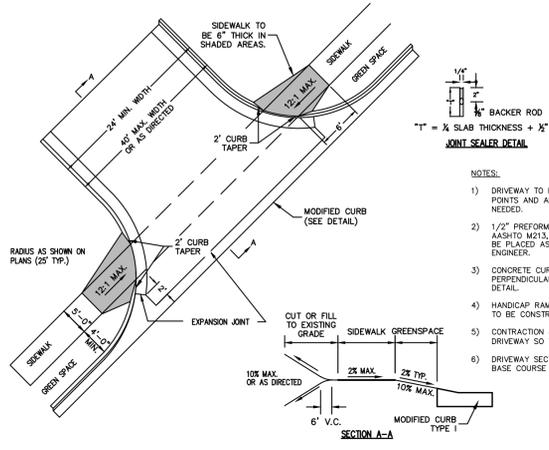
STANDARD 6" CONCRETE CURB & GUTTER



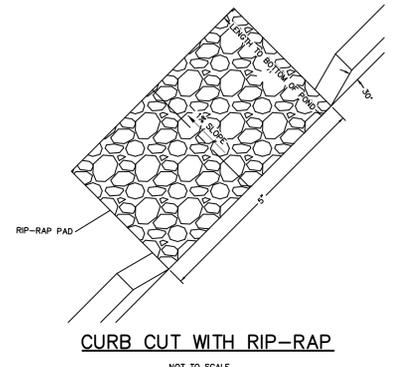
MODIFIED CONCRETE CURB & GUTTER



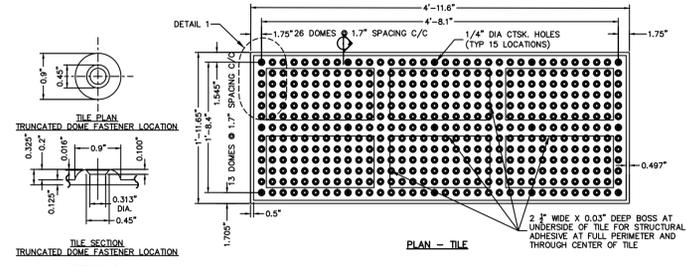
STANDARD 6" CONCRETE SPILL CURB & GUTTER



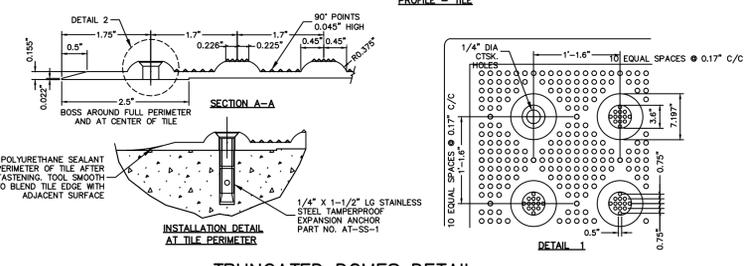
DRIVEWAY DETAIL



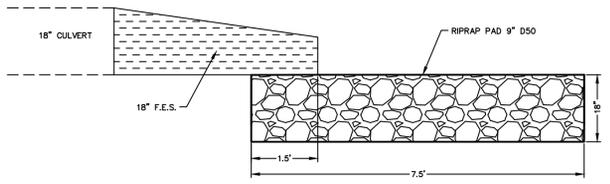
CURB CUT WITH RIP-RAP



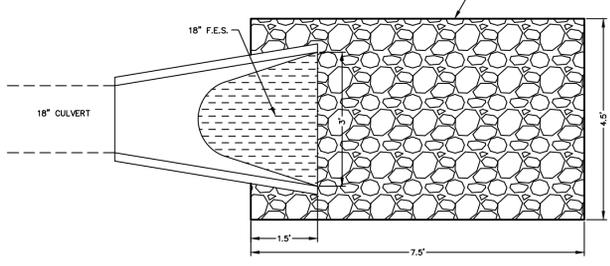
TRUNCATED DOMES DETAIL



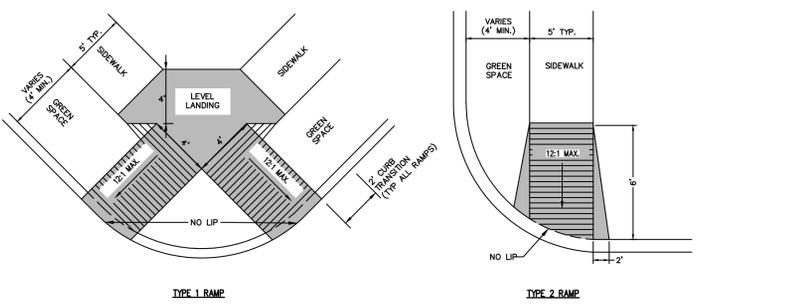
TRUNCATED DOMES DETAIL



18" CULVERT

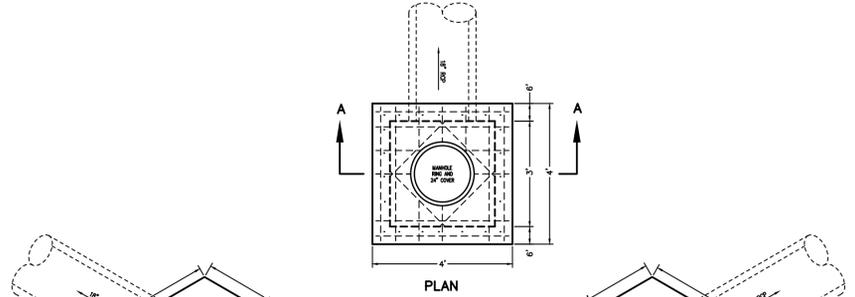


18" CULVERT

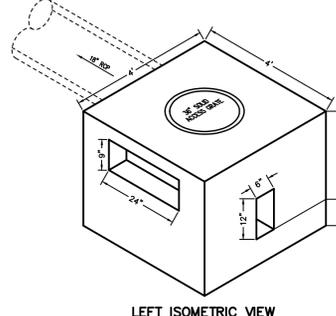


WHEELCHAIR RAMP DETAILS

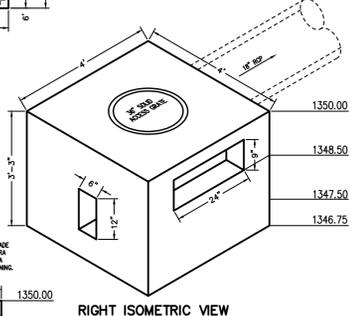
- NOTES:
- 1) THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
 - 2) THE NORMAL GUTTER SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 - 3) THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".



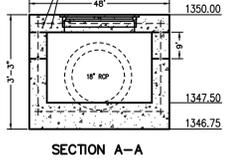
PLAN



LEFT ISOMETRIC VIEW

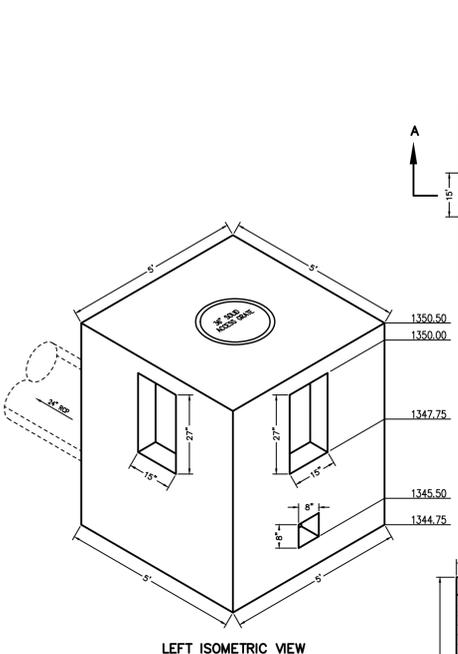


RIGHT ISOMETRIC VIEW

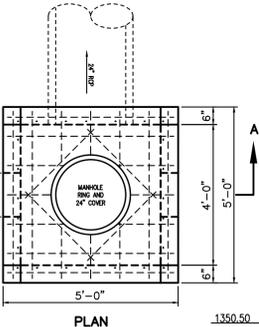


SECTION A-A

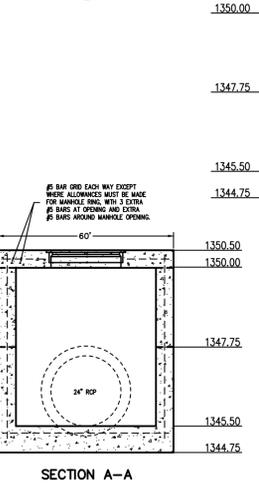
BIO-SWALE OUTLET STRUCTURE #1



LEFT ISOMETRIC VIEW

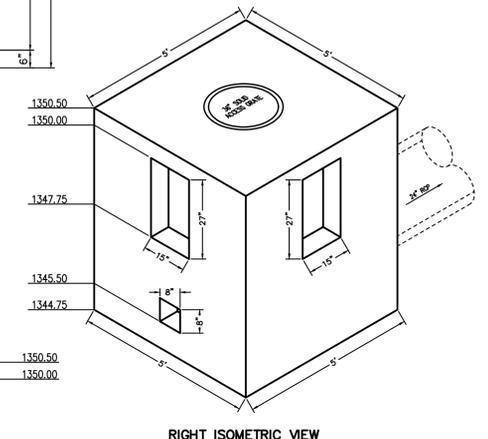


PLAN



SECTION A-A

DETENTION POND OUTFALL STRUCTURE #8



RIGHT ISOMETRIC VIEW

REVISION	DATE	DESCRIPTION

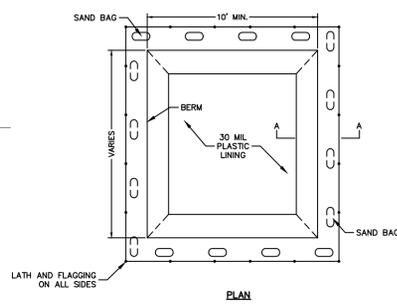
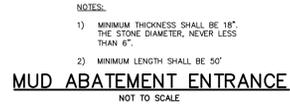
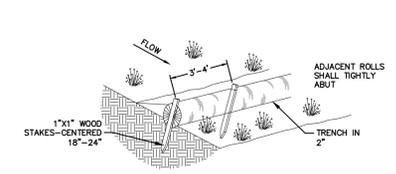
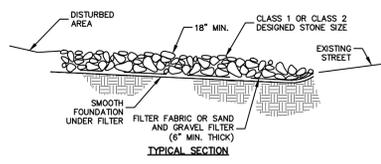
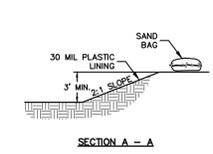
SCALE: N.T.S.
DATE: AUG 2016
ENGINEER: TJA
DRAWN BY: ---
W.O. #: 16952

LEGEND

- PROPOSED FLOWLINE DIRECTION
- EXISTING CONTOURS
- - - - - PROPOSED CONTOURS
- ▨ AREA OF SOIL DISTURBANCE
- ⊙ INLET PROTECTION

GRID
N
E
S
W

GRAPHIC REPRESENTATION ONLY
SCALE 1" = 20'
0 10' 20' 40'



- NOTES:**
- 1) LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.
 - 2) PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 30 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

- INSTALLATION NOTES:**
- 1) WATTLES SHALL CONSIST OF STRAW, COMPOST, EXCELISOR, OR COCONUT FIBER.
 - 2) NOT FOR USE IN CONCENTRATED FLOW AREAS.
 - 3) THE WATTLES SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF TWO (2) INCHES.
 - 4) WATTLES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 - 5) ON SLOPES, WATTLES SHOULD BE INSTALLED ON CONTOUR WITH A SLIGHT UPWARD CURVE AT THE END OF THE ROW IN ORDER TO CREATE PONDING.
 - 6) RUNNING LENGTHS OF WATTLES SHOULD BE ABUTTED FIRMLY TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
 - 7) WHEN INSTALLING RUNNING LENGTHS OF WATTLES, BUTT THE SECOND WATTLE TIGHTLY AGAINST THE FIRST, DO NOT OVERLAP THE ENDS. STAKE THE WATTLES AT EACH END AND FOUR FOOT ON CENTER.
 - 8) STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING 2-3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE. WHEN INSTALLING WATTLES ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.
 - 9) DRIVE THE FIRST END STAKE OF THE SECOND WATTLE AT AN ANGLE TOWARD THE FIRST WATTLE IN ORDER TO HELP ABUT THEM TIGHTLY TOGETHER.
 - 10) STAKING: THE CITY RECOMMENDS USING WOOD STAKES TO SECURE THE WATTLES. 1/2" TO 5/8" REBAR IS ALSO ACCEPTABLE WITH A SAFETY CAP. BE SURE TO USE A STAKE THAT IS LONG ENOUGH TO PROTRUDE SEVERAL INCHES ABOVE THE WATTLE.
 - 11) THE CONTRACTOR SHALL INSPECT WATTLES EVERY TWO WEEKS AND AFTER ANY SIGNIFICANT STORM EVENT AND MAKE SURE REPAIRS OR REMOVE SEDIMENT ACCUMULATED BEHIND WATTLE AS NECESSARY.
 - 12) SEDIMENT ACCUMULATED BEHIND WATTLE SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DIAMETER OF THE WATTLE.
 - 13) WATTLES SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND IS ACCEPTED BY THE CITY.

NOTE:
NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGDALE.

WITHIN 40 DAYS OF PLACEMENT OF CURBS, THEY SHALL BE BACKFILLED, FINE GRADED WITH A MINIMUM OF 4-INCHES OF TOPSOIL, AND HYDROMULCHED OR SODDED WITH PERMANENT GRASSES.

ALL DISTURBED AREAS, THAT ARE NOT PAVED, SHALL BE TOPSOILED, SEEDED AND STRAWED UNTIL GRASS IS ESTABLISHED.

