

**SPRINGDALE PLANNING COMMISSION  
 COUNCIL CHAMBERS  
 OCTOBER 4, 2016  
 201 SPRING  
 5:00 P.M.  
 Tentative Agenda**

**I. Pre-Meeting Activities**  
 Pledge of Allegiance  
 Invocation

**II. Call to Order**

**III. Roll Call**

**IV. Approval of Minutes (September 6, 2016)**

**V. Tabled Items**

**Call for the vote**

**A. R16-37 Martin & Euginia Palma PP 51-58**  
1911 W. Huntsville  
From C-1 to C-2  
 Presented by Hazel Prinder(?)

**B. C16-14 HELPS, LLC PP 59-63**  
650 W. Highway 264  
Use Unit 33 (Cell Tower) in C-2  
 Presented by James Cardinal

**VI. Public Hearing – Rezoning**

**Call for the vote**

**A. R16-38 Larry & Nancy Runksmeier PP 64-71**  
3426 Old Missouri Road  
From A-1 to C-2  
 Presented by Greg Hughes or Rick Oliver

**B. R16-39 Elm Springs Center, LLC for PP 72-79**  
Dunkin' Donuts  
Directly east of Whattaburger on  
Elm Springs Road  
From C-2 to C-5  
 Presented by CEI Engineering

- C. R16-40 Jesus Gonzalez, Jr.  
1729 Hatcher Road  
From A-1 to SF-2 PP 80-87  
Presented by Norman A. Sanchez

VII. Public Hearing – Conditional Use Call for the vote

- A. C16-15 Kyle Patton PP 88-92  
Andrew Avenue Parcel #815-23273-010  
Tandem lot split  
RP16-06 Replat of lot 3A of the replat of  
Lot 2 & lot 3-Lake Road Estates Motion  
Presented by Kyle Patton
- B. C16-16 William & Dorcas Johnson PP 93-96  
5018 Bob Mills Road  
LS16-34 Tandem lot split for conditional use Motion  
Presented by Survey 1, Inc.
- C. C16-17 Eco-Site  
36' N. of American St., 650' W. of PP 97-103  
71B  
Use Unit 33 (Cell Tower) in C-2  
Presented by James Cardinal
- D. C16-18 Christian Church Faith Without Limits PP 104-109  
871 E. Robinson Ave  
Use Unit 42 (Church/Synagogue) in C-2  
Presented by Daniel Porras Medrano

VIII. Lot Splits

- A. LS16-34 William & Dorcas Johnson Motion PP 110  
5018 Bob Mills Road  
Presented by Survey 1, Inc.
- B. LS16-35 Elm Springs Center, LLC for Motion  
Dunkin' Donuts PP 111-112  
Directly east of Whattaburger on  
Elm Springs Road  
W16-15 Elm Springs Center, LLC for Call for the vote  
Dunkin' Donuts  
Waiver of subdivision requirements  
Presented by CEI Engineering

**IX. Preliminary Plat, Replats & Final Plats **Motion****

**A. RP16-06 Replat of Lot 3A of the replat  
Of Lot 2 & Lot 3-Lake Road Estates  
SE corner of E. Andrew Avenue  
Presented by Atlas Surveying**

**B. RP16-07 Replat of Lot 1A & 1B of replat  
Of Lot 1 Block 1 Dill Addition  
NW corner of Turner & Shoreline Dr.  
Presented by Atlas Surveying** **PP 113-114**

**X. Large Scale Developments **Motion****

**A. L16-19 Pinkley Mini Storage, Phase I  
South Downum Rd., N. of County  
Line Road  
Presented by Leonard Gabbard** **PP 115-122**

**B. L16-20 Towne Park Apartments  
N. of West Sunset Avenue  
W. of Westside Drive  
Presented by Crafton Tull** **PP 123-130**

**C. L16-21 Dunkin' Donuts  
Directly west of Whattaburger  
On Elm Springs Road  
**Concept of detention** **PP 131-142**  
**Call for the vote**  
Presented by CEI Engineering**

**XI. Board of Adjustment **Call for the vote****

**A. B16-58 Jason & Kerri Beyer  
7359 Blackburn Avenue  
Variance for reduction of rear setback  
From 20' to 10'  
Presented by Jason Beyer** **PP 143-148**

**B. B16-59 Kevin Walker  
2529 McRay  
Variance for driveway expansion  
Presented by Kevin Walker** **PP 149-155**



The Springdale Planning Commission met in regular session on Tuesday, September 6, 2016, at 5:00 p.m. in council Chambers.

Prior to the meeting being called to order, Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Roy Covert gave the invocation.

The meeting was called to order by Chairman Parsley at 5:05 p.m.

Roll call was answered by:	Gary Compton Roy Covert Payton Parker Charles Gaines Vivi Haney – Secretary Kevin Parsley – Chairman Brian Powell
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Commissioners that were absent were Bob Arthur and Mitch Miller. Also in attendance were Clayton Sedberry, GIS and Planning Coordinator who acted on behalf of Ms. Patsy Christie, Planning Director, who was unable to attend. Ms. Sarah Sparkman, Assistant City Attorney and City Attorney Ernest Cate were also in attendance.

Ms. Haney moved to approve the minutes for the August 2, 2016 meeting. Mr. Powell seconded the motion. By a voice vote of all ayes the August minutes were approved by a unanimous vote.

Mr. Parsley had the City's website pulled so that he could show the audience how to opt in to notifications.

Public Hearing

- A. Amend Article 8 Section 2 clarifying conditions under which a non-conforming use, structure, or or lot may be allowed to continue  
Presented by Clayton Sedberry

Mr. Sedberry stated that this was an amendment to the Ordinance. He said basically it adds a section that states that provided that the non-conforming use structure or lot complies with all other applicable City Ordinances including the expansion of the non-conforming use outlined in Section 3A of this Article.

Mr. Parsley asked if there were those in the audience that had comments or questions.

There were none.

Ms. Haney moved to forward to Council with a recommendation for approval. Mr. Powell seconded the motion.

**VOTE:**

**YES:** Compton, Covert, Parker, Gaines, Parsley, Powell

**NO:** None

The motion to forward to Council with a recommendation for approval was approved by a unanimous vote.

- B. Chapter 110, Article VI Code of Ordinance to rename Kawneer Drive between Huntsville Ave. & Emma Avenue to Reinert Drive  
Presented by Clayton Sedberry

Mr. Sedberry said the City had a request from the Public Facilities Board to rename the street in honor of Jerry Reinert who was an active member of the board.

Mr. Parsley asked if there were comments or questions from the audience.

Mayor Sprouse said that Jerry Reinert was a long time member of the Public Facilities Board which is the reason the board requested the name change.

Ms. Haney moved to forward the request to Council with a recommendation for approval. Mr. Powell seconded the motion.

**VOTE:**

**YES:** Covert, Parker, Gaines, Haney, Parsley, Powell, Compton

**NO:** None

The motion to forward to Council with a recommendation for approval was approved by a unanimous vote.

Tabled Items

The following will be a verbatim of R16-30.

Mr. Parsley: The next section is tabled items. The first tabled item is:

- A. R16-30 412 Investments, LLC  
2250 W. Sunset  
From C-2 to C-5  
Presented by Matt Dearnley

Mr. Parsley: This is for everyone. When you do come up to the mic, please make sure that you do speak into the mic; state your name and address.

Mr. Dearnley: My name Matthew Dearnly; my address is 4668 Jane Lane, in Fayetteville. This is a retail center that I'm the managing partner of. We have put a coffee shop into it as one of the tenants. They would like to have live music just a piano

or the ability to play music. According to City code, in order to have any type of live music you need to change the zoning to C-5 which is what we are requesting. We have sent out certified letters to all the neighbors and talked to them and everyone we talked to has been fine with the idea of having live music in a strip center.

Mr. Parsley: Staff comments.

Mr. Sedberry: The rezoning request is not in keeping with the Comprehensive Land Use Plan and is not recommended for approval. With residential to the north and east of the property are more intense commercial use of the property would not provide an adequate buffer.

Mr. Parsley: O.K. Any comments from the audience?

Mr. Parsley: Please come to the mic and state your name and address.

Mr. Watson: Donnie Watson; 23004 Highway 303, Hindsville, Arkansas. I am the owner of Bob's House Coffee Shop. Can you clarify that for me? I may not have understood everything.