CONSTRUCTION SEQUENCE:

- 1.) INSTALL EROSION CONTROL.
- 2.) STRIP EXISTING TOP SOIL.
- 3.) PREPARE SUB-GRADE AND BASE MATERIAL.
- 4.) POUR CONCRETE AND ASPHALT.
- 5.) FINAL GRADING AND ESTABLISH VEGETATION.

NOTES:

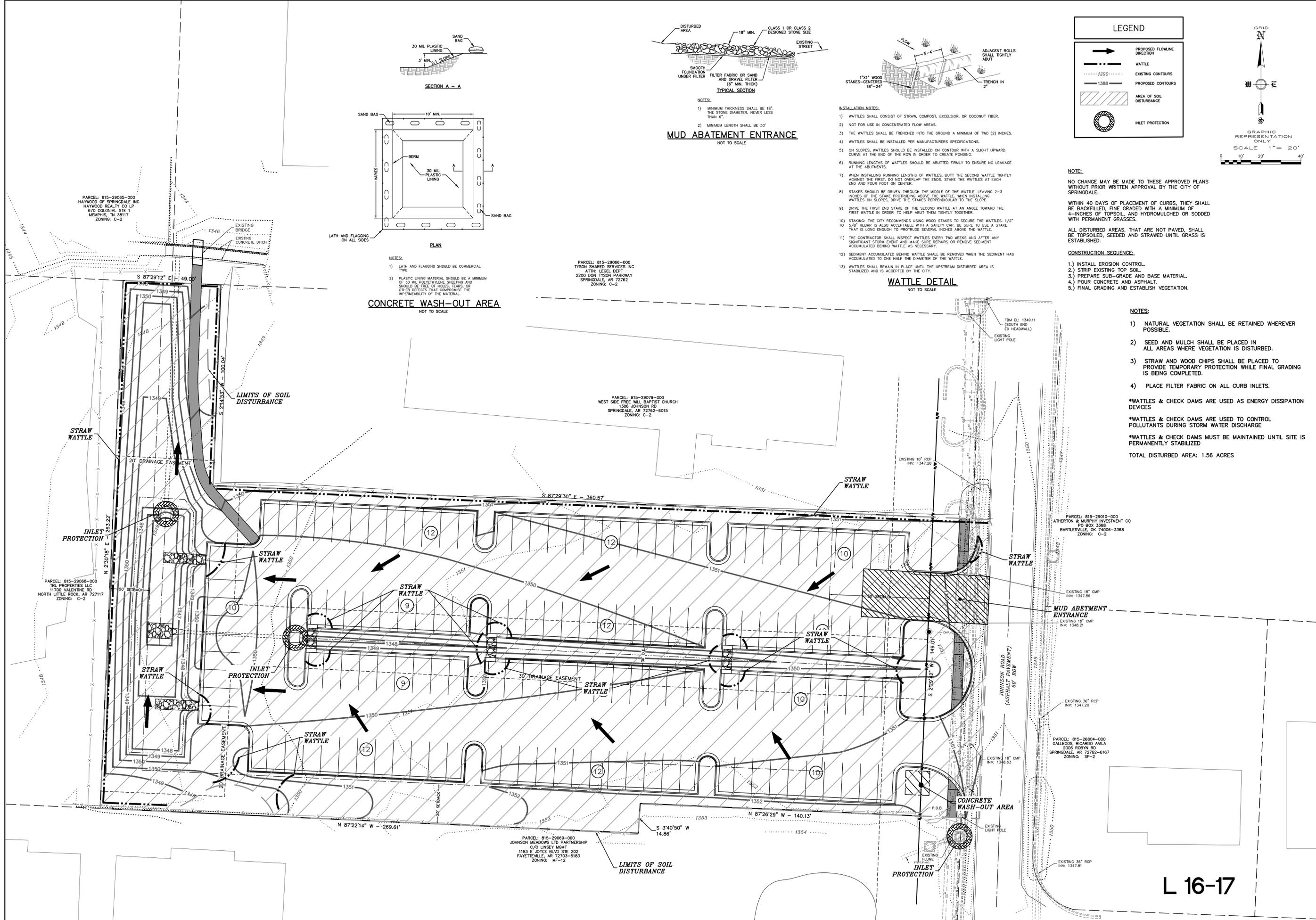
- 1) NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
- 2) SEED AND MULCH SHALL BE PLACED IN ALL AREAS WHERE VEGETATION IS DISTURBED.
- 3) STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
- 4) PLACE FILTER FABRIC ON ALL CURB INLETS.

*WATTLES & CHECK DAMS ARE USED AS ENERGY DISSIPATION DEVICES

*WATTLES & CHECK DAMS ARE USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE

*WATTLES & CHECK DAMS MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED

TOTAL DISTURBED AREA: 1.56 ACRES



STORM WATER POLLUTION PREVENTION PLAN
TYSON SHARED SERVICES, INC.
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: AUG 2016
ENGINEER: TJA
DRAWN BY: DLB
W.O. #: 16952

L 16-17

LANDSCAPING NOTES:

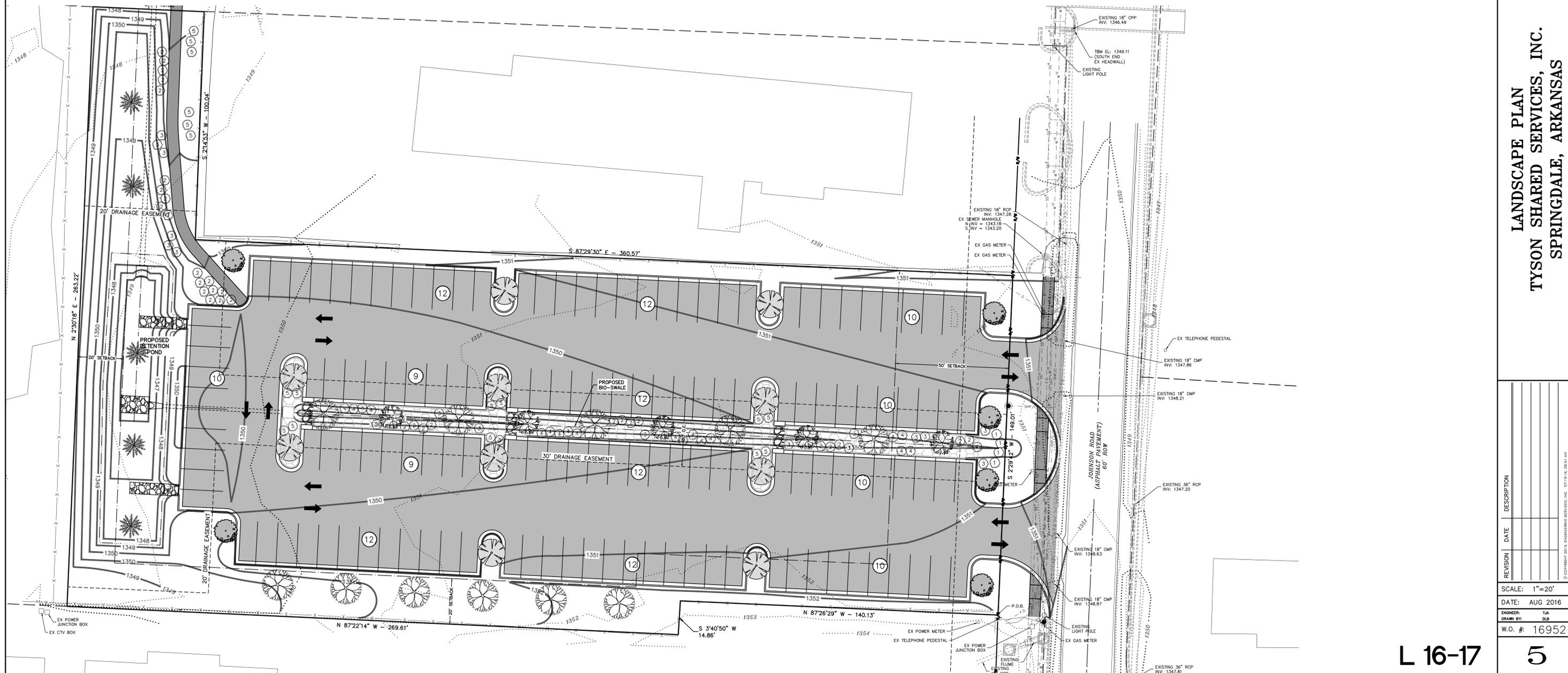
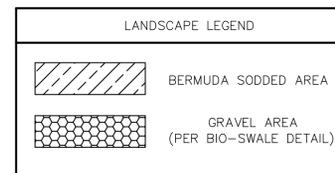
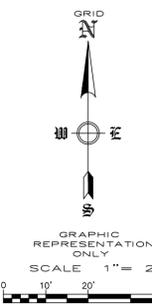
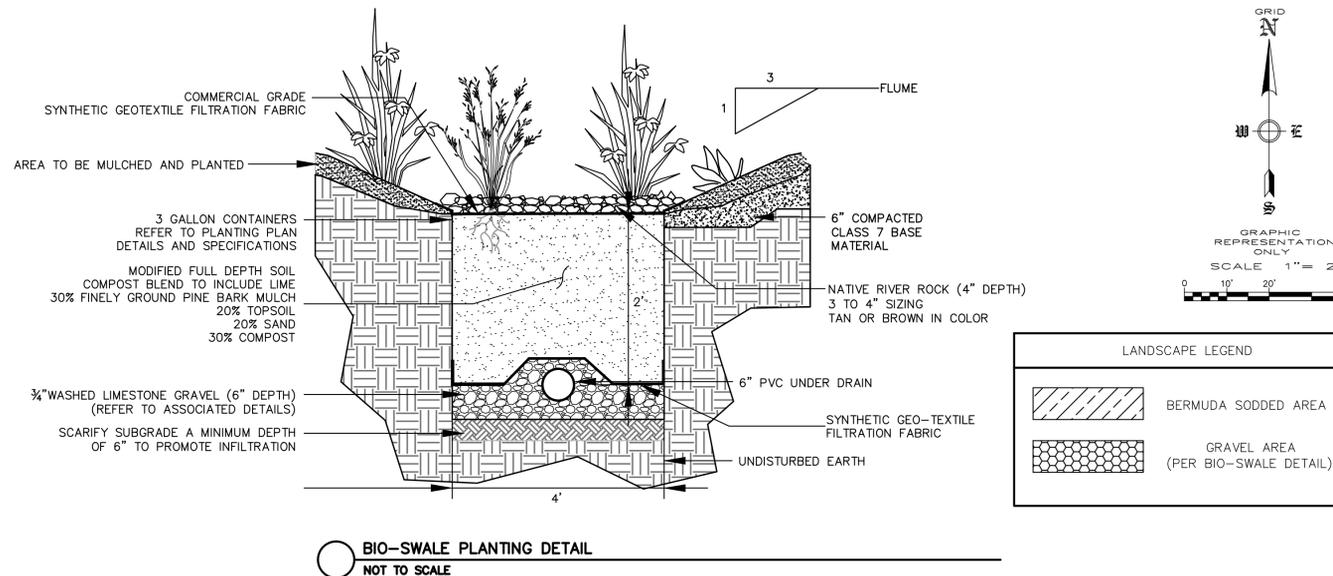
1. ALL LANDSCAPING SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CITY OF SPRINGDALE LANDSCAPE ORDINANCE # 3306.
2. ALL TREES, SHRUBS, AND PLANTS USED IN THE PROPOSED LANDSCAPING SHALL BE SELECTED BY THE OWNER FROM THE RECOMMENDED LISTS IN SAID LANDSCAPE ORDINANCE # 3306.
3. ALL TREES TO BE MINIMUM 8" TALL WITH MINIMUM 2" CALIPER
4. LANDSCAPING SHALL BE GUARANTEED FOR TWO YEARS.
5. AN AUTOMATIC SPRINKLER SYSTEM OR HOSE BIBS SHALL BE INSTALLED TO MEET LANDSCAPING REQUIREMENTS.
6. ALL LANDSCAPING AREAS TO BE DRESSED WITH 4" OF PINE BARK MULCH AFTER INSTALLATION, UNLESS OTHERWISE NOTED.
7. ALL DISTURBED AREAS OUTSIDE OF LANDSCAPE BEDS OR DESIGNATED BIO-SWALE AREAS TO BE SOODED.
8. METAL EDGING TO BE PLACED AROUND ALL PLANTING BEDS, AS SHOWN ON PLANS.

INTERIOR PARKING LOT LANDSCAPING PROVIDED:

TOTAL REQUIRED: 8% OF TOTAL PARKING LOT AREA = 3,297 SQ. FT.
 TOTAL PROVIDED = 5,273 SQ. FT.
 PARKING LOT AREA: 41,218 SQ. FT. TOTAL
 TOTAL AREA OF LOT: 5,273 / 41,218 = 12.80 %

INDEX OF TREES				
TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	SIZE
	WATER OAK	Quercus nigra	11	2" CAL 8' MIN
	RED BUD	Cercis canadensis	6	2" CAL 8' MIN
	SWEETGUM	Liquidambar styraciflua	5	2" CAL 8' MIN
	CHINESE PISTACHE	Pistachia chinensis	10	2" CAL 8' MIN
	BALD CYPRESS	Taxodium distichum	5	2" CAL 8' MIN

INDEX OF PLANTS				
PLANT SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # PLANTS	SIZE
①	GREY OWL JUNIPER	Juniperus virginiana 'Grey Owl'	4	3 GAL.
②	PRAIRIE DROPSEED	Sporobolus heterolepis	33	1 GAL.
③	RED TWIGGED DOGWOOD	Cornus stolonifera	17	3 GAL.
④	SWITCH GRASS	Panicum virgatum	18	1 GAL.
⑤	WINTERTHUR VIBURNUM	Viburnum nudum 'Winterthur'	18	5 GAL.



LANDSCAPE PLAN
TYSON SHARED SERVICES, INC.
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
 DATE: AUG 2016
 ENGINEER: TJA
 DRAWN BY: DLR
 W.O. #: 16952

L 16-17

5

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File #

B16-56

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Tyson Shared Services, Inc.

Applicant's Mailing Address:

P.O. Box 2020, CP631

479-290-4000

Street Address or P.O. Box

Telephone Number

Springdale, AR 72765-2020

City, State & Zip Code

Property Owner's Name

(If different from Applicant): _____

Property Owner's Mailing Address:

(If different from Applicant): _____

Street Address or P.O. Box

Telephone Number

City, State & Zip Code

Address of Variance Request: Located west of Johnson Rd, 600'.S of HWY 412

Zoning District: C-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor

or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Minimum distance between drives on a single tract. Chapter 130 - Article 7. Section 11.2.g

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

There are two existing drives on-site, which are desired to be improved for the

proposed parking lot.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

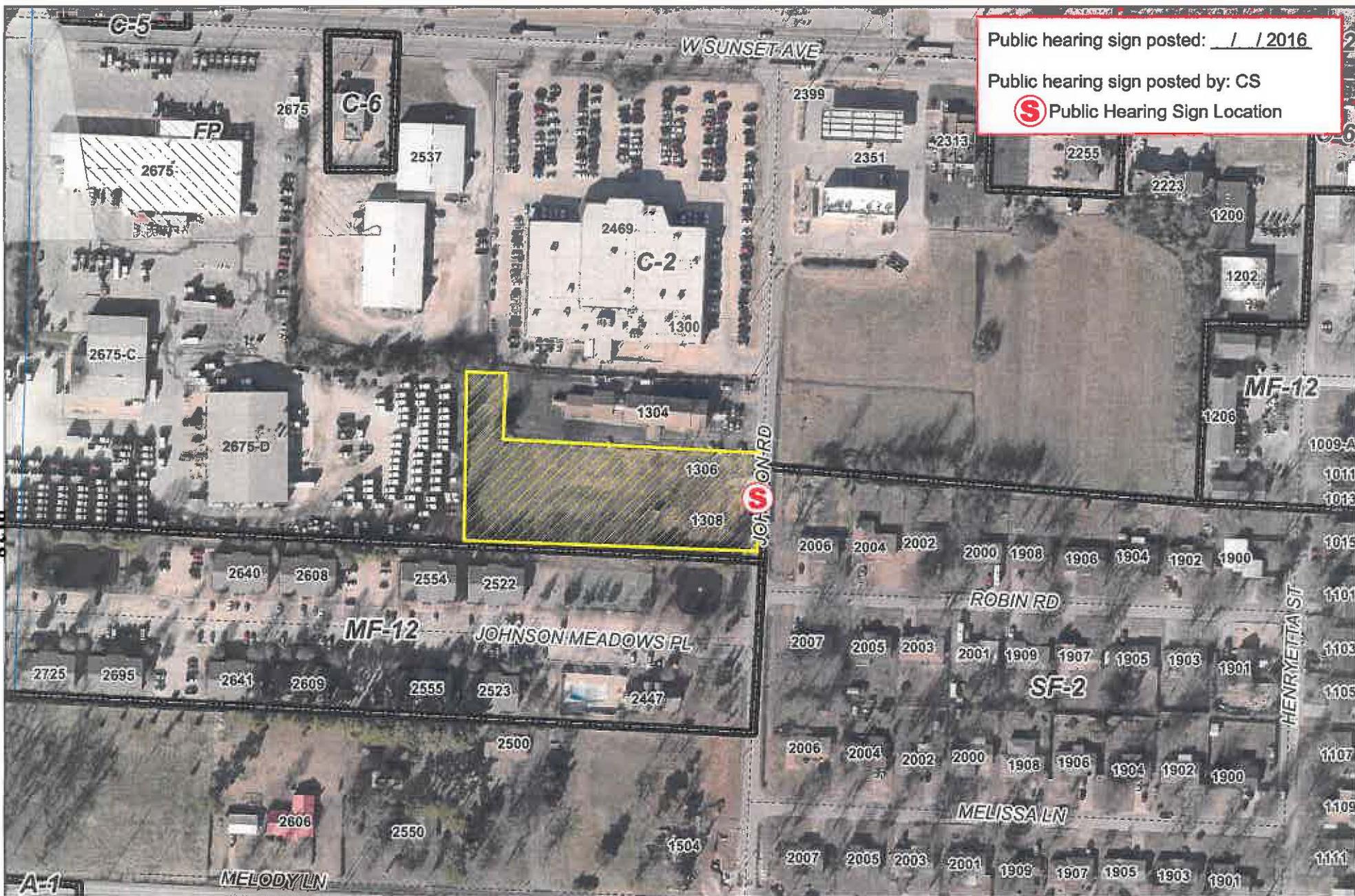
There are two existing drives on-site, which are desired to be utilized for the proposed

parking lot.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

There are two driveways on the property currently off of Johnson. The desire is to

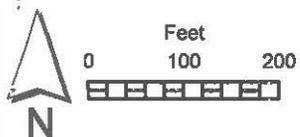
improve these drives in such a way as to work with the proposed parking lot.



Public hearing sign posted: 1 / 1 / 2016
 Public hearing sign posted by: CS
 (S) Public Hearing Sign Location

FILE NO. B16-56
APPLICANT: TYSON SHARED SERVICES
VARIANCE REQUEST:
DISTANCE BETWEEN DRIVES

CITY OF SPRINGDALE
PLANNING OFFICE
 PLANNING COMMISSION MEETING
 SEPTEMBER 6, 2016



Memo

To: Planning Commission
From: Staff
Date: September 6, 2016
RE: L16-18 Large Scale Development Huntsville & Pleasant
Maple & Kansas

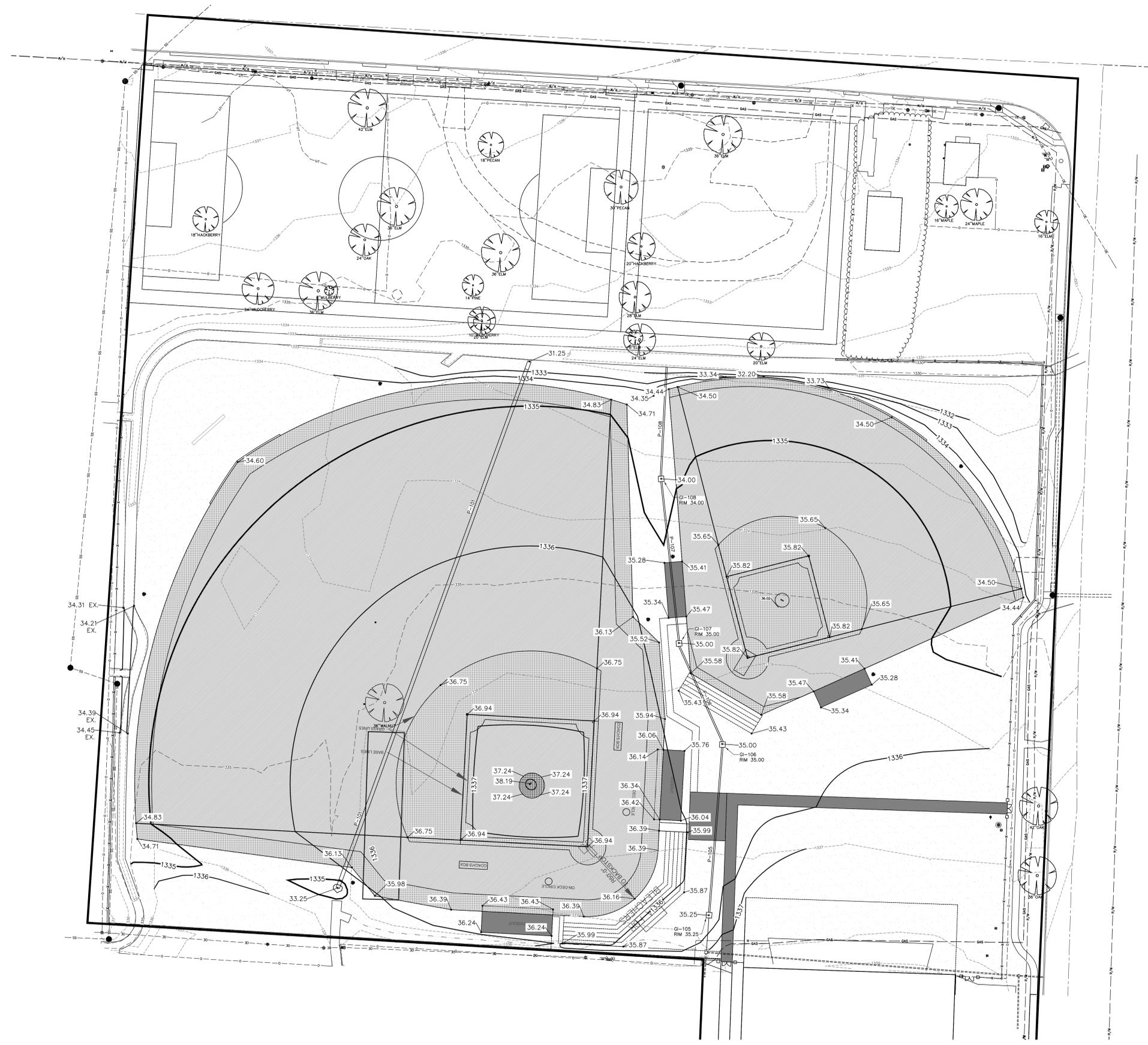
Variance (B16-54) for modification of landscaping requirement per Chapter 56
Variance (B16-54) to allow existing overhead wires to remain as is
Waiver (W16-12) for sidewalk and street light requirement

Planning Comments

1. Submit a copy of the Warranty deed.
2. Show the typical dimensions for regular parking, (9' x 19').
3. A screening fence is required in accordance with Chapter 56. Show trees associated with screen.
4. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. Show location and the State Plane Coordinates (NAD 83, Feet) for each streetlight.
5. The developer is required to dedicate right-of-way of an abutting street in conformance with the City of Springdale Master Street Plan. A separate dedication document shall be submitted to the City for filing.
6. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
7. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above.

Engineering Comments

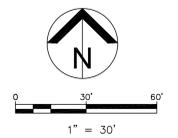
- 1) **Sect 112-8(i)** Need to show
 - a. Location of existing and proposed streetlights. *Pending waiver approval.*
- 2) **Sects 110-31(a)** Sidewalks are required one-foot (1') inside the right-of-way line. Sidewalks are required along Maple St and Kansas St. *Pending waiver approval.*
- 3) **Sect 112-4** Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. *Pending waiver approval.*
- 4) **Sect 107** The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at http://www.springdalear.gov/department/planning_and_community_development/



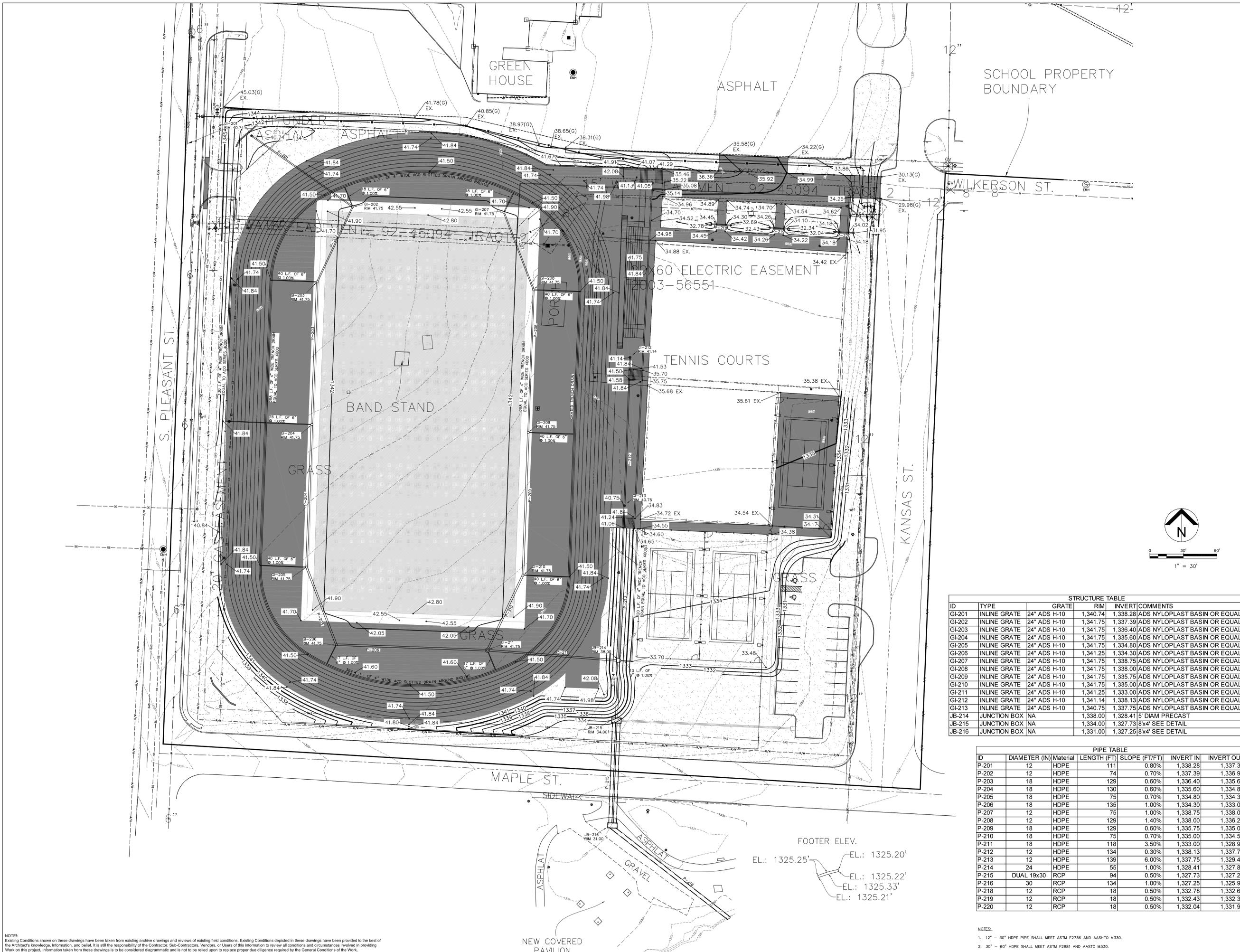
DRAINAGE TABLES FOR NORTH NEW BALL FIELDS (Sheet C6)