Mr. Sedberry: Clarify it with residential to the north and east of the property and more intense commercial will not provide an adequate buffer. We tried to separate commercial uses from intense uses like; we try to separate residential uses from intense uses like a Thoroughfare Commercial is top commercial district that allows a lot of things like bars, live music.

Mr. Watson: It's a coffee shop though; I mean we are not a bar. We are a faith based coffee shop.

Mr. Sedberry: I understand. These are the comments that I was given. The intent is to separate residential and commercial as much as possible. We have had issues with properties in similar situations that are adjacent to residential districts. It can become a nuisance, not to say that yours will be but we tried to avoid it if at all possible.

Mr. Watson: So you are not going to rezone?

Mr. Sedberry: I don't vote. The Planning Commission that rezones.

Mr. Watson: O.K., I got you.

Mr. Parsley: These are just the comments from the actual Planning Department. They look at it based off the Master Land Use Plan.

Mr. Watson: I understand. Well, you know, pray that you all, you know, have some wisdom for us. We could sure use it. I know it would help the area right in there. I

believe it would bring more traffic into that area, bring more businesses in. It is about the best we can do. God Bless you guys.

Mr. Parsley: Thank you. Any other comments from the audience? O.K. it is to the Commission.

Ms. Haney: I think that the one thing that we have to remember is when we rezone it's rezoning that property permanently; so it's not anything on the business itself; sometimes that particular use might be okay but if we were to rezone that and then you were to sell that or one of the other businesses that move in, they would be able to do any of the higher level uses and I will tell you that when we had the church in there, we had issues with that.

Mr. Watson: I know. I have heard about that. How about rezoning with stipulations?

Ms. Haney: We can't do that.

Mr. Covert: What are the hours?

Mr. Watson: Right now 6:30 to 6:30 in the afternoon. 8:30 on Fridays, 6:30 on Saturdays.

Mr. Covert: So 8:30 is the latest on any given night.

Mr. Watson: Right now, yes sir. At the most we would ever go would be 10:00 p.m.

Ms. Haney: Right; but once it is rezoned if you moved out tomorrow, anything that is a C-5 and could you read what the C-5 that would be allowed to go and that's not just in your coffee shop; that's in that whole lot.

Mr. Watson: So you have to rezone the entire section and there are no stipulations that you could put on it that would help in that? Is there another classification.

Ms. Sparkman: Sarah Sparkman, Deputy City Attorney. The reason why they can't put limitations on rezoning that would be considered contract zoning and that is not allowed by law; so their hands are kind of tied to be able to make those type of agreements.

Mr. Dearnley: They are not trying to do outdoor concerts or anything that would really be a nuisance to the neighborhood. You were talking about acoustic music inside of a coffee shop. I realized that once you did it, technically speaking, we could have Bruce Springsteen come on in, but that is not the intention at all.

Mr. Parsley: Wasn't this an area that we had a similar situation as far as noise?

Mr. Sedberry: This specific building we did have issues with noise.

Ms. Haney: It had a church in it and there were noise issues; with the way the sounds carry in the building. There are apartments behind, I think, and then residential homes as well that were disturbed by the music.

Mr. Parsley: Missha, were you guys called out previously, not for this business but for the other.

Ms. Wagoner: Not code enforcement, not that I know of. Not while I have been involved.

Ms. Haney: But I think that we have to remember we are rezoning it, every single piece of that building. He may only do that but now someone else would be able to come in to one of the other open spots in that building and put in something at that higher level of classification and you know, that is the thing that we have to really consider.

Mr. Parsley: Any other questions or comments? Debbie went upstairs to get a code book. Was there someone that wanted us to read? Vivi I think that you wanted to read.

Ms. Haney: Yeah, unless someone else does, I know what it is.

Mr. Covert: Do we have anybody from the residential neighborhood behind this unit or from the apartments?

Mr. Parsley: If you could come up here to the mic.

Ms. Sanders: My name is Renee Sanders and I live at 902 SW Arrowhead in Bentonville, but my parents live at 608 Maria Street. That little area, we're talking about apartments; those are older people that live in those apartments that live right behind that strip mall. My grandmother used to live in that area and all the neighbors are older, elderly people that need assistance from their families living there. It would be really noisy. That area just carries and so I don't think that it would be good idea to have music outside in that place.

Mr. Parsley: This, I think is inside.

Ms. Sanders: Okay, inside. Well, still, with the church we were able to hear it. They live in the middle of Maria and we were still able to hear the music from the church.

Mr. Parsley: It will be a call for the vote.

Ms. Haney: Call for the vote.

Ms. Pounders: Parker, no; Gaines, yes; Haney, no; Parsley, no; Powell, no; Compton, no; Covert, yes.

Mr. Parsley: It fails to pass five (5) to two (2).

Mr. Sedberry: You have the right to appeal the Planning Commission's decision to City Council. Your appeal needs to be in writing to the City Clerk's office within fifteen (15) days and you have to notify the adjacent property owners again.

B. R16-32      Sherry Farms, LLC  
                    5060 E. Robinson Ave.  
                    From A-1 to C-2  
                    Presented by R. Justin Eichman

Mr. Parsley stated prior to Mr. Eichman speaking, that those in attendance that would like to speak can certainly do that. He asked that they stated their name and address. He asked that if it starts to get repetitive as far as the comments go, to please make the statements brief. He also wanted to remind the audience that this item on the agenda is a rezoning.

Mr. Eichman was present on behalf of his client to answer any questions or comments. He reminded the audience that this is for a rezoning and that they should keep the merits of the request for a rezoning in mind.

He further stated that he and his clients have had many meetings with a lot of different folks from a lot of different areas to talk to them about what the intentions are. He said that the meetings were good but it does tonight get them deeper into the use. He said there were a couple of questions regarding the merits of the rezoning. One of the questions was why here as opposed to other places. The owners were present and wanted an opportunity to speak.

He said that Piney Ridge wanted to relocate to Springdale from Fayetteville and in doing so would need a significant piece of land to construct the facility. The land is 32 acres and was annexed into the City making it an A-1 or agricultural district. He said that the Comprehensive Land Use Plan indicates this area a commercial area. It is located along Highway 412 and there are other pieces of land that are for sale and are being marketed as commercial. He said both Piney Ridge and the Sherry's relied upon the Comprehensive Land Use Plan indicated use to both market and buy this property.

He further stated that he would like to keep conversation on the rezoning and its merits and not get deep into the use.

Mr. Parsley asked Mr. Sedberry to read what is a permitted use in a C-2 zone.

Mr. Sedberry said that permitted uses are: Citywide uses by right, cultural, recreational and health facilities, offices, studios and related services, eating places, neighborhood shopping goods, shopping goods, trades and services, automotive services, parking lot, temporary buildings and/or storage, transportation services, health care clinic and indoor flea markets.

Mr. Larry Sherry who is the owner of the property trying to be rezoned spoke. He said that his sister is with him as well. They are the owners of the property which is located at 5060 E. Robinson Avenue and that it had been in the family for many, many years.

Ms. Katy Hampton, who is a real estate agent with Irwin Partners, spoke. She stated that she represents Sherry Farms in the listing of their property for sale. She listed the property in February 2015. She further stated that she had researched other properties in that area that had been sold and comparable listings that were in the nearby area Sherry Farms. She looked at potential uses that would be feasible and what was legally permissible based on the land use plan. She stated that after review all the information she concluded that the best use for the Sherry's property would be commercial use. The surrounding areas that have either recently sold or on the market are all commercial.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Mr. Sedberry stated that the rezoning request was asking for a Use Unit 4 which is cultural, recreational and health care facilities. He then read what is allowed in a C-2 zone besides the Use Unit 4.

Mr. Parsley asked if there were those in the audience that had questions or comments. He reminded the audience that it is for the rezoning of the property and not what the intended use is.

The following persons spoke against the rezoning:

- Jean Olsen
- Lori Davis
- Kelly Kirk
- Ron VanEs
- Connie Whitely

Mr. Denton Gay spoke next. He was in favor of the rezoning.

The following person again spoke against the rezoning.

Charlie Futrell

Ms. Kay Gay spoke in favor of the rezoning.

Jacci Perry Ryan spoke against the rezoning.