PIPE TABLE						
ID	DIAMETER (IN)	MATERIAL	LENGTH (FT)	SLOPE (FT/FT)	INVERT IN	INVERT OUT
P-101	19x30	RCP	400	0.50%	1333.25	1331.25
P-105	15	HDPE	123	0.50%	1,332.69	1,332.09
P-106	15	HDPE	79	0.50%	1,332.09	1,331.72
P-107	15	HDPE	119	0.50%	1,331.72	1,331.14
P-108	15	HDPE	80	0.50%	1,331.14	1,330.75

STRUCTURE TABLE					
ID	TYPE	GRATE	RIM	INVERT	COMMENTS
GI-105	INLINE GRATE	24" ADS H-10	1335.25	1332.69	ADS NYLOPLAST BASIN OR EQUAL
GI-106	INLINE GRATE	24" ADS H-10	1335.00	1332.09	ADS NYLOPLAST BASIN OR EQUAL
GI-107	INLINE GRATE	24" ADS H-10	1335.00	1331.72	ADS NYLOPLAST BASIN OR EQUAL
GI-108	INLINE GRATE	24" ADS H-10	1334.00	1331.14	ADS NYLOPLAST BASIN OR EQUAL



NOTE:
Existing Conditions shown on these drawings have been taken from existing archive drawings and reviews of existing field conditions. Existing Conditions depicted in these drawings have been provided to the best of the Architect's knowledge, information, and belief. It is the responsibility of the Contractor, Sub-Contractors, Vendors, or Users of this information to review all conditions and circumstances involved in providing Work on this project. Information taken from these drawings is to be considered diagrammatic and is not to be relied upon to replace proper due diligence required by the General Conditions of the Work.



STRUCTURE TABLE

ID	TYPE	GRATE	RIM	INVERT	COMMENTS
GI-201	INLINE GRATE	24" ADS H-10	1,340.74	1,338.28	ADS NYLOPLAST BASIN OR EQUAL
GI-202	INLINE GRATE	24" ADS H-10	1,341.75	1,337.39	ADS NYLOPLAST BASIN OR EQUAL
GI-203	INLINE GRATE	24" ADS H-10	1,341.75	1,336.40	ADS NYLOPLAST BASIN OR EQUAL
GI-204	INLINE GRATE	24" ADS H-10	1,341.75	1,335.60	ADS NYLOPLAST BASIN OR EQUAL
GI-205	INLINE GRATE	24" ADS H-10	1,341.75	1,334.80	ADS NYLOPLAST BASIN OR EQUAL
GI-206	INLINE GRATE	24" ADS H-10	1,341.75	1,334.00	ADS NYLOPLAST BASIN OR EQUAL
GI-207	INLINE GRATE	24" ADS H-10	1,341.75	1,333.20	ADS NYLOPLAST BASIN OR EQUAL
GI-208	INLINE GRATE	24" ADS H-10	1,341.75	1,332.40	ADS NYLOPLAST BASIN OR EQUAL
GI-209	INLINE GRATE	24" ADS H-10	1,341.75	1,331.60	ADS NYLOPLAST BASIN OR EQUAL
GI-210	INLINE GRATE	24" ADS H-10	1,341.75	1,330.80	ADS NYLOPLAST BASIN OR EQUAL
GI-211	INLINE GRATE	24" ADS H-10	1,341.25	1,330.00	ADS NYLOPLAST BASIN OR EQUAL
GI-212	INLINE GRATE	24" ADS H-10	1,341.14	1,329.20	ADS NYLOPLAST BASIN OR EQUAL
GI-213	INLINE GRATE	24" ADS H-10	1,340.75	1,328.40	ADS NYLOPLAST BASIN OR EQUAL
JB-214	JUNCTION BOX	NA	1,338.00	1,328.41	5" DIAM PRECAST
JB-215	JUNCTION BOX	NA	1,334.00	1,327.73	8x4' SEE DETAIL
JB-216	JUNCTION BOX	NA	1,331.00	1,327.26	8x4' SEE DETAIL

PIPE TABLE

ID	DIAMETER (IN)	Material	LENGTH (FT)	SLOPE (FT/FT)	INVERT IN	INVERT OUT
P-201	12	HDPE	111	0.80%	1,338.28	1,337.39
P-202	12	HDPE	74	0.70%	1,337.39	1,336.60
P-203	18	HDPE	129	0.60%	1,336.40	1,335.60
P-204	18	HDPE	130	0.60%	1,335.60	1,334.80
P-205	18	HDPE	75	0.70%	1,334.80	1,334.00
P-206	18	HDPE	135	1.00%	1,334.00	1,333.00
P-207	12	HDPE	75	1.00%	1,333.00	1,332.00
P-208	12	HDPE	129	1.40%	1,332.00	1,330.80
P-209	18	HDPE	129	0.60%	1,331.60	1,330.80
P-210	18	HDPE	75	0.70%	1,330.80	1,330.00
P-211	18	HDPE	118	3.50%	1,330.00	1,328.90
P-212	12	HDPE	134	0.30%	1,329.20	1,328.41
P-213	12	HDPE	139	6.00%	1,328.41	1,327.83
P-214	24	HDPE	55	1.00%	1,328.41	1,327.83
P-215	DUAL 19x30	RCP	94	0.50%	1,327.73	1,327.25
P-216	30	RCP	134	1.00%	1,327.25	1,325.93
P-218	12	RCP	18	0.50%	1,327.73	1,327.25
P-219	12	RCP	18	0.50%	1,327.25	1,326.77
P-220	12	RCP	18	0.50%	1,326.77	1,326.29

NOTES:
1. 12" - 30" HDPE PIPE SHALL MEET ASTM F2736 AND AASHTO M330.
2. 30" - 60" HDPE SHALL MEET ASTM F2881 AND AASHTO M330.

NOTE:
Existing Conditions shown on these drawings have been taken from existing archive drawings and reviews of existing field conditions. Existing Conditions depicted in these drawings have been provided to the best of the Architect's knowledge, information, and belief. It is the responsibility of the Contractor, Sub-Contractors, Vendors, or Users of this information to review all conditions and circumstances involved in providing Work on this project. Information taken from these drawings is to be considered diagrammatic and is not to be relied upon to replace proper due diligence required by the General Conditions of the Work.

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # BK-54

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Springdale School District No. 50

Applicant's Mailing Address:

400 W. Johnson
Street Address or P.O. Box
Springdale, AR 72764
City, State & Zip Code

479-750-8800
Telephone Number

Property Owner's Name
(If different from Applicant): Springdale School District No.50

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

City, State & Zip Code

Telephone Number

Address of Variance Request: NE corner of Maple and Kansas Streets

Zoning District: P-1 Institutional District

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten

(10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

1) Variance is requested from Section 56-38 – Screening of the Commercial Design Standards and Landscape Standards: Required screening fence and trees associated with fence. *Chapter 56*

2) Variance is requested from Section 110-31 - required sidewalks inside right-of-way along Maple Street and Kansas Street.

3) Variance is requested from Section Sec. 112-4 – required streetlights at intersections and along street at intervals of 300-350’.

4) Variance is requested from Section 112-16 – required placing existing utility wires underground.

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**
 - 1) **Variance is requested from Section 56-38 – Screening of the Commercial Design Standards and Landscape Standards: Required screening fence and trees associated with fence.**
 - a) **The north athletic fields are currently grass athletic play fields and will remain so thus the effect on neighbors has not changed and screening will not provide a noticeable difference to the public.**
 - b) **The south athletic fields have an existing public park to the south and a regional trail is planned for all bordering streets. The owner believes any screening of this open space would have an adverse effect for the public using the park or trail.**
 - 2) **Variance is requested from Section 110-31 required sidewalks inside right-of-way along Maple Street and Kansas Street. A regional trail is planned for all bordering streets. The owner believes it would be a inefficient use of public funds to construct a sidewalk on these streets to then remove them for the installation of the trail.**
 - 3) **Variance is requested from Section Sec. 112-4 – required streetlights at intersections and along street at intervals of 300-350'. This development will not increase traffic on local streets beyond current levels and installation of lights and will not provide a noticeable difference to the public.**
 - 4) **Variance is requested from Section 112-16 – required placing existing utility wires underground. Currently, existing utilities are above ground for a majority of these streets. This development will not improve the local street aesthetics nor will not provide a noticeable difference to the public.**

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

1) ***The design of these athletic fields is similar to though less developed than all city parks with athletic playfields. Most of these parks do not have screening fencing, associated trees, and perimeter sidewalks on all sides, utilities are above ground and street lighting is inconsistently provided.***

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary).**

1) ***Springdale School District is striving to provide equitable facilities at all campuses but will not receive State Academic Facility Partnership Funding from the State of Arkansas for this project. The site conditions (public streets, utilities right-of-ways, location in an established urban area) combine to make this a very confined and challenging location for the student focused athletic play fields when compared to those at other campuses. Any required additional conditions will be hardship for the Owner without any noticeable difference to the public.***

2) That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.

3) That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.

4) That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.


Applicant Signature*

Property Owner Signature*
(If different from Applicant)

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

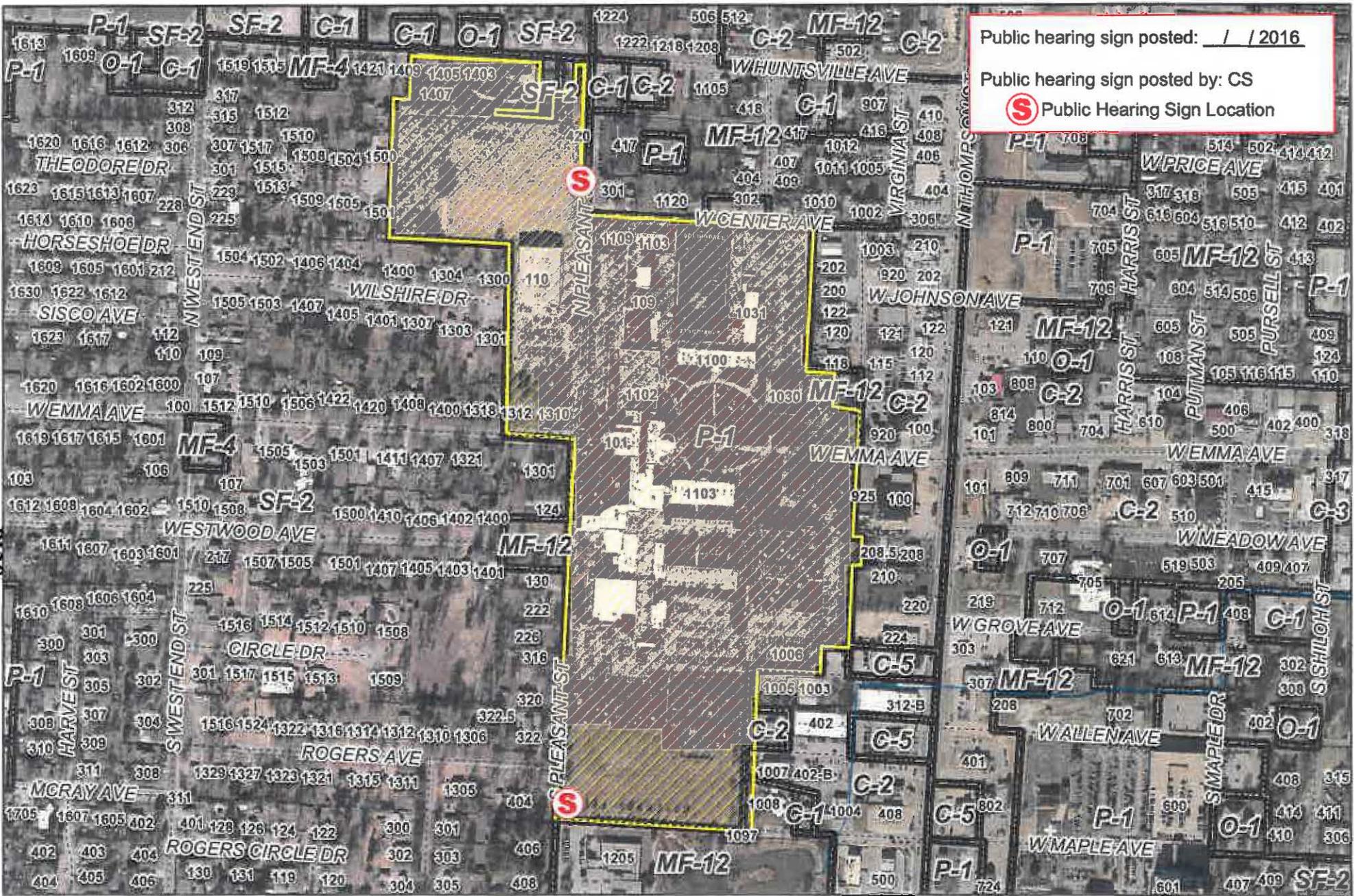
*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 16 day of August, 2016.

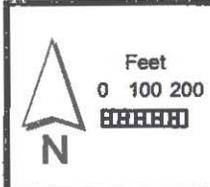

Notary Public

Erin N Holloway
Notary Public
Washington County - Arkansas
Commission # 12379874
Expires: 12/7/2020



Public hearing sign posted: / / 2016
 Public hearing sign posted by: CS
 S Public Hearing Sign Location

P138



FILE NO. B16-54
APPLICANT: SPRINGDALE SCHOOL DISTRICT
VARIANCE REQUEST:
LANDSCAPING REQUIREMENTS; UTILITIES

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016



McGoodwin Williams & Yates
Engineering Confidence

August 17th, 2016

Ms. Patsy Christie
Planning Office
City Administration Building
201 Spring Street
Springdale, Arkansas 72764

Re: Request for Waiver
LSD Plan No. L16-18
Springdale School District No.50
Springdale High School, Athletic Fields

Dear Patsy,

On behalf of the Springdale School District, and at the request of the School and Wittenberg, Delony and Davidson, Architects Inc., (the District's Architects) we are submitting a request for Waiver of Sidewalks (Sect 110-31 (a)) and Street Lighting (Section 112-4) improvements to the City of Springdale standards at the proposed High School Athletic Projects.