Kyra Guthrie spoke against the rezoning.

Mr. Travis Snyder spoke in favor of the rezoning.

Mr. Gary McGee from Maumelle, Arkansas spoke in favor of the rezoning.

Mr. Marcus Carruthers spoke in favor of the rezoning.

Mr. Ken Starkwell spoke against the rezoning.

Ms. Pam Forth (?) spoke in favor of the rezoning.

Lloyd James Vanture (?) spoke in favor of the rezoning.

Ms. Renee Daniel spoke against the rezoning.

Mr. John Comstock spoke for the rezoning.

Ms. Robin McDonald spoke against the rezoning.

Mr. Eddie Shockley spoke against the rezoning.

Mr. Eichman pointed out again it is a rezoning. They are prepared to speak about what will be there and the clinical aspects and the appropriateness of a C-2 zone along Highway 412; however, that would be getting into the use of the property and away from the rezoning, which is what this meeting is about.

Mr. Colby Fulfer spoke against the rezoning.

Ms. Sparkman, the Assistant City Attorney, said that it is the opinion of both Planning Staff and the City Attorney's office that this rezoning falls under residential care facility. She said there is legally a difference between a detention center and this type of facility. She further stated that even if a child is court ordered to go to this type of facility the obligations of the facility, the rights of the residents will be completely different than that of a detention center.

Mr. Eichman stated that Piney Ridge is licensed as a residential care facility and that is the reason it falls under the Use Unit 4 permitted use. There is security there to keep the residents from harming themselves and from leaving the facility.

Mr. Powell asked Mr. Eichman who he had meeting with in the Springdale community.

Mr. Eichman had Doris Singleton speak on behalf of the meetings that were held. She said that they had meetings with different City officials, residents and sent out certified letters to the property owners asking them to secure a meeting with them. Some of the residents responded others did not. She further stated that they also met with the different schools in the area as well. They met with Dr. Rollins, superintendent of the Springdale School District and with Perry Webb who is president with the Springdale Chamber of Commerce.

Dr. Compton said he was glad that they had made the effort to meet with the various persons in Springdale. He said that as of four days ago he was curious as to why they had not met with Springdale High School and Pete Jenks.

Ms. Singleton said they had made attempts to contact him so they could speak to him and were not successful.

Mr. Compton said as of today, they had not talked to Mr. Jenks.

Ms. Singleton said they were unable to make a connection with him.

Mr. Compton wanted to know if they had made any contact at all with significant Special Ed staff members. These are the administrators that would work with these kids.

Ms. Singleton said they had a meeting with Dr. Rollins and that he brought in those that he thought would be relevant to the meeting. She said there were eight to ten Springdale Staff in attendance.

Mr. Compton wanted to know if they had a list of the dates and times of the meetings.

Ms. Singleton said that she did not have them with her tonight, but she does have a record of it.

Mr. Gaines asked if the rezoning isn't approved, what are the property owners supposed to do.

Mr. Parsley said that this will be a call for the vote. It will require a minimum of five votes to pass. If it does not get the necessary five votes then it can be appealed to the City Council. He further stated that if the Council does not approve the rezoning, then the property owner may take it to the Court.

Ms. Haney stated that when she is looking at the request, she understands the emotion attached to it. However, Piney Ridge didn't need to disclose who they were. It isn't required and the question that she sees before the commission is, is this the right location for C-2 zoning. She said that is where they rely on the Comprehensive Land Use Plan to help make their decisions. It can be a tough decision and sometimes not a popular one, but, she said that if she voted no to a C-2 then she is in essence saying no then she is saying that no commercial use is appropriate in that location.

Mr. Covert called for the vote.

**VOTE:**

**YES:** Gaines, Haney, Powell, Covert, Parker

**NO:** Parsley, Compton

The rezoning was approved by a vote of five (5) yes and two (2) no.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, September 27, 2016 at 6:00 p.m

The following will be verbatim minutes.

Mr. Parsley: Next item on the agenda is

John Backus

2126 Maestri Road

Expand an existing non-conforming

Use in an Agricultural District

Presented by Engineering Services, Inc.

Mr. Appel: Thank you, Mr. Chairman, Jason Appel with Engineering Services. This property is directly north of the intersection of New Hope and 112. We are asking to extend/expand our existing conditional use application for this property. Approximately a year ago, we came to you with a request to; we applied for a conditional use for this use of a concrete business in an A-1 zone. Currently, the business has expanded and we are trying to utilize more of the property for his business and so doing that the requirements by the City is that we ask for an expansion. We can only expand the use of up to thirty per cent of the property over and above of what is already used as commercial. I do have a little sketch of the approximate acreage and size of what we are proposing to expand that thirty per cent for. I do know there is, since this picture was taken there's been some grading activities happen on the eastern side of the property. We did receive a grading permit for that work. What has happened, is we have had a multiple meetings with the City in the last two months, trying to come up with a plan on how to clean up the property, store his forms, concrete materials in an appropriate way that was not outside of what his existing use was for. This picture is a little out of date. I do have some more recent pictures from yesterday and today that shows the dirt work

that has happened and how the forms and the concrete materials have been moved closer to the existing shop building. I'll try to answer any other questions.

Mr. Parsley: Any comments from Staff?

Mr. Sedberry: We don't have any Staff comments.

Mr. Parsley: O.K., any comments from the audience? Make sure to state your name and address, please.

Mr. Clint McClain: So I'm Clint McClain, 2082 S. Maestri Road. I own the property adjacent to the Backus'. I just want to make sure that we need to be clear. I went back and looked at the record from a year ago. This was presented a property that was annexed into the City. It should be clear that we annexed this in, in 2011. The property was purchased in 2013 according to City and business license did not exist at this location prior, we do concede that there was a small business that did exist there, however; that business that business had been closed for more than six (6) months prior to the purchase. While we do have a non-conforming use, we have a non-conforming use on a property in an A-1 zone that I ask the question; should it have been there in the first place? I am going to concede that, that is water under the bridge. I wasn't here to have that conversation; I should have been. As we have gone over the last year, what we have seen is continued expansion. If you can kind of roll forward, sorry I'm on a PDF which is not great.

When I purchased this property, I recognized it was in the City limits and you can see that it basically had a nice green field in front of us and a baseball field behind. Not a bad place to build a large house. Matter of fact, this is a house that had been repoed several times. I took a risk on it and part of the reason why I was willing to take this risk was the fact that it was in the City and I feel somewhat protected of what could go in next door to me.

Can you move forward? This is the point when, well this is the last, basically we are at the last Google image that I had and I recognized that there has been grading and clean up in the last, the clean-up occurred in the last week, and the grading has occurred in the last few months.

You can see that I have lived next to a massive construction zone now. This is a detriment to my property; kind of flow to the next.

The point of this, you can see that it's not just my property. The property to the north, Bill had to leave but this is a farmer that has long term plans to turn that into residential area. The property behind where the baseball park is the Johnston's. Sorry, can you go back that? The Johnston's, they own the property behind and to the side of it and they are not happy with continued expansion and I have a letter to that effect if you want to pass that forward. Gerald could not be here, but they are definitely not pleased with this.

And then if you can see all the houses surrounding. This is an agri community that is community. It is not a place where, it not a place, you know, not that there is anything wrong farms. These are not just farms. These are homes that are facing that property from across the road and there is in effect a lifestyle and property value with a continued expansion of Backus. Next picture please; this is just a shot of what I get to view as I walk out my garage. This is, as you can see, a large house that I live in and I get this sweet shot when I come though I will commend that there has been clean up in the last five days which has made that better. My question would be as we expand this, this will be in that expansion and I don't how we are going to manage that through zoning but it is a concern.

Keep rolling; next picture please; this is the grading and I am doing this on behalf of the Johnston's. The grading permit and I'm not an engineer these guys are, we now have a, that's about a six (6) foot wall of dirt that comes within about six feet of Johnston's property so we are a little concerned as to what that is going to do to water runoff. We ask the question, what would the expansion of that property would be used for.

This is what it looks like if you are sitting across the street on New Hope and you have a nice house on New Hope and you have the opportunity to wake up to this every morning and that typically starts around 5:30 or 6:00 when the compressors go off and the trucks start backing up. The noise carries nicely both to my house and my friends on New Hope.