The School District is requesting a Waiver of these standards for Pleasant Street, Maple Street and Kansas Street:

Section 110-31. A regional trail is planned for these bordering Streets. The Owner believes it would be an inefficient use of school funding to construct a sidewalk on these streets only to have them removed for the installation of the trails.

Section 112-4. There are existing streetlights on adjacent properties and at intersections. The improvement of existing athletic facilities at these sites will not increase traffic on local streets beyond current levels and installation of lights will not provide a noticeable difference to the public.

If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

Christopher B. Brackett, P. E.
Project Manager/Engineer

CBB:cb

Cc: Dr. Jared Cleveland, Springdale School District
Mr. Brad Chilcote, AIA; Wittenberg, Delony and Davidson, Architects Inc.

302 E. Millsap Road • Fayetteville, AR 72703-4098

479-443-3404

479-443-4340 • WWW.MWYUSA.COM

PI39

W16-12

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B16-52

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Cypress Investments LLC.

Applicant's Mailing Address:

1327 Elm Spring Rd 479-957-1959
Street Address or P.O. Box Telephone Number
Springdale, AR
City, State & Zip Code

Property Owner's Name Cypress Investments, LLC
(If different from Applicant): Tom + Robin Lundstrom

Property Owner's Mailing Address:
(If different from Applicant):

Same 479-957-1959
Street Address or P.O. Box Telephone Number

City, State & Zip Code

Address of Variance Request: 1008 Clayton Street

Zoning District: _____

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor

- or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.
6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required:	Front: _____	Side: _____	Back: _____
<small>(This is the minimum required by the Springdale Code of Ordinance)</small>			
Requested:	Front: <u> </u>	Side: <u> </u>	Back: _____
<small>(if granted what the setback would be.)</small>			
Variance:	Front: _____	Side: _____	Back: _____
<small>(The difference between the "Required" and the "Requested" setback)</small>			

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

VARIANCE Request for Screening
Equipment, use has not changed

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):

Conditions/Use has not changed.

* AWARE of CROSS ISSUE which has been addressed

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):

Ordinance has changed while use of building & fence area has not changed.

3. That the special conditions and circumstances do not result from the actions of the applicant. Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):

No changes on property - ordinance has changed

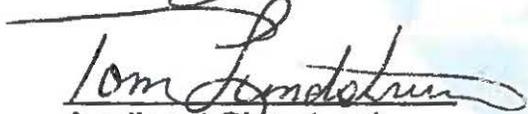
4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

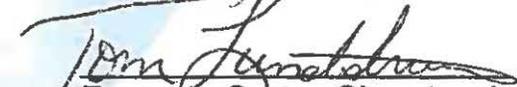
VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.


Applicant Signature*


Property Owner Signature*
(If different from Applicant)

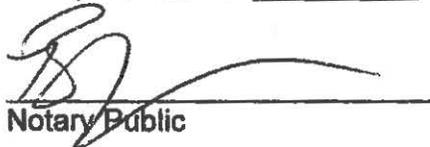

Applicant Signature*


Property Owner Signature*
(If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

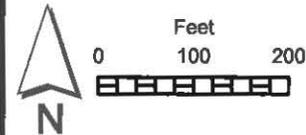
State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 12th day of JULY, 2016.


Notary Public

BRIAN JAMES MOORE
WASHINGTON COUNTY
NOTARY PUBLIC - ARKANSAS
My Commission Expires October 01, 2017
Commission No. 12346378

Public hearing sign posted: / / 2016
Public hearing sign posted by: CS
 Public Hearing Sign Location



FILE NO. B16-53
APPLICANT: CYPRESS INVESTMENTS
VARIANCE REQUEST:
SCREENING WALL

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # **BK-54**

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Springdale School District No. 50

Applicant's Mailing Address:

400 W. Johnson
Street Address or P.O. Box
Springdale, AR 72764
City, State & Zip Code

479-750-8800
Telephone Number

Property Owner's Name
(If different from Applicant): Springdale School District No. 50

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

City, State & Zip Code

Telephone Number

Address of Variance Request: NE corner of Maple and Kansas Streets

Zoning District: P-1 Institutional District

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten

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6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Chapter 56
1) Variance is requested from Section 56-38 – Screening of the Commercial Design Standards and Landscape Standards: Required screening fence and trees associated with fence.

W { 2) ~~Variance is requested from Section 110-31 - required sidewalks inside right-of-way along Maple Street and Kansas Street.~~

3) ~~Variance is requested from Section Sec. 112-4 – required streetlights at intersections and along street at intervals of 300-350’.~~

4) Variance is requested from Section 112-16 – required placing existing utility wires underground.

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1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**
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 - a) **The north athletic fields are currently grass athletic play fields and will remain so thus the effect on neighbors has not changed and screening will not provide a noticeable difference to the public.**
 - b) **The south athletic fields have an existing public park to the south and a regional trail is planned for all bordering streets. The owner believes any screening of this open space would have an adverse effect for the public using the park or trail.**
 - 2) **Variance is requested from Section 110-31 required sidewalks inside right-of-way along Maple Street and Kansas Street. A regional trail is planned for all bordering streets. The owner believes it would be a inefficient use of public funds to construct a sidewalk on these streets to then remove them for the installation of the trail.**
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 - 4) **Variance is requested from Section 112-16 – required placing existing utility wires underground. Currently, existing utilities are above ground for a majority of these streets. This development will not improve the local street aesthetics nor will not provide a noticeable difference to the public.**

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

1) *The design of these athletic fields is similar to though less developed than all city parks with athletic playfields. Most of these parks do not have screening fencing, associated trees, and perimeter sidewalks on all sides, utilities are above ground and street lighting is inconsistently provided.*

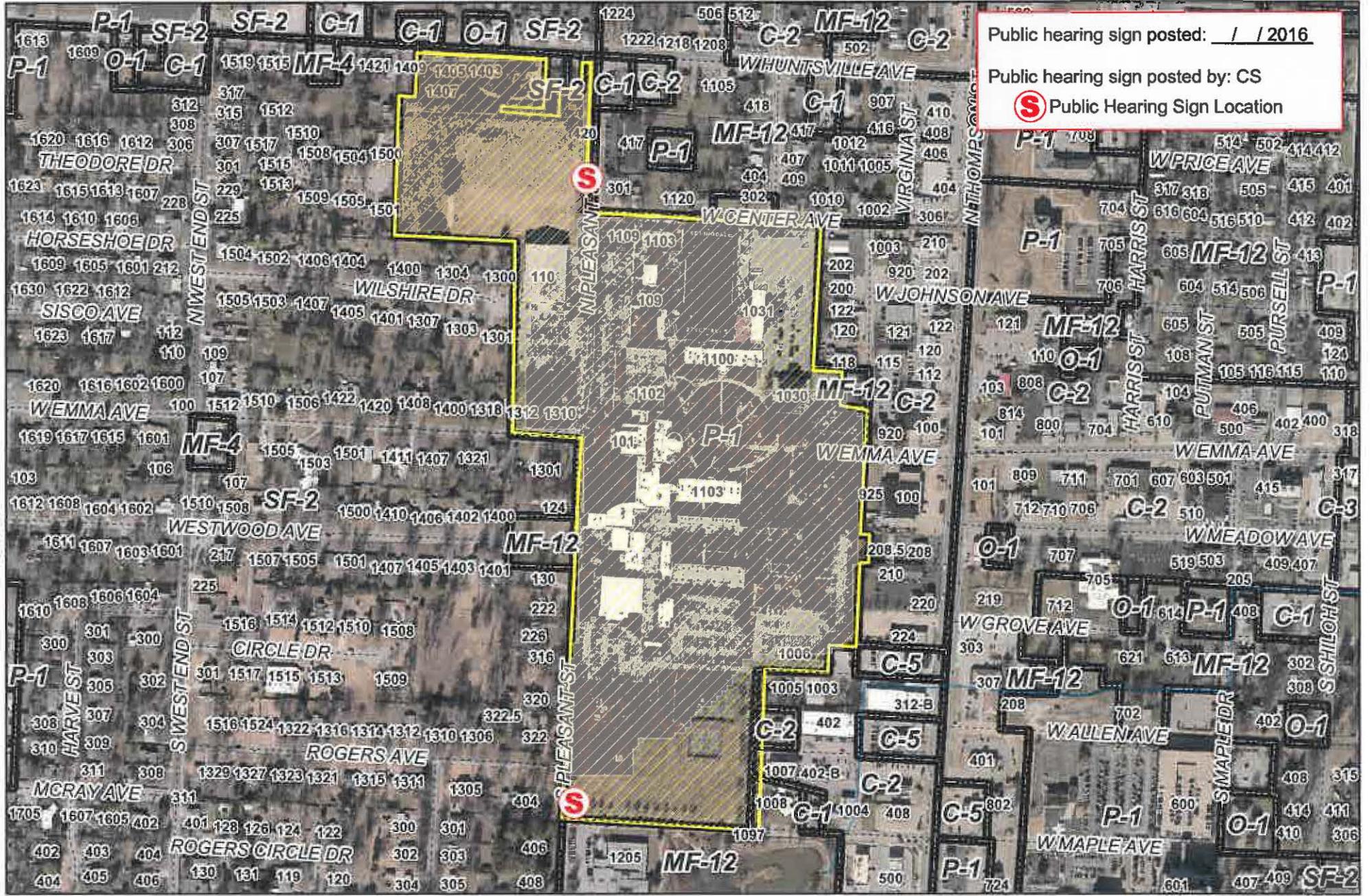
3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary).**

1) *Springdale School District is striving to provide equitable facilities at all campuses but will not receive State Academic Facility Partnership Funding from the State of Arkansas for this project. The site conditions (public streets, utilities right-of-ways, location in an established urban area) combine to make this a very confined and challenging location for the student focused athletic play fields when compared to those at other campuses. Any required additional conditions will be hardship for the Owner without any noticeable difference to the public.*

2) That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.

3) That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.

4) That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

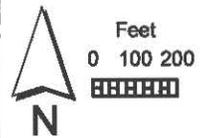


Public hearing sign posted: / / 2016

Public hearing sign posted by: CS

S Public Hearing Sign Location

P150



FILE NO. B16-54
APPLICANT: SPRINGDALE SCHOOL DISTRICT
VARIANCE REQUEST:
LANDSCAPING REQUIREMENTS; UTILITIES

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016

Staff Use Only

- Fee Paid (\$75) Cash Check CC
 Warranty Deed
 Authorization of Representation
 Drawing/Photo or Other Exhibit

File # BK-55

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Mathias Properties

Applicant's Mailing Address:

7521 W Wedington Drive (479) 409-9259
Street Address or P.O. Box Telephone Number
Fayetteville, AR 72704
City, State & Zip Code

Property Owner's Name Mathias Properties
(If different from Applicant):

Property Owner's Mailing Address:
(If different from Applicant):

P.O. Box 6485 (479) 750-9100
Street Address or P.O. Box Telephone Number
Springdale, AR 72766-6485
City, State & Zip Code

Address of Variance Request: Property Not Addressed yet but is located between 56th Street and Mathias drive in close proximity to 956 Mathias Drive.

Zoning District: C-1 & C-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(If granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.***

Variance Request 1: To Vary Drive Separation from 150' to 136' a Variance of 14' feet variance.

Variance Request 2: To allow Building #2 to Face West Toward N. 56th, Street this is a variance from the Commercial Design Standards.

Variance Request 3: To allow the greenspace width in front of building 3 to vary from 3' on the South end to 6.2 feet on the North end.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

Variance #1: Building 1 There is an existing electrical transmission main which has a low point at this location which we're trying to protect by placing in a median and placing the entrance there this gets rid of the drainage eye soar that exists now, centers the existing pole in the median and also allows the entrance of the building to be centered on the entrance as well, greatly enhancing the curb appeal of the entire site.

Variance #2: Building 2 is being considered as an annex to the existing children's rehab facility in order to function as such we're facing it the same direction and placing the finished floor so that it matches the existing facility for easy handicap access.

- Variance #3: Building 3 Landscape buffers Option#4 Requires a 3 foot high wall of brick, stone or finished concrete in a 5 foot buffer area including one shade tree per 25 linear feet. We have 179 L.F. of Frontage Buffer which varies from 3.3' to 6.2' for an average of 4.75' across the front we are requesting to be allowed to use this existing buffer w Opt.4
2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

Variance #1: The Literal interpretation of the Ordinance would not allow the drive to be built in such a manner as to blend into the existing terrain features that exist out there.