I just wanted to get a quick shot of these homes. This is a neighborhood that cares about property value; that cares about their homes and has built a community. I'm pro-business all the way.

When the Backus' purchased this property, they purchased the property in the City limits that ag zoned. That actually didn't have a business existing on it. It came in for non-conforming use. The continued expansion of that is a detriment to values. I have asked my builder who finished my house who builds a significant amount of houses; what he thinks my property value has dropped since the Backus' has increased their business; \$200,000.00. That is real money to me. Across the street, I don't even want to know what it has cost each individual property owner.

The Johnston's are in a position, where they were considering building a home on their property and as you can see in the letter they are not that interested in using that property for that at this point. What does that cost them? They have owned this property for years. So I asked you guys to consider strongly expanding this is only going to hurt the community more; at what benefit? I'm sure it is great for Backus but it is not great for us. It is costing us money; real money and it is actually hurting our quality of life as we kick this thing off so A) I would ask us not to expand, B) I would ask us to force really good screening and I'm not asking for fences, I'm asking for what we should do for screening in an agri area which is evergreen trees of significant level all the way around. This is a business that doesn't need drive by traffic; it can be surrounded by evergreens and be just fine and I would ask that we consider making sure that we all understand

the noise ordinances and agree to time of day kick off and finish where we have large equipment, large compressors going off so that we can all enjoy our homes for what we bought them for.

By the way, these are my neighbors here. They just ask that I kick it off so that we don't repeat ourselves cause we know it's gone long before. So I just wanted to represent the base. They may have other comments they want to add to it.

Ms. Ford: My name is Anita Ford and I live at 2635 New Hope Road in Springdale. And I first want to describe what we have out there and I'm sure you all know most of it. On the northeast corner of our addition out there.

Mr. Parsley: Make sure you speak into the Mic.

Ms. Ford: Is the new Arkansas Children's Hospital that's going on. O.K. on the other side the new leg of the NW Community College. We also have what Clint was describing of what is going in down here on the southwest corner of our addition. He referenced Mr. Bill Brandt who had to go to another meeting and he asked me if I would read this letter and I concur with everything that he says.

He said: I am Bill Brandt and live at 2025 S. Maestri Road. (He has property behind the the John Backus property) and have property 260 feet north of the referenced property which is parallel, adjacent and just to the north of Mr. Clint McClain and G&LC family property. The referenced property was Stuckey Painting business prior to the existing business. The prior business had very little traffic and did not generate any noise in the early morning or during the day. I have no proof, such as photos or dates, but in my personal opinion the existing business has expanded more than thirty percent. I am opposed to the approval of the request for expansion of the non-conforming use. Any expansion will not enhance the eye appeal or be an asset to the surround area. Thank y'all.

Mr. Parsley: Thank you. Any other comments?

Mr. McClain: Can I ask one more question? Can we have clarity, if this was approved, what would Backus do with the incremental thirty per cent? What their plan is.

Mr. Appel: Mr. Backus is here and representatives from Backus Concrete. I'll let them address those questions.

Mr. Brandon King: My name is Brandon King; I'm the operations manager at Backus Concrete. Jason has, I believe, what was submitted to you guys. We are willing to put up trees, screening whatever we need to do. We want to peacefully work with everybody. We bought this property, knowing that there was a business there. There were two commercial buildings. There was a fencing for a yard there; chain link with barbed wire fencing. The house was being used as office previously. We bought this

property with the understanding that a business had operated there, was operating there and that we could also there.

Yes, we have expanded. Yes, we had to come get permits, conditional use, we had to work on all that stuff. At that time we didn't talk about or know what was going to be required or needed screening wise. I know that I have spoken with Clint about the screening on his property. That is something we understand and are willing to do. We are open to do whatever and like I said, Jason's diagram shows that and so with any recommendations we look at doing any kind of screening and things we need to do to make sure everybody is pleased with end product.

Mr. John Backus: My name is John Backus; the owner of Backus Concrete.

Mr. Parsley: Can you state your address as well?

Mr. Backus: It is 2310 Willow Bend Circle. You know and so within the last month or two I'm kinda hearing rumors of things going on and other neighbors not being happy. The only person that we were aware of was Clint. We have overheard that some of the other neighbors are frustrated with our noise and we work in a lot of plants and industry; so we have backup beepers on our equipment and trucks. Since we have heard the dislike of our noise, we have installed switches on all of our equipment to where we are able to disable our back up alarms during loading and unloading. We have also hired someone to come in and load in the afternoon so we can prevent loading a piece of equipment at 5:30 or 6:00 in the morning.

We are more than willing to try to appease the neighbors. Part of the reason of the grading permit was for the potential use of putting a shed or a barn, something that we can keep all of our equipment and forms out of the weather and sight from the public, the neighbors and traffic.

Until this last month, I had never heard that the noise was an issue. Clint had made a few remarks about the sight and the view and stuff like that but the noise had never come up. We are willing to put a fence up.

Mr. Parsley: Let me ask you a question. Why wait until now?

Mr. Backus: It had just now come up. It was never brought up during our permitting or our expansion. I mean, this has just come up recently.

Mr. Appel: I will say this is been kind of an ongoing issue for a few months. Instead of us running out and doing something before we knew if we could even use the property.

Mr. Parsley: I'm not talking about the expanded use. The screening of the existing use. Why wait until now?

Mr. Backus: That has never been brought up or asked for.

Mr. Parsley: Any other comments.

Mr. McClain: I don't pretend to be an engineer or an attorney but my understanding is in A-1 zoning you put one building per two acres. Is that correct?

Mr. Sedberry: That is for residential use.

Mr. McClain: So can we have as many buildings as we want if we allowed to be a commercial use like this is? My concern is when we expand this by thirty percent there are only two choices that can come out of it. One is that we can huge laydown lot which feels terrible to anyone in the community, park a bunch of vehicles out there or two we can build another building. Adding more buildings to this property is not conducive to the property value that I have or the ones around us that just causes more degradation to our values and we would ask that, that be considered as we think about this.

Mr. Roger Branscom: Roger Branscom, 6485 New Hope Road. I am just directly south of Backus. My question would be, I'm not sure I understand who obtained the conditional permit in the first place. Was it the prior business or Backus?

Mr. Sedberry: Well, there was no conditional use. They came before the Planning Commission to be recognized as an existing non-conforming business and the Planning Commission granted them that status. There was no application for a conditional use which is a kind of a separate thing itself.

Mr. Branscom: So how was a business able to operate on agricultural? I built a home two years ago and I had to follow the rules based on the property rights of my neighbors and there was an assumption that there wasn't a huge industry or commercial situation when I moved there. I don't think Backus had begun operation there yet. I would like to just ask does Backus intend to build another building or buildings? I think that is it.

Mr. Larry Bonet(?): Hello, my name is Larry Bonet and I live at 6447 New Hope Road. I have been there 26 years. If you look at this building right here on this corner at the bottom that was built about 7 years ago and a guy parked his truck in it. Then there was another small building, you can see the outline of it on the roof right there. Now this other building has been expanded about 16 feet on this side, added to and all that's been added on since then and he has cleaned it up some. That looked like a junk yard out there about three months ago. It looked like a salvage yard for a bunch of old building material. He has cleaned it up but since he's started this new construction and that dirt work back there, it has just been terrible. To put another building back there and extend this property that's not a location for a concrete company. That is a residential neighborhood. It is just not a suitable place for this type of business. I'm sorry but that's just the way it is. Go somewhere else if you want to build something that big and expand that much. Sell that and move somewhere else. That's all I've got to say.

Mr. Backus: You know Clint and some of the neighbors have made some complaints to the City. You know and the City has responded. They have come out there five or six

times in the past six months. Never one time has anything been asked of us to do anything different. They all applaud and commend us and have a business; it may look like junk to some people, but it is stacked, palletized, banded forms. It is not just randomly piled with stuff. We run a tight ship. We have equipment that load it and sort it. It is not just a junk yard/scrap yard by any means. This is, not to mention, our business has frontage on Highway 112. This isn't a residence. This is a highway frontage. We are not on Carley, we are not on Don Tyson; we are on Highway 112.

Mr. Parsley: Any other comments, Missha?

Ms. Missha Wagoner: I'm just going to give you the facts as we have it. We were approached last year about going to this business; they didn't have a business license. That is what started the initial inspections from Buildings and the Fire Department. There were certain things that they were required to do; one was a fire hydrant which was required to be put on there; paving was also included and so that is what initiated the inspections. We got some other complaints this year based on unsightly/unsanitary, some of the noise different things like that, that prompted us to go back out there. While we were out there, we noticed multiple violations which we did address at the time. We had a meeting with everyone on June 21 to discuss many of the things, some of the screening issues, some of the screening of storage issues, the parking on the grass, the paving quite a few different things. Again, that was back in June. Today we did take some photos. They haven't stopped parking on the grass, there is no paving. They did try to screen but unfortunately they tried to screen with a fabric so we will need address that it needs to be the proper screening material per ordinance and they would have to remove the fabric. The only other question that we have in this whole process is on the house. The residential house there is being used as residence so if this is included in the commercial use in the commercial zoning in the expansion, then we would have to require them to use it as commercial and move out or not include it in the thirty percent increase; otherwise it would be a mixed use.

Mr. Parsley: Thank you Missha. Alright it is to the Commission.

Ms. Jerry Lynn Backus: My name is Jerry Lynn Backus, I live obviously at 2310 Willow Bend Circle. I think a lot of the issues have been addressed, but like Missha just said that there are a lot of things that you gave us to do that we have done. We have paved, we haven't paved the entire area, which would be extremely expensive, and y'all can understand that. But we have developed it; we have paved entries and exits. We have done, cleaned up a lot of stuff. If a building would help that, then yes, we would be happy to put a building in. If you say we can't put a building in, then we are trying to make options to clean that up. I think that obviously, from the neighbors' perspective there are things but that neighbor is not giving you the perspective that he sees from the other end of his house. I mean there is a trailer with a lot more trash than what there is at Backus Concrete, I promise you, in his front yard. Backus prides itself on the business that it brings to Springdale. We take pride in the fact that our equipment is clean. When you go to a job site it is cleaned. We get great reviews back from people that we do business with. I think it speaks volumes for the amount of money that we

have brought into Springdale. We are not here to try to stir something up. We are here to be a cooperative as we can.

Mr. McClain: I recognized that when we moved into this house what my neighbors were to the front. They have been great neighbors; never have had any problems. We have a large screen fence and that was my responsibility because they are living within the same exact property when they were annexed. It is not commercial, it may not be pretty but it is within a conforming use and it is not for me to judge. My question was more for the matter, I am the person that called and said what we can do on this property because we have to have some limitations. Property values do matter to this community and it is impacting all of us. While, yes, I would love for those guys to have a beautiful house, I would, it was my responsibility to screen it. If you will note, there is a large fence and I have put up pine trees so that my view is actually just fine going forward. You can look to my left there. I have put about \$5000.00 worth of pine trees to do the best I can do on screening. There is only so far I can go with my sight and there is the overall question of how large of a business should we allow in an A-1 area. Thank you.

Ms. Backus: I would just like to say, with Jason, we are trying to build up when he is saying that from his house as he looks over toward us, the building up that we are doing with the ground work, if we planted trees right now, we could plant 25' trees and he would still be able to see straight in to our property. So we are building the property up so that it is level with his property so that we can put screening in. Otherwise the screening would not be relevant. Jason is working on drainage. We are putting it in, that's part of the reason we are building the property up just so that we can screen it and make it less visible.

Mr. Parsley: Thank you.

Ms. Ford: Mr. Brandt did leave early, but I'm not going to let that ride without saying that they are building it up but it is all running on to Mr. Brandt's acreage behind them. I don't know what the Commission rules are about that but that's where he stands.

Mr. Appel: I believe that Brad in Engineering has been out inspecting the Storm Water Pollution Prevention Plan. He can speak to that if he wishes. All that water was going into that corner before we started this grading operation. We put in all the appropriate controls to keep the sediment from running off the site, as far as that comment goes.

Mr. Parsley: Brad, did you have anything on this? O.K.

Mr. Backus: Most of our materials are temporarily stored. I mean none of these are permanent fixture object, whether it is equipment or materials it is usually just an area for unloading, finishing a job, and loading back up to start another job. What we are looking to do is to consolidate and shelter it and it would be screened. I mean it would be from everybody's view.

Mr. Parsley: Thank you.

Mr. Branscom: Is this zoned agricultural or commercial.

Mr. Sedberry: agricultural.

Mr. Branscom: I'm missing something here. If I'd try to do this on my property, if I tried to have a contractor's business and operate it out of my home and store a truck; it wouldn't happen. You guys would be on me in a minute. So I'll ask again, where did the ball get dropped; when did the business; when was the business allowed to not only start but to continue and expand on agricultural zoned land?

Mr. Parsley: Just visiting with Clayton on this. When a property is annexed in to the City, it is annexed in as an A-1 associated with this. As Clayton has stated previously, in a Planning Commission it was brought forward as far as a non-conforming use associated with that and that was granted as far as in that A-1.

Mr. Branscom: To Backus or to the previous business?

Mr. Sedberry: Backus.

Mr. Branscom: O.K. so they were granted a conditional permit.

Mr. Parsley: It is not a conditional

Mr. Branscom: A temporary or what is the difference between that and just changing the zoning to commercial.

Ms. Sparkman: Sarah Sparkman, Deputy City Attorney. Think of it as being grandfathered in so what was found before there was an existing business there when it was annexed in to the city. It was made A-1 because everything that comes into the City is A-1; basically continuing a business use that's allowed there because it was grandfathered in. Does that make sense?

Mr. McClain: There was not a business license.

Ms. Sparkman: That issue has already been decided by the Planning Commission. Can I please finish what I'm trying to say.

Mr. McClain: Sure you can.

Ms. Sparkman: That is an issue that has already been decided by the Planning Commission and that is not what is before this body tonight because the body has already made that decision.

Mr. McClain: My only point to that why would we continue to expand upon a decision that was made that we could ask the question since the business that we can't prove even existed six months before, did not have a license and the neighborhood as I have

been asking since it was not in operation for six months which is my understanding that it has to be in operation within six months to be grandfathered in. I am not suggesting that we change that, I'm just asking the question why we would add fuel to that fire.

Mr. Parsley: Any other comments? O.K. it is to the commission.

Ms. Haney: I'm going to start and I'm going to say often times we are told that we are not business friendly and I think that when we did this non-conforming use there was a piece of property with some buildings up already and we allowed it to continue in that manner for the use of that building to go on. I do have an issue going deeper into an area perhaps not our plan for that area, because then you are expanding on that use.

Mr. Ernest Cate (City Attorney): Can I just expand on something real quick. The very first item you had your agenda was a proposed amendment to this particular provision to the zoning ordinance that would add a provision that says that if you don't otherwise comply with all other City Ordinances you put your non-conforming status/grandfather status in jeopardy. This is a great example of why we are changing that. I just wanted to make that clear.

Mr. Parsley: But we have to vote based off of what is currently there right now. That has to be approved by City Council. I just wanted to make sure that is clear, but you are absolutely right, it is a good example.

Ms. Haney: But we don't have to allow them to expand beyond a certain percentage.

Mr. Parsley: That's right, that's what we are voting on right now.

Ms. Haney: To me that is when, for myself, because I can't speak for the rest of you, is you have that property, the business buildings were there so short of tearing it down we went with being business friendly to allow that use to continue. But to allow the use to expand substantially into an area we would have never allowed it in the first place had it belonged to the City and not been annexed in, I would have some issues with even if it was a quiet business and not having any

Mr. Backus: How would we be allowed building permits to expand the building size without any intent of expanding the business? It was never brought up that O.K. you have maxed out your property, we are going to issue you your building permits but you have to understand that this is it. Obviously we are expanding our business; we are going to expand our revenue and our tax dollars and our footprint. I mean it was never mentioned.

Mr. Powell: So we are improving this piece of property basically. That is what he is wanting to do is improve?

Mr. Sedberry: Making improvements. As to whether you are improving it or not

Mr. Powell: Do what?

Mr. Sedberry: Whether the property is being improved is

Mr. Powell: What his intent is to improve the property.

Mr. Sedberry: Yes, they are making commercial improvements to the property.

Mr. Powell: So if he wanted to go beyond thirty percent then he would have to ask for a rezoning?