Variance #2: The Literal interpretation of the Ordinance would not allow this building to be used as an annex to the existing children's clinic just south of this proposed facility

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

None of the variances requested have resulted from any action of the owner.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Leonard Gabbard
Applicant Signature*

Sam Mathias
Property Owner Signature*
(If different from Applicant)

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

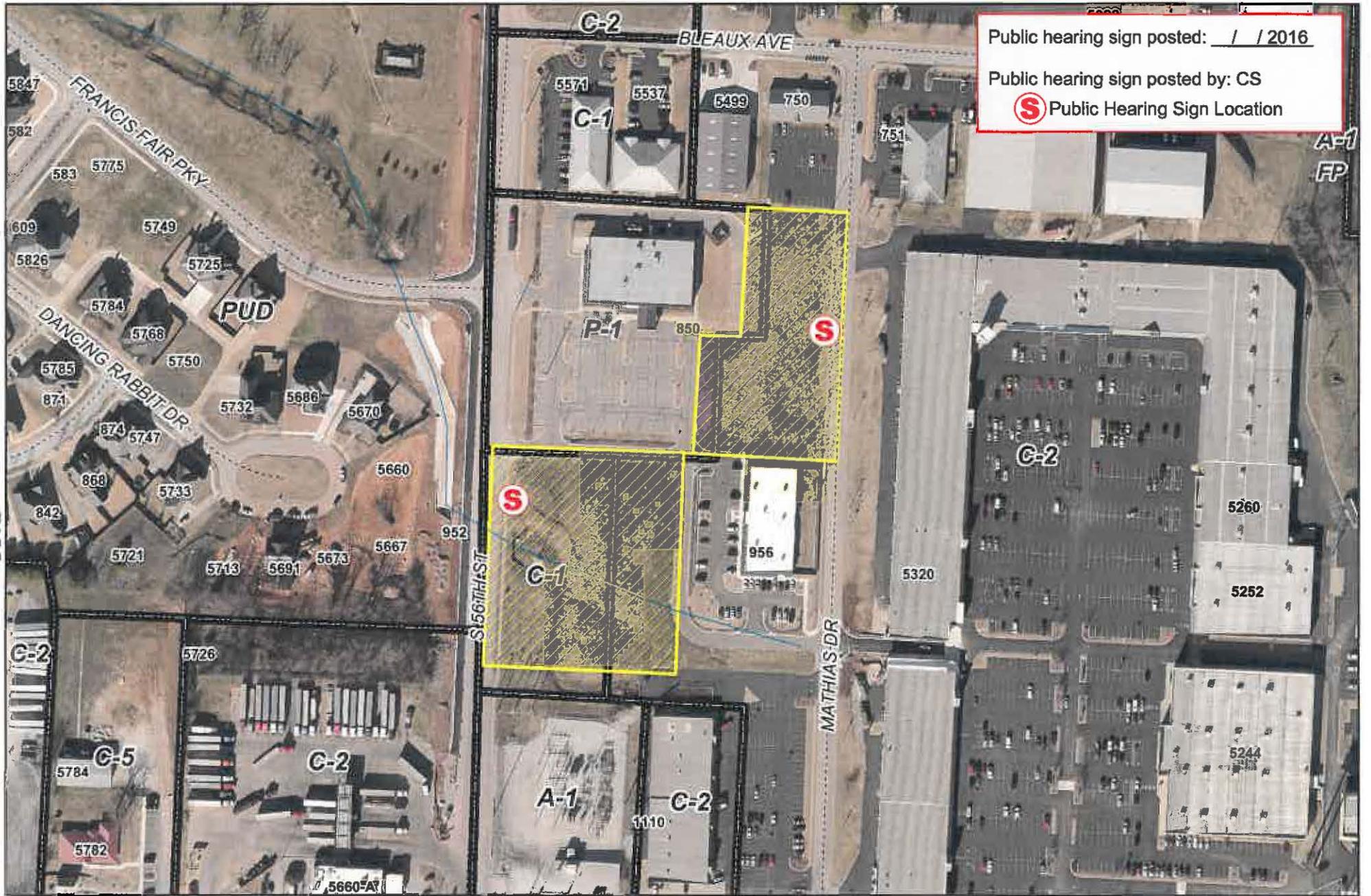
*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 17th day of August, 20 16.

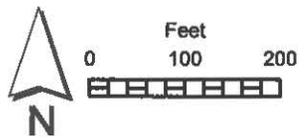
Tereasa L. Vickers
Notary Public

TEREASA L VICKERS
NOTARY PUBLIC
WASHINGTON COUNTY, ARKANSAS
COMMISSION # 12693670
COMMISSION EXP. APRIL 21, 2025



Public hearing sign posted: / / 2016
 Public hearing sign posted by: CS
 (S) Public Hearing Sign Location

P155



FILE NO. B16-55
APPLICANT: MATHIAS PROPERTIES
VARIANCE REQUEST: DISTANCE BETWEEN DRIVES;
COMMERCIAL DESIGN STANDARDS

*CITY OF SPRINGDALE
 PLANNING OFFICE*
 PLANNING COMMISSION MEETING
 SEPTEMBER 6, 2016

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File #

B16-56

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Tyson Shared Services, Inc.

Applicant's Mailing Address:

P.O. Box 2020, CP631

Street Address or P.O. Box

Springdale, AR 72765-2020

City, State & Zip Code

479-290-4000

Telephone Number

Property Owner's Name

(If different from Applicant): _____

Property Owner's Mailing Address:

(If different from Applicant): _____

Street Address or P.O. Box

Telephone Number

City, State & Zip Code

Address of Variance Request: Located west of Johnson Rd, 600'.S of HWY 412

Zoning District: C-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor

or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Minimum distance between drives on a single tract. Chapter 130 - Article 7. Section 11.2.g

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

There are two existing drives on-site, which are desired to be improved for the

proposed parking lot.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

There are two existing drives on-site, which are desired to be utilized for the proposed

parking lot.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

There are two driveways on the property currently off of Johnson. The desire is to

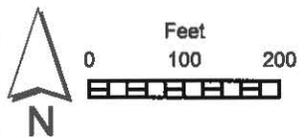
improve these drives in such a way as to work with the proposed parking lot.



Public hearing sign posted: / / 2016
 Public hearing sign posted by: CS
 (S) Public Hearing Sign Location

P159

A-1



FILE NO. B16-56
APPLICANT: TYSON SHARED SERVICES
VARIANCE REQUEST:
DISTANCE BETWEEN DRIVES

CITY OF SPRINGDALE
PLANNING OFFICE
 PLANNING COMMISSION MEETING
 SEPTEMBER 6, 2016

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # RK-57

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: McClelland Consulting Engineers - Nathan Street

ACIT

Applicant's Mailing Address:

1810 N. College Ave
Street Address or P.O. Box
Fayetteville, AR 72701
City, State & Zip Code

479-443-2377
Telephone Number

Property Owner's Name
(If different from Applicant): Arkansas Children's Hospital

Property Owner's Mailing Address:
(If different from Applicant):

1 Children's Way
Street Address or P.O. Box
Little Rock, AR 72202
City, State & Zip Code

501-364-2733
Telephone Number

Address of Variance Request: 2601 S. 56th St.

Zoning District: P-1

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor

or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(if granted what the setback would be)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Section 2.3.f.2 requires screening to be 1' taller than item to be screened. The screen wall around the Central Energy Plant service yard will be 15'-4" above finished floor elevation while the tallest equipment within the is 17'-6" above finished floor elevation; a difference of 2'-2". Heavy landscaping is provided around the screen wall to offset this difference as well.

Section 2.3.f.3 states that equipment can be screened by evergreen shrubbery or masonry or concrete screen walls.

Masonry to a height of 4'-8" above finished floor elevation will be utilized around the energy plant service yard, and atop the masonry will be a metal panel called Mega-Rib produced by McElroy Metal (product cut sheet provided with this submittal).

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The majority of the equipment within the service yard will be screened per the Overlay District requirements. The cooling towers are the tallest equipment element located in the service yard, and are located in the northwest corner of the yard; furthest away from any public ROW. To screen this equipment per the ordinance height and material type would create an unappealing visual.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

N. Stitt

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

**If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas)
) ss.
County of _____)

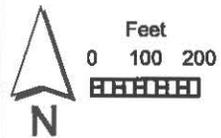
SUBSCRIBED AND SWORN TO before me, a Notary Public, this _____ day of _____, 20____.

Notary Public

Public hearing sign posted: / / 2016
Public hearing sign posted by: CS
 Public Hearing Sign Location



PI 64



FILE NO. B16-57
APPLICANT: ARKANSAS CHILDREN'S HOSPITAL
VARIANCE REQUEST: SCREENING WALL

CITY OF SPRINGDALE
PLANNING OFFICE
PLANNING COMMISSION MEETING
SEPTEMBER 6, 2016

MEGA-RIB

Commercial and Industrial
Applications

MEGA-RIB



MEGA-RIB

Mega-Rib is one of the most versatile metal wall and roof panels in the industry. While Mega-Rib was designed and engineered to meet the demands of the industrial environment, it also provides the aesthetics and design flexibility to be used in architectural applications.

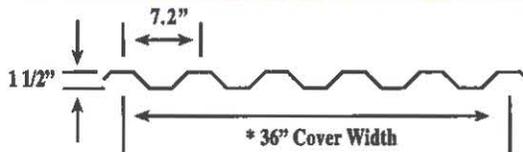


Well suited for vertical and horizontal applications, Mega-Rib's bold ribs provide an architectural statement that is difficult to match.

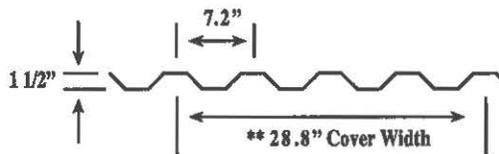


Mega-Rib
36" Cover Width

MEGA-RIB PANEL DIMENSIONS



* Standard for 24, 22, 20, and 18 gauge material. Also available in 26 ga. However, customer must specify if 26 ga is required.



** Adelanto standard coverage for 26 gauge panels: 36". All other locations, standard 26 gauge coverage: 28.8". (Specify if 36" coverage is required.)



Installed horizontally, Mega-Rib adds distinctive elegance.

Mega-Rib features a Galvalume® substrate and Kynar 500® (PVDF) coatings, which are proven to provide unsurpassed protection against panel chalk and fade.

With 7.2" rib spacing, Mega-Rib provides optimum strength and spanning capabilities.



TEST DATA - SECTION PROPERTIES - LOAD TABLES

For any available Test Data, Section Properties or Load Tables, please visit the download section of our website at: www.mcelroymetal.com



info@mcelroymetal.com • www.mcelroymetal.com

Oil canning is a natural occurrence in metal panels and is not a cause for panel rejection.

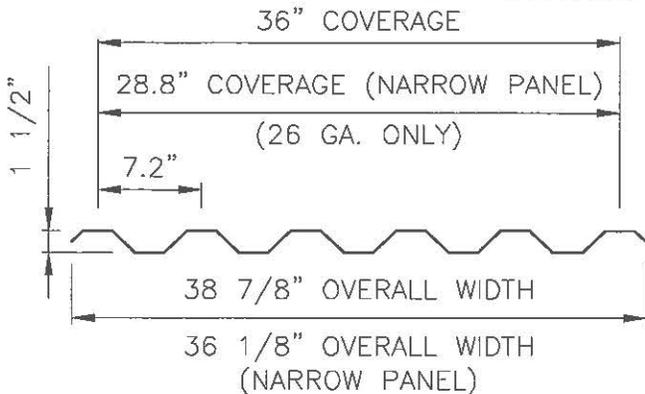
McELROY METAL, INC



www.mcelroymetal.com

Mega-Rib Panel

Product Data



MEGA-RIB PROFILE

NOTE:

All data represented on this sheet may not be applicable to all widths and gauges. Please contact McElroy Metal for more information.



FOAM INSIDE CLOSURE



FOAM OUTSIDE CLOSURE

Mega-Rib Panel



FASTENER PATTERN
(@ Eaves, Ridges & Endlaps)

Mega-Rib Panel



FASTENER PATTERN
(@ Intermediate Purlins)

1/4-14 X 7/8" LAP TEK ZAC Fastener (1'-8" O.C. Max.)

3/32" X 1" Roll Tape Sealant (Required on 3:12 or less Slopes)

1/4-14 X 7/8" LAP TEK ZAC Fastener (1'-8" O.C. Max.)

3/32" X 1" Roll Tape Sealant (Required on 3:12 or less Slopes)

Applications

Exposed fastener wall/roof panel used on slopes down to 1:12. Tape sealant is required on seam (side-laps). Standard panel lengths up to 40'. Please inquire for longer lengths.

Substrates

Plywood or Purlins.

Material

Standard - 24 GA. Steel ASTM A792 (50 ksi) AZ55 - Bare
AZ50 - Painted

Optional - 22 GA. Steel ASTM A792 (50 ksi) AZ55 - Bare
AZ50 - Painted

- 18 GA. and 20 GA. Steel ASTM A792 (50 ksi)
AZ50 - painted coil only

Manufacturing

Roll formed in factory.

Finishes

Acrylic Coated Galvalume®
Fluoropolymer (Kynar 500® PVDF resin-based)
Siliconized Polyester and Polyester

Pan Conditions

Oil canning is inherent in all metal panels and is not cause for panel rejection.

Testing *

Uplift: UL 580 Class 90, ASTM E1592
Impact Resistance: UL 2218 Class 4
ICCES Evaluation on 24 GA.
Fire Resistance: UL 263 & UL 790 Class A
Florida Product Approval: FL 1832.8 (non-structural)
FL 1747.6 (structural)
Miami Dade Approval: NOA# 13-0617.21
Testing and Approvals are product specific. Please inquire for details.