Mr. Sedberry: That is the way the non-conforming clause works, yes.

Mr. Powell: So up to thirty percent but if it was thirty one percent he would have to rezone it? Is that what I'm hearing Ernest?

Mr. Cate: The Ordinance says that you can expand an non-conforming use not to exceed thirty percent with Planning Commission approval. But if you go above that, then you would have to come into compliance with the zoning ordinance. In other words you wouldn't be grandfathered anymore; which in this case, yes, we would require them to get rezoned. Does that answer your question?

Mr. Powell: Yes. So this is it. So if he goes thirty percent now

Mr. Cate: Yeah

Mr. Powell: That's as big as he can go.

Mr. Backus: That's as far as we can go.

Mr. Sedberry: I think the area he is proposing is in excess of that thirty percent and that's why he is here. He is basically taking the entire property now, pretty much. There are some areas on the south side that they are not using.

Mr. Powell: So he is wanting to go beyond thirty percent? Is that what you are saying?

Mr. Appel: No, we are proposing to go to thirty percent additional from the existing acreage that was determined to be commercial and expanding that an additional thirty percent.

Mr. Sedberry: So he has met that thirty percent threshold which is why he is here.

Mr. Appel: We are asking to go to that thirty percent threshold. We are not going to go over.

Ms. Haney: So to expand it all they have to have permission to expand it at all?

Mr. Appel: Yes; even if it is ten percent or fifteen percent.

Mr. Powell: So thirty percent is not all of his property.

Mr. Appel: Correct. So we determined that there was 2.84 acres in the front that was utilized as commercial when he purchased the property.

Mr. Powell: It was commercial?

Mr. Backus: The footprint of the whole property was 2.84 acres.

Mr. Appel: So we are asking to go thirty percent on top of that 2.84 and the whole property

Mr. Sedberry: You are going to add 1.10 acres to the existing.

Mr. Backus: The property is 4.5

Mr. Appel: That leaves three quarters of an acre left.

Mr. Parsley: Any other questions? This is will be a call for the vote.

Mr. Covert: I have one quick question, I'm sorry. I don't want to belabor the issue. The Backus' have been very clear that they don't have an issue putting in some additional landscaping, correct? You have been pretty clear that the mounding of the dirt has been checked for significant runoff?

Mr. Appel: Correct.

Mr. Covert: I would just ask that as you move forward that you reach out to the neighborhood, Clint however you want to designate that as far as whether you want to drive that or you want to get the neighborhood together to be able to talk with them about what would best help you from a landscaping perspective. I think they are willing to meet you on that. I think that they have been cleaning up the property and doing what's been asked of them by the City. I would just encourage you both to do that as you go forward.

Mr. McClain: My assumption is that the screening requirement is required whether you guys added an additional thirty percent to this or not? Is that correct? It is a business in an agricultural area; my understanding is that it requires screening; or does it not?

Mr. Sedberry: My understanding is it would. I don't think granting a non-conformity in this case, an expansion, would exempt them from any part of the Ordinance. Am I correct Ernest?

Mr. Cate: It would not exempt them from Chapter 56.

Mr. Sedberry: It would not exempt them from Chapter 56 which is the landscaping Ordinance.

Mr. McClain: So whether they expand or not

Mr. Covert: Let me make sure that I am clear about what I am talking about; I am talking about additional landscaping that would help you with the issues you raised to night.

Mr. McClain: Oh, yeah

Mr. Covert: They are more than willing to meet you on.

Mr. McClain: I appreciate that.

Mr. Sedberry: Ernest, does this exempt them from doing a large scale development as well; if they grant that?

Ms. Minet: My name is Pam Minet at 6447 New Hope Road. Again, this is devaluing our property. We can see it out our front door. Not sure what this foundation that is underneath the dirt work. We have seen trucks of concrete coming in and the noise sounds like you have a helicopter hovering over your house all day long. I realize the building is not going to go on forever, but I'm considering our property value. Thank you.

Mr. Cate: A large scale is not required but before you can grant an expansion they do have to provide a site plan. I assume that they did. That would in essence

Mr. Sedberry: Well, they brought up a building a couple of times. There is no building shown on the drawings.

Mr. Cate: If they are going to expand it, the Ordinance requires them to provide you with a site plan that shows how they are going to expand. So in other words, you have something to hold them to.

Mr. Sedberry: I have another question. They brought up noise several times. The noise ordinance specifically addresses noise level by zone. Agricultural is not one of those zones.

Mr. Cate: Well they would be treated as commercial and it also has time requirements; 11 p.m. to 7 a.m. in between those times is quiet times. If there are noise issues, by all means call the police.

Mr. Parsley: Any other questions by the commission?

Someone ask a question but could not be heard.

Mr. Sedberry: No. They just show the area that they want to expand to. They have to provide that before they can do any work.

Mr. Appel: We just show the sketch of the property; what we are proposing to expand to the thirty percent.

Mr. Parsley: So if there were another building to be built on that they would have to present a large scale that would have to be approved.

Mr. Sedberry: Not a large scale, they would have to turn in a site plan and it would be an administrative review.

Mr. Parsley: Any other questions? This will be a call for the vote.

Mr. Covert: Call for the vote.

Mr. Parsley: Call for the vote by Mr. Covert:

Ms. Pounders: Haney-no; Parsley-no; Powell-yes; Compton-no; Covert-yes; Parker-no; Gaines-no.

Mr. Parsley: It is denied five to two.

Mr. Appel: Can that be appealed?

Mr. Sedberry: It can be appealed to City Council. You have to do the same as a regular rezoning. It has to be in the City Clerk's office within fifteen days in writing. You do not have to notify the adjacent property owners.

Public Hearing – Rezoning

- A. R16-35 Thomas J. Embach Revocable Trustee  
905 Mill Street  
From SF-2 to PUD  
 Presented by Civil Design Engineers, Inc.

Mr. Sedberry stated that it is already zone PUD, the applicant is making a small change to the PUD and that required the applicant to come back.

Mr. Ferdie Fourie was present on behalf of his client to answer any questions or comments. He said they had to make a revision due to the floodplain. In their dealings with FEMA they didn't allow the applicant to change the boundary the way they wanted to so they had to redesign the site, which in turn caused them to decrease the setback on between lot 2 and lot 1; the number of units have not been changed.

Mr. Sedberry asked if the entrance drive is the same.

Mr. Fourie said that it was the same. The alignment of the road has been changed so that they are out of the floodway. He further stated that they included a commercial area that was not included in the first approval. He said they are not proposing anything on it at this time; they are just proposing a mixed unit for that small area; perhaps a daycare or a small business.

Mr. Parsley asked for Staff comments.

There were none.

Mr. Parsley asked if there were those in the audience that had comments or questions.

There were none.

Mr. Covert asked what the size of lot 2 was before the setback was changed.

Mr. Fourie they had to move the property line slightly to the north because the base flood elevation at FEMA made them use was about a foot higher than the one they were using.

Mr. Covert asked then if lot 2 was increased to 4.6 from 4.4 and decreased the setback. He then asked what the setback was before and what it is currently.

Mr. Fourie said it was 20 feet and it is now it goes down to three feet. He said the reason there is no problem is because nothing can be done on that lot; lot 2 can never be developed.

Mr. Covert said he was confused as to why the lot was increased in size. He wanted to know why they couldn't leave the line as is.

Mr. Fourie stated because the floodplain moved to the north requiring them to move the project to the north so that the entire floodplain will be out of the future development. He said that if we didn't move the line they would not be able to build on lot on1.

Ms. Haney asked about the commercial lot.

Mr. Fourie said that it wasn't included in the initial rezoning because Mr. Embach didn't own it at the time. Since the rezoning he has obtained that lot they thought with this revision they could include it as a commercial property within the PUD.

Mr. Sedberry said that they will have to know what Use Units they will be using before. He said that the Planning Commission has to know that before they can okay a commercial piece.

Mr. Fourie asked if they could remove it at this time.

Mr. Sedberry said that they could.

Mr. Fourie said they would remove it and come back at a later time to request the Use Units that they want.

Mr. Covert said he was still concerned about the 3 foot setback on lot 2.

Again, Mr. Fourie said that it doesn't matter as they will never be able to build on that lot. He said they are dedicating that entire area as part of the common area for the PUD.

Mr. Powell called for the vote.

**VOTE:**

**YES:** Parsley, Powell, Compton, Covert, Parker, Gaines, Haney

**NO:** None

The revisions to the PUD were approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the Ordinance to go to Council on Tuesday, September 27, 2016 at 6:00 p.m.

The following rezoning will be verbatim.

Mr. Parsley: Next item on the agenda:

R16-37

Daryl & Sally D. Hawkins Revocable Trust

W. side of 56<sup>th</sup> Street, N. of Sisemore Lane

From A-1 to C-5

Presented by Engineering Services, Inc.

Mr. Appel: Thank you Mr. Chairman. We are requesting that this property go from A-1 to C-5. It is approximately two acres. I'll answer any questions.

Mr. Parsley: Staff comments.

Mr. Sedberry: The rezoning request is not in keeping with the Comprehensive Land Use Plan and is not recommended for approval. Current zoning district is in keeping with the Comprehensive Land Use Plan.

Mr. Parsley: Any comments from the audience? To the commission.

Mr. Appel: I would like to say that there is C-5 directly across 56<sup>th</sup> Street.

Mr. Covert: So the Staff comments, Clayton, just so I can understand not wanting to approve it is because it is just not a C-5 area or

Mr. Sedberry: The land use plan shows residential use for that.

Mr. Covert: Do we know if that is an accurate statement there is C-5 across there?

Mr. Sedberry: There is C-5 across the street, yes.

Mr. Covert: Do we know when that was put in, by chance? I know that that is a hard question just to pull out.

Mr. Sedberry: Probably within the last three years.

Mr. Appel: I believe all the rest from that private north is C-5 as well, all the way to Don Tyson.

Mr. Sedberry: All the rezonings over there have been on the east side of 56<sup>th</sup> Street.

Mr. Covert: Nothing on the west side?

Mr. Sedberry: Nothing on the west side.

Mr. Appel: Is that what the master plan shows for the ball park district.

Mr. Sedberry: This is outside of the overlay district.

Mr. Appel: It's outside the overlay district?

Mr. Sedberry: Really the overlay stops at Don Tyson.

Mr. Parsley: Any other questions or comments? This will be a call for the vote.

Mr. Powell: Call for the vote.

Mr. Parsley: Call for the vote by Mr. Powell.

Ms. Pounders: Powell-no; Compton-no; Covert-yes; Parker-no; Gaines-yes; Haney-no; Parsley-no.

Mr. Parsley: This is denied 5 to 2.

Mr. Sedberry: You can appeal the Planning Commission's decision within 15 days in writing to the City Clerk's office and you need to notify the adjacent property owners.

- C. R16-37 Martin & Euginia Palma  
1911 W. Huntsville  
From C-1 to C-2  
Presented by Hazel Pirnder(?)

This request was tabled due to no one being present to answer questions or comments.

Public Hearing – Conditional Use

- A. C16-14 HELPS, LLC  
650 W. Highway 264  
Use Unit 33 (Cell Tower) in C-2  
Presented by James Cardinal

This request was tabled due to no one being present to answer questions or comments.

Lot Splits

- A. LS16-25 Mark & Pamela McGarrah  
W. side of E. Monitor Road  
South of Benton County Line
- W16-13 Waiver of subdivision requirements  
Presented by Bill Jenkins

Mr. Jenkins was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry stated that this was outside the City limits in the planning area. He then read the Staff comments.

1. All comments from the utility companies and other city departments must be addressed prior to approval.
2. A waiver from the subdivision requirements will need to be requested and granted prior to approval for filing.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Covert moved to approve the waiver. Ms. Haney seconded the motion.

**VOTE:**

**YES:** Compton, Covert, Parker, Gaines, Haney, Parsley, Powell

**NO:** None

The waiver was approved by a unanimous vote.

Mr. Covert moved to approve the lot split. Ms. Haney seconded the motion.

**VOTE:**

**YES:** Covert, Parker, Gaines, Haney, Parsley, Powell, Compton

**NO:** None

The lot split was approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff will prepare the resolution for the waiver that will go to Council on Tuesday, September 27, 2016 at 6:00 p.m.

Preliminary Plats, Replats & Final Plats

- A. RP16-05 Replats Lots 1A & 1B Block 41 replat of Lot 1  
Block 41 & Lot 1B Block 41 Har-Ber Meadows PUD  
Phase XII  
 Presented by McClelland Engineering

Mr. Nathan Streett was present on behalf of his client to answer any questions or comments. He stated that this is in conjunction with Freddy's Frozen Custard and Steakburgers on the NW corner of 412 and Founder's Park Drive. This is request is to adjust the lot sizes.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

- 1. All comments from utility companies and other City departments must be addressed prior to approval.

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Mr. Powell moved to approve subject to Staff comments. Mr. Gaines seconded the motion.

**VOTE:**

**YES:** Parker, Gaines, Haney, Parsley, Powell, Compton, Covert

**NO:** None

The replat was approved subject to Staff comments by a unanimous vote.

Mr. Sedberry stated for the record that Mr. Streett would need to have the Ordinance to the Mayor's office by noon on Thursday, September 8, 2016 for it to go to Council on Tuesday, September 13, 2016.

### Large Scale Developments

- A. L16-15 Ozark Center Point Place West  
N. of 412 W., E. side of 56<sup>th</sup> St.
- B16-55 A) Variance of distance between drives from  
150' to 136'  
B) Variance for modification of Commercial  
Design Standards  
C) Variance to allow green space width to  
vary from 3' up to 6.2'  
Presented by Leonard Gabbard, P.E.

Mr. Gabbard was present on behalf of his client to answer any questions or comments. He spoke on the variances. He said the big building on southwest side of the development; he tried to center the building. He said there is a big box culvert and a power pole with concrete around the bottom of it. He said that was the best place for the entrance to come in because of the low hanging power lines on either side of that. He said he set a median up which will have the power pole in it. He further stated that all the drainage will go away and become parking lot and it will go underneath the parking lot if the distance between drives is granted. The modification of Commercial Design Standards refers to the middle building. He said his client has talked about the building being an annex with the Cassidy Children's Clinic is on the South side so he held the grade of that building since they may need access from the client's from one to the other. He made the sidewalks level and faced the building to the west so that it would coincide with the Children's center. That is the reason for the modification of Commercial Design Standards variance. He said that on the third building all the way up to the north they were trying to use landscaping option number 4 which requires a 4' green space with a three foot high concrete, brick, stone or masonry wall. He said from one end of the building to the other it starts out with the lower end being about 3' which is behind the right of way. He said as it goes north he decided to asked that they be allowed to go over the minimum of 5' and go to 6.2' making the average width of the green space a little over 4'. He said that the ordinance is 5' but he feels his solution meets the intent of the Ordinance. He further stated that he had issues with the water line that is in the back of the building. He wanted to make sure the water department had their easement so he had to rotate the building to match the easement which is why the green space is varied; it meets all setback requirements on the front, side and rear.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

### **Planning Comments**

1. Notice to all adjacent property owners must be sent by certified mail, return receipt requested at the time of resubmission. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, shall be submitted. Please return white mail receipts and affidavit to the Planning Office. Green return cards must be submitted to the Planning Office prior to the Planning Commission meeting or may be submitted at the meeting.
2. Need State Plane Coordinates (NAD 82, Feet) for all fire hydrant locations.
3. Show the typical dimensions for handicapped parking, (11' x 19').
4. Show the width of the handicapped access area, (5' min.).
5. Show the location of the handicapped parking signs.
6. Handicapped ramps shall be provided wherever a sidewalk crosses a curb at crosswalks, driveways, and street intersections.
7. Landscape islands are required at a rate of 1 per 15 parking spaces, in accordance with Chapter 56. 12 islands are required.
8. Interior parking area landscaping is required in accordance with Chapter 56. Show the total area of the parking lot, the percentage of landscaping required and the percentage of landscaping provided. Include a drawing that identifies all areas included in the calculations.
9. Need a landscape plan that shows the details of the landscaped areas including type, size and location of plants. Show plant type and species.
10. Minimum width of a drive for a one-way traffic is fifteen feet (15').
11. Maximum width of a drive, exclusive of radii, is forty feet (40').
12. Scale is incorrect.
13. Minimum radius to the face of the curb for driveways is twenty-five feet (25').
14. Show all existing easements.
15. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. Show location and the State Plane Coordinates (NAD 83, Feet) for each streetlight.
16. Need to show dumpster location.
17. Show the size and location of all freestanding signs. Show distances from street right-of-way.
18. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
19. This development must comply with the City of Springdale Commercial Design Standards or a variance is required..