OXYGEN TANK

horizontal orientation
approximately 8'-0" AFF

EMERGENCY GENERATORS

approximately 14'-0" AFF

ELECTRICAL TRANSFORMERS

approximately 5'-0" AFF

FUEL STORAGE TANKS

approximately 15'-0" AFF
17'-6" AFF at handrails

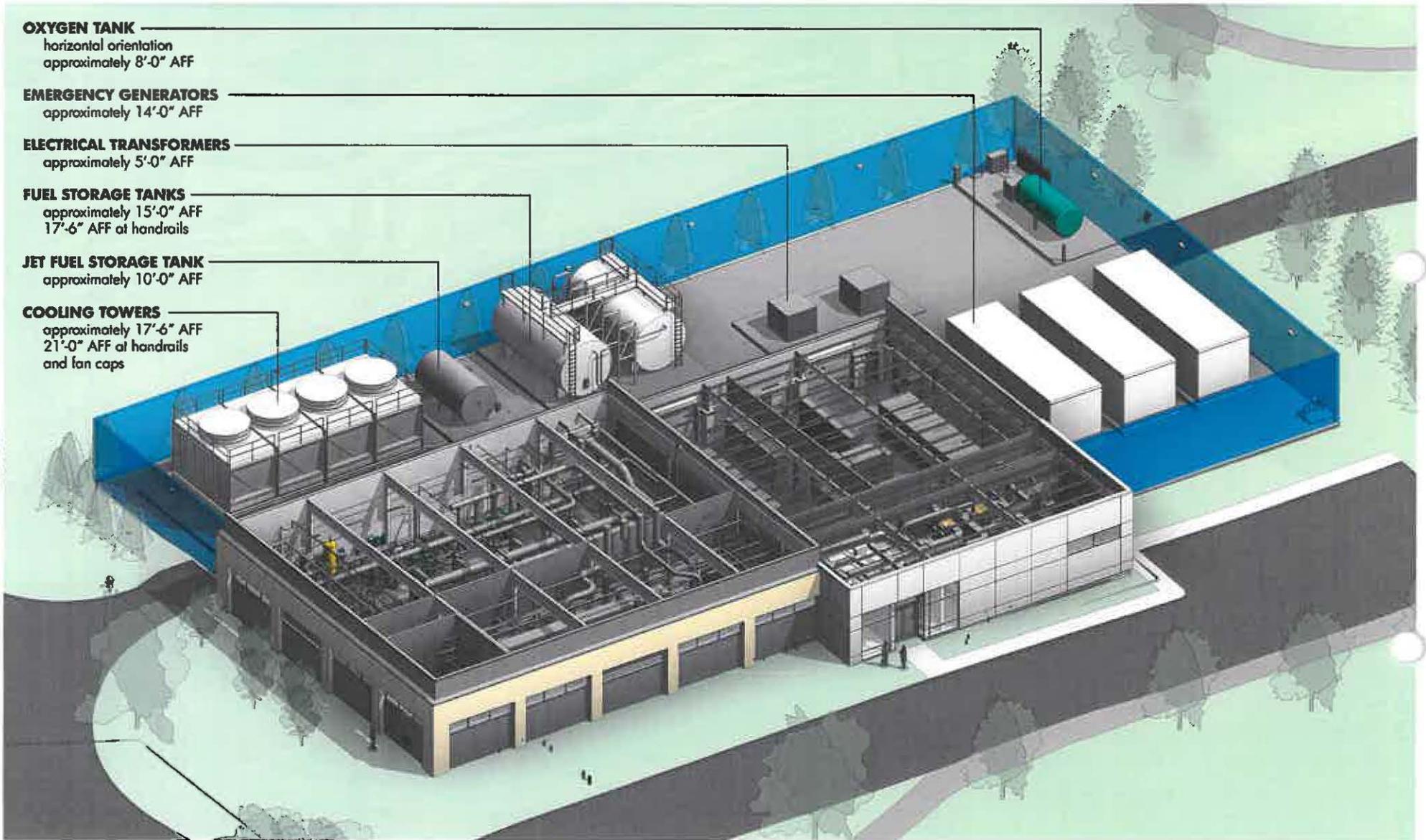
JET FUEL STORAGE TANK

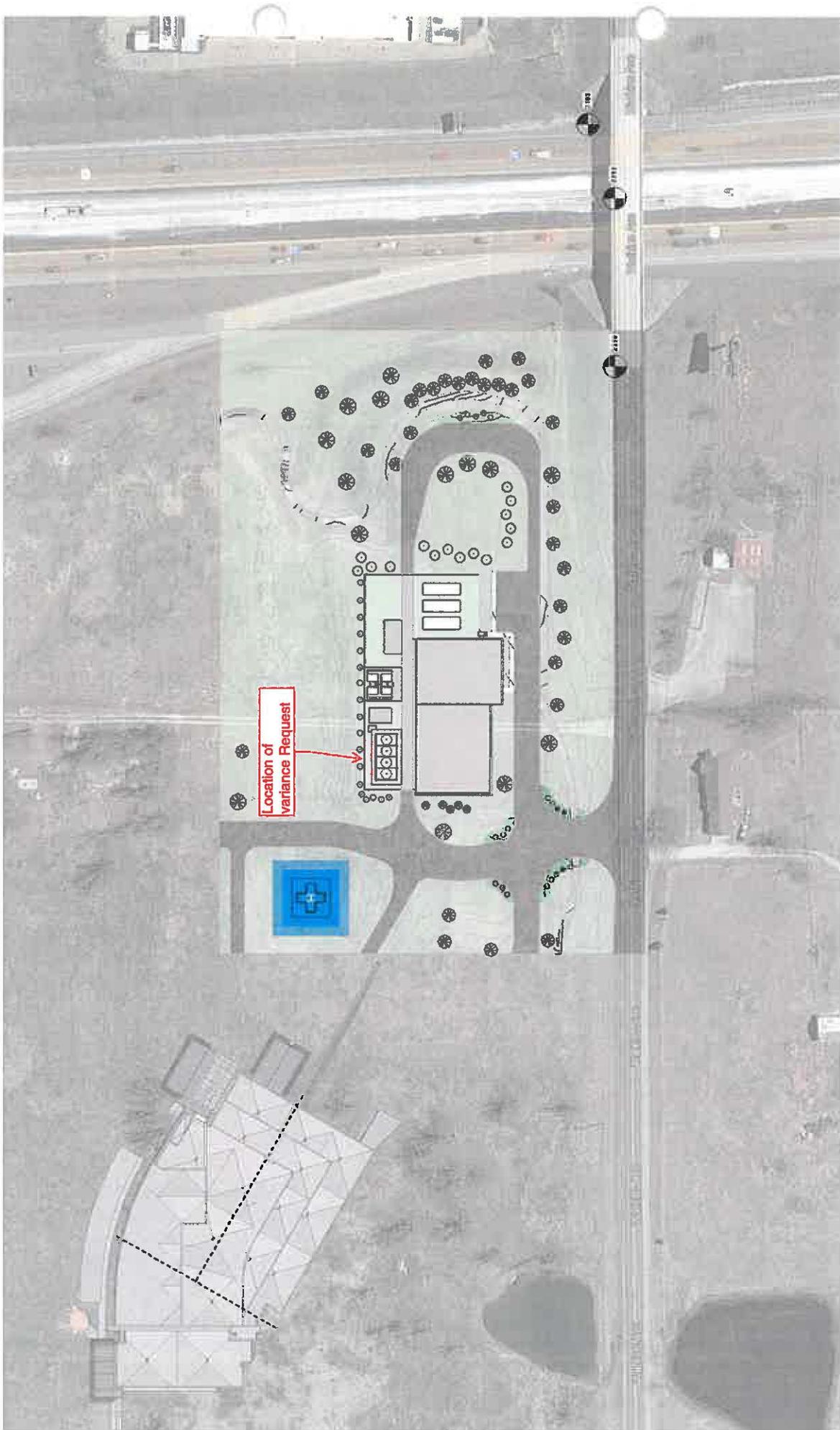
approximately 10'-0" AFF

COOLING TOWERS

approximately 17'-6" AFF
21'-0" AFF at handrails
and fan caps

PI68





ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016



P170

ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016





P171

ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016





P172

ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016

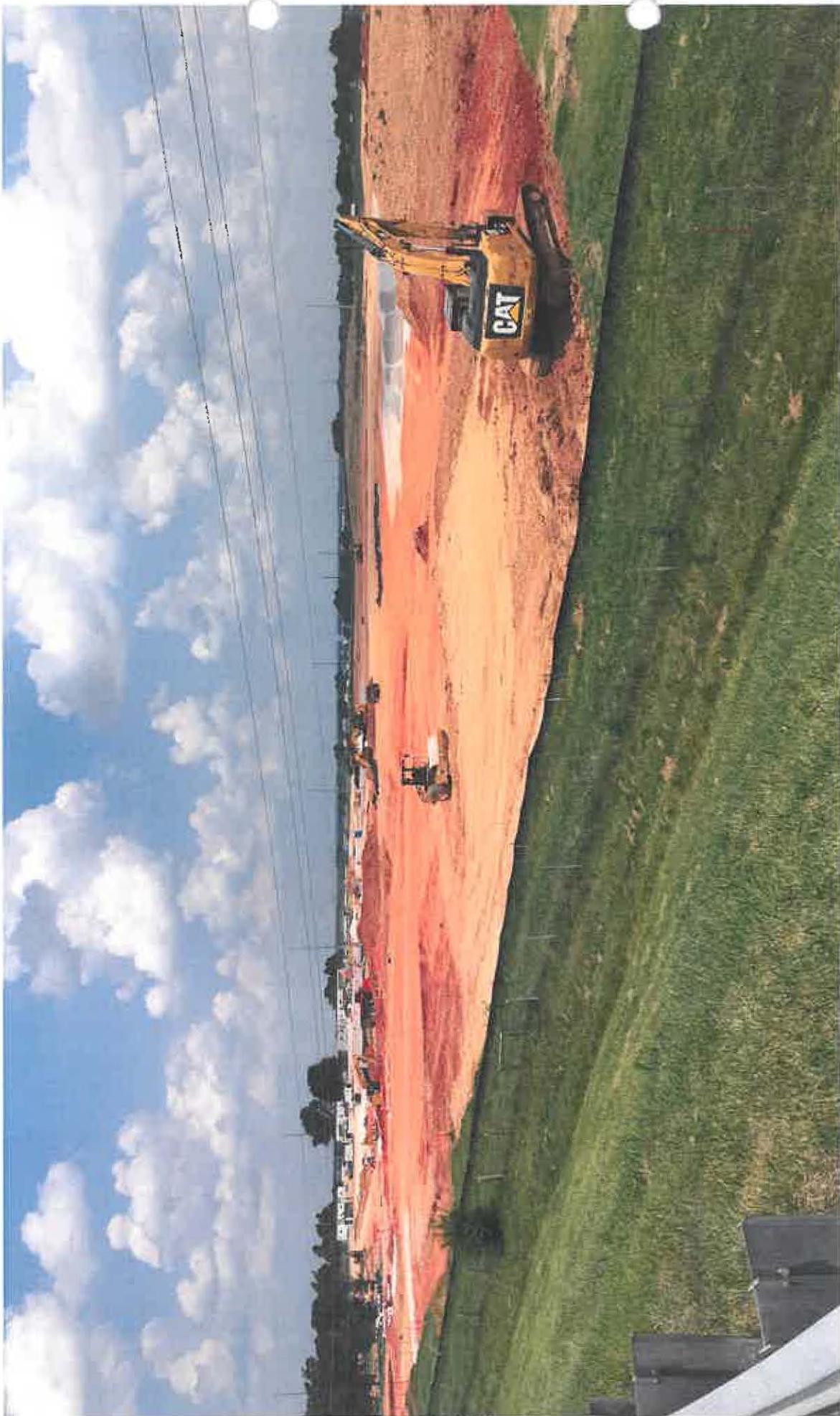




P173

ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016



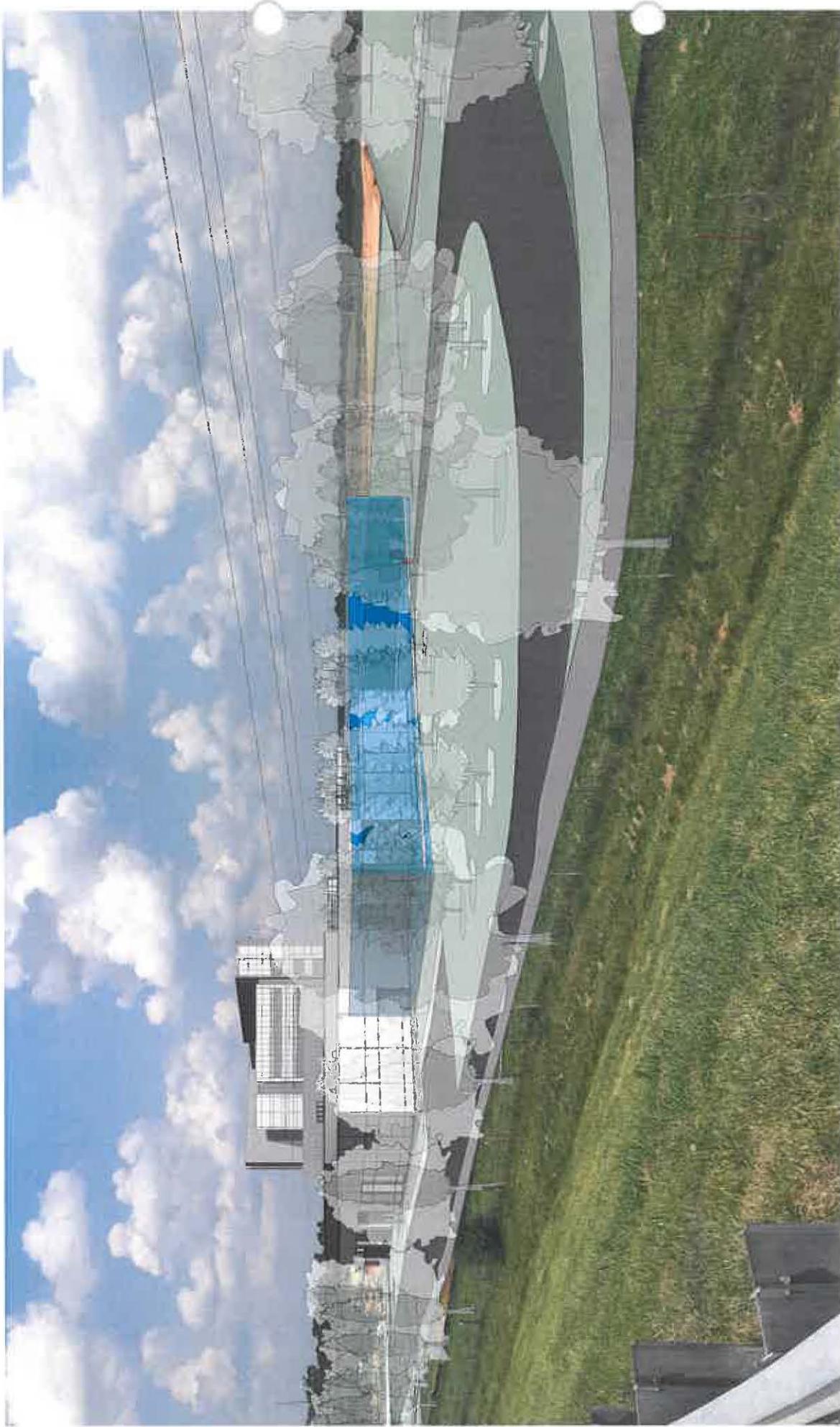


P174

ACH Northwest Arkansas | CEP Screen Wall Presentation

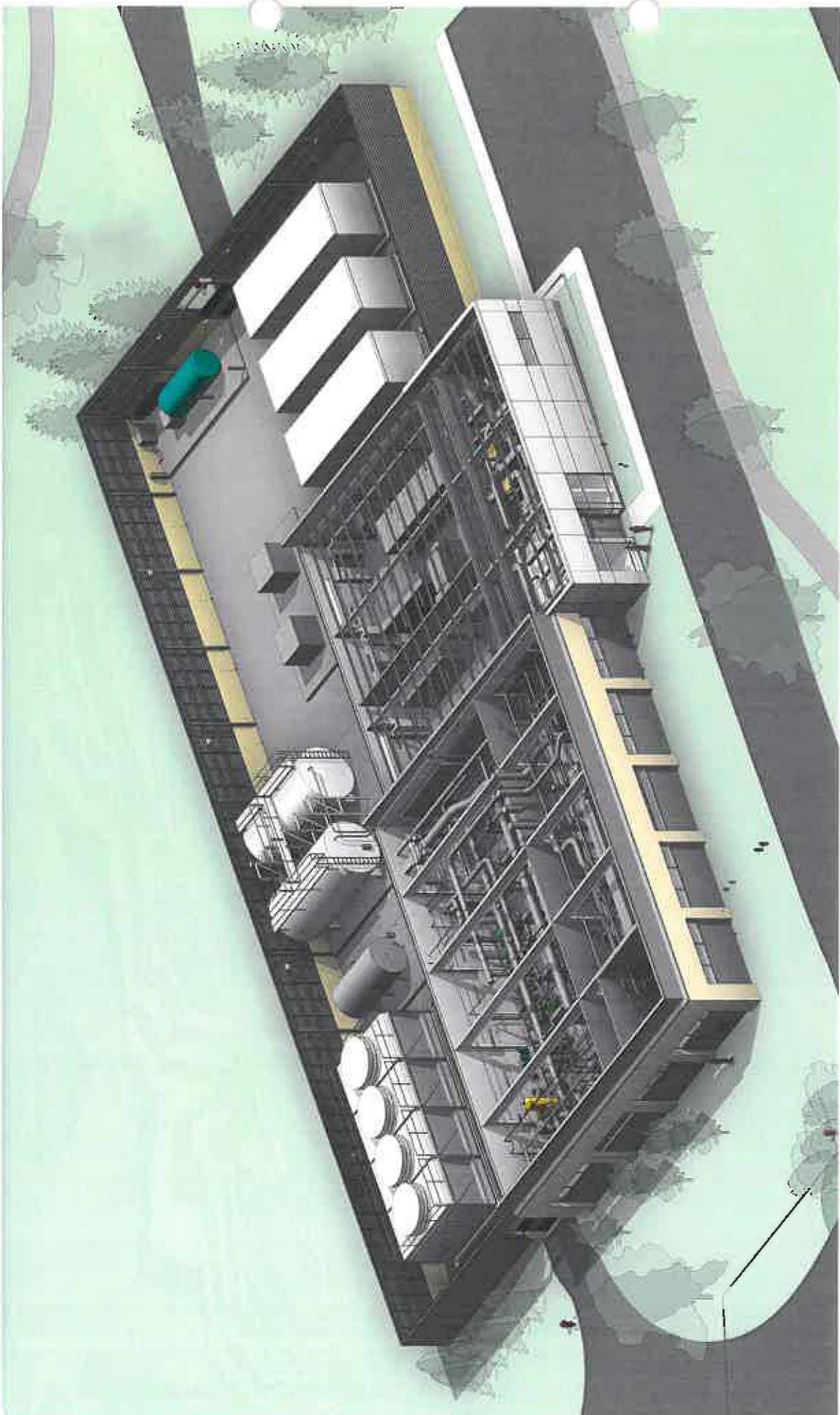
PSW 574D | 07.28.2016



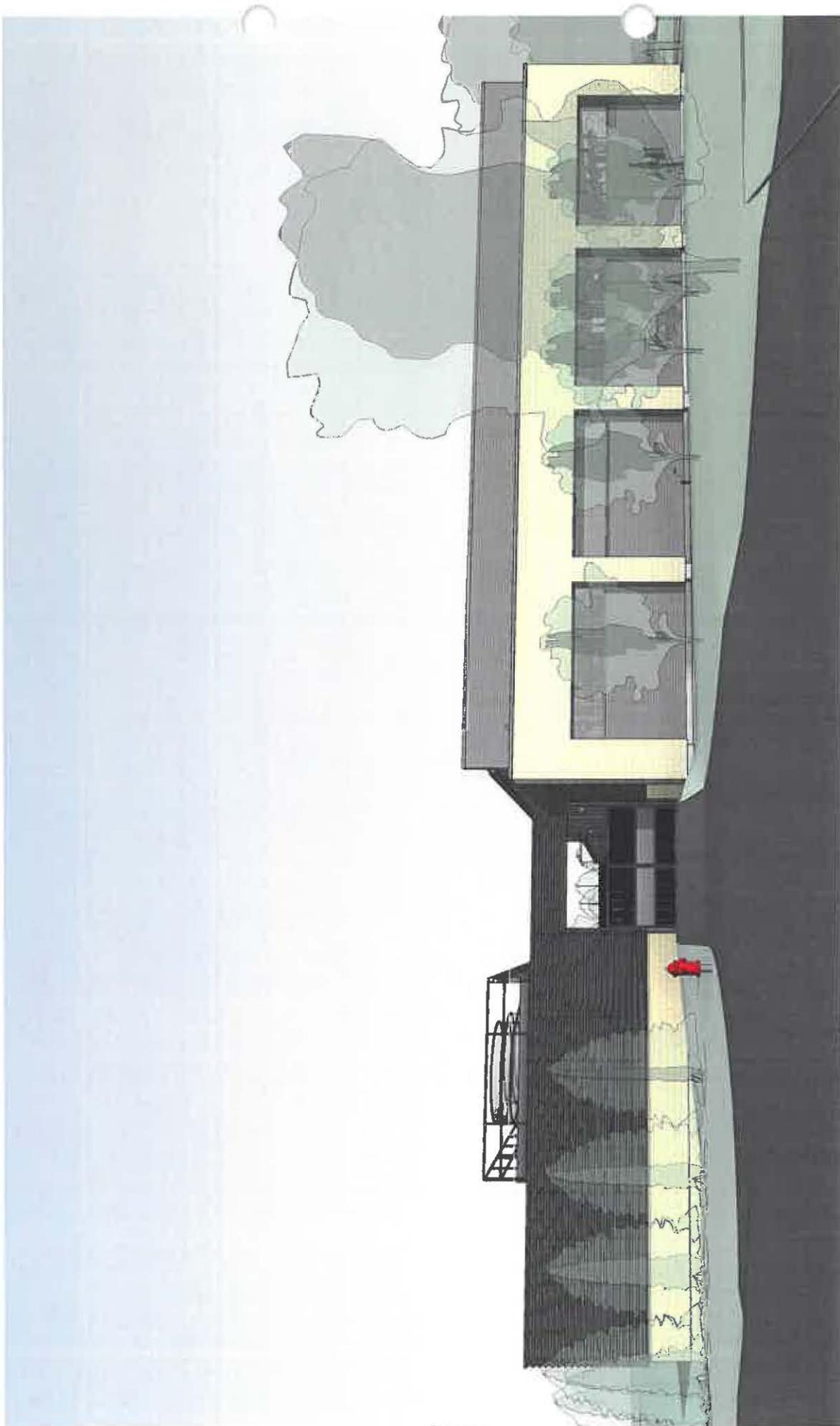


P175





ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016

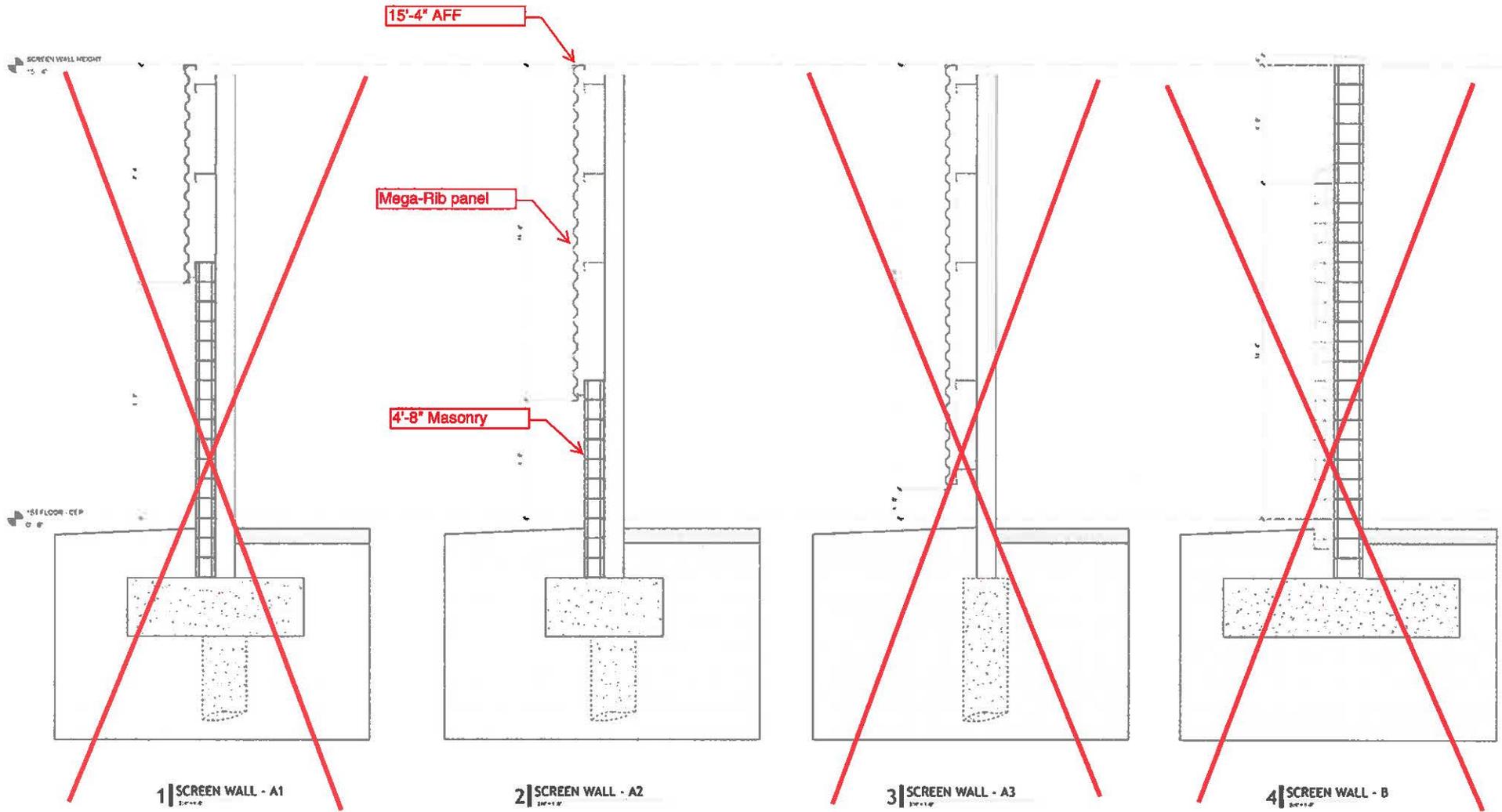


P177

ACH Northwest Arkansas | CEP Screen Wall Presentation
PSW 574D | 07.28.2016



P178





August 17th, 2016

Ms. Patsy Christie
Planning Office
City Administration Building
201 Spring Street
Springdale, Arkansas 72764

Re: Request for Waiver
LSD Plan No. L16-18
Springdale School District No.50
Springdale High School, Athletic Fields

Dear Patsy,

On behalf of the Springdale School District, and at the request of the School and Wittenberg, Delony and Davidson, Architects Inc., (the District's Architects) we are submitting a request for Waiver of Sidewalks (Sect 110-31 (a)) and Street Lighting (Section 112-4) improvements to the City of Springdale standards at the proposed High School Athletic Projects.

The School District is requesting a Waiver of these standards for Pleasant Street, Maple Street and Kansas Street:

Section 110-31. A regional trail is planned for these bordering Streets. The Owner believes it would be an inefficient use of school funding to construct a sidewalk on these streets only to have them removed for the installation of the trails.

Section 112-4. There are existing streetlights on adjacent properties and at intersections. The improvement of existing athletic facilities at these sites will not increase traffic on local streets beyond current levels and installation of lights will not provide a noticeable difference to the public.

If you have any questions or need additional information, please do not hesitate to contact us.

Sincerely,

Christopher B. Brackett, P. E.
Project Manager/Engineer

CBB:cb

Cc: Dr. Jared Cleveland, Springdale School District
Mr. Brad Chilcote, AIA; Wittenberg, Delony and Davidson, Architects Inc.

AUTHORIZATION FORM

I, Mark McGarran, authorize Jenkins Surveying (Bill or Dan Jenkins) to represent me as an agent regarding the tract split on parcel 001-18461-000.

WAIVER FROM SUBDIVISION REQUIRMENTS

I, Mark McGarran, am requesting a waiver from the subdivision requirements and performing a tract split on parcel 001-18461-000.

W1613