### **Commercial Design Standards Comments**

- 1) All sides of a principal building that directly faces an abutting public right-of-way shall feature at least one customer entrance unless, the principal building directly faces more than 2 abutting rights-of-way then only 2 entrances are required, one along the primary street and one along a secondary street.

- 2) Outdoor storage, trash collection, and loading areas must be landscaped so that their functions are fully contained and out of view of the adjacent property and the public right-of-way.
- 3) Façades over 100' in linear length shall incorporate wall projections and/or recesses per Springdale Commercial Design Standard.
- 4) Trash containers, trash compactors, and recycling bins shall be screened from public view on all four sides with a solid fence, wall, or gate constructed of cedar, redwood, masonry, or other compatible building material, and shall be appropriately landscaped.
- 5) Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meter shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture.
- 6) All rooftop equipment shall be screened from public view with an architectural treatment that is compatible with the building architecture.
- 7) Submit a unified lighting plan per Springdale Commercial Design Standards.

### **Engineering Comments**

- 1) **Sect 112-8(i)** Need to show:
  - a. Original topography
  - b. Location and size of loading areas.
  - c. Set back lines. Distance from property lines to paving, curbs, buildings, etc.
- 2) Show the final contours.
- 3) Need a legend identifying all symbols used.
- 4) Show the size and location of all freestanding signs. Show distances from street right-of-way.
- 5) **Sect 112-4** Show existing and proposed streetlight locations. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
  - a. The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
- 6) **Sect 106** Submit a preliminary drainage report, as outlined in the City of Springdale Drainage Criteria Manual.
  - a. Need to provide the City Staff with detailed calculations to support all drainage improvements.
- 7) **Sect 107** The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final

approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/departments/planning\\_and\\_community\\_development/](http://www.springdalear.gov/departments/planning_and_community_development/)

Mr. Parsley asked if there were questions or comments from the audience.

There were none.

Mr. Powell called for the vote on all the variances.

**VOTE:**

**YES:** Gaines, Haney, Parsley, Powell, Compton, Covert, Parker

**NO:** None

The variances were approved by a unanimous vote.

Mr. Powell moved to approve the large scale subject to Staff comments. Ms. Haney seconded the motion.

**VOTE:**

**YES:** Haney, Parsley, Powell, Compton, Covert, Parker, Gaines

**NO:** None

The large scale was approved subject to Staff comments by a unanimous vote.

- B. L16-16 Waco Title  
N. of Watkins, E. side of I-49  
Concept of Detention  
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

**Planning Comments**

- 1. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

**Engineering Comments**

- 1) Show the size and location of all freestanding signs. Show distances from street right-of-way.

**Sect 98-60(c)(1) Front Set back = 2-feet (leading edge) from ROW**  
**Sect 98-60(c)(2) = 10-ft side PL**

- 2) The concept of detention must be approved by the Planning Commission.
- 3) **DCM Section 5.4.10** *“An easement shall be provided in Plans for detention facilities. A minimum 20’ wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system.”* Ownership of the detention facility will remain with the land .
- 4) Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/departments/planning\\_and\\_community\\_development/](http://www.springdalear.gov/departments/planning_and_community_development/)

Mr. Parsley asked if there were those in the audience that had questions or comments.

There were none.

Ms. Haney called for the vote on the concept of detention.

**VOTE:**

**YES:** Parsley, Powell, Compton, Covert, Parker, Gaines, Haney

**NO:** None

The concept of detention was approved by a unanimous vote.

Ms. Haney moved to approve the large scale development subject to Staff comments.

Mr. Gaines seconded the motion.

**VOTE:**

**YES:** Powell, Compton, Covert, Parker, Gaines, Haney, Parsley

**NO:** None

The large scale development was approved subject to Staff comments by a unanimous vote.

- C. L16-17 Tyson Shared Services, Inc.  
S. of 412 W., W. side of Johnson Road  
Concept of Detention
- B16-56 Variance for reduction of distance between drives  
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

### **Planning Comments**

1. Notice to all adjacent property owners must be sent by certified mail, return receipt requested at the time of resubmission. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, shall be submitted. Please return white mail receipts and affidavit to the Planning Office. Green return cards must be submitted to the Planning Office prior to the Planning Commission meeting or may be submitted at the meeting.
2. Submit the approved authorization or representation form, if the property owner will not be present at Planning Commission meeting.
3. Minimum distance between driveways on adjoining properties is fifty feet (50') and 150' on a single tract.
4. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

### **Engineering Comments**

- 1) The concept of detention must be approved by the Planning Commission.
- 2) **DCM Section 5.4.10** *"An easement shall be provided in Plans for detention facilities. A minimum 20' wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system."* Ownership of the detention facility will remain with the land .
- 3) Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/department/planning\\_and\\_community\\_development/](http://www.springdalear.gov/department/planning_and_community_development/)

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote on the concept of detention.

**VOTE:**

**YES:** Compton, Covert, Parker, Gaines, Haney, Parsley, Powell

**NO:** None

The concept of detention was approved by a unanimous vote.

Mr. Covert called for the vote on the variance.

**VOTE:**

**YES:** Covert, Parker, Gaines, Haney, Parsley, Powell, Compton

**NO:** None

The variance was approved by a unanimous vote.

Ms. Haney moved to approve the large scale development subject to Staff comments.

Mr. Covert seconded the motion.

**VOTE:**

**YES:** Parker, Gaines, Haney, Parsley, Powell, Compton, Covert

**NO:** None

The large scale development was approved subject to Staff comments by a unanimous vote.

- D. L16-18 SHS Athletic Fields  
Huntsville & Pleasant & NE corner of Maple & Kansas  
Concept of Detention
- B16-54 A) Variance for modification of landscaping requirements  
per Chapter 56 (NE corner of Maple & Kansas)  
B) Variance to allow existing utility wires to remain as is
- W16-12 Waiver for sidewalk & streetlight requirement  
Presented by McGoodwin, Williams & Yates

Mr. Chris Brackett with McGoodwin, Williams & Yates was present on behalf of his client to answer any questions or comments. Also present were Mr. Jared Cleveland with the Springdale School District and Brad (?) with the architectural firm.

Mr. Parsley asked for Staff comments.

Mr. Sedberry read the Staff comments.

**Planning Comments**

1. Submit a copy of the Warranty deed.
2. Show the typical dimensions for regular parking, (9' x 19').

3. A screening fence is required in accordance with Chapter 56. Show trees associated with screen.
4. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. Show location and the State Plane Coordinates (NAD 83, Feet) for each streetlight.
5. The developer is required to dedicate right-of-way of an abutting street in conformance with the City of Springdale Master Street Plan. A separate dedication document shall be submitted to the City for filing.
6. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
7. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above.

### **Engineering Comments**

- 1) **Sect 112-8(i)** Need to show
  - a. Location of existing and proposed streetlights. ***Pending waiver approval.***
- 2) **Sects 110-31(a)** Sidewalks are required one-foot (1') inside the right-of-way line. Sidewalks are required along Maple St and Kansas St. ***Pending waiver approval.***
- 3) **Sect 112-4** Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. ***Pending waiver approval.***
- 4) **Sect 107** The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/department/planning\\_and\\_community\\_development/](http://www.springdalear.gov/department/planning_and_community_development/)

Mr. Parsley asked if there were those in the audience with questions or comments.

Mr. Rick Walls who lives at 404 S. Pleasant had a question. He wanted to know what exactly from where he lives. He said that he is at the corner of Rogers & South Pleasant.

Mr. Brackett said right across the street they are proposing a track facility.

Mr. Walls said that when he called he was told that the variance was for landscaping.

Mr. Sedberry said they are asking for a variance of the landscaping ordinance but that doesn't include their entire development. They are proposing athletic facilities.

Mr. Walls wanted to know how it would affect their property.

Mr. Sedberry stated that no one on Staff is an appraiser and did not have an answer for him.

Mr. Covert asked about the sidewalk and the streetlight waiver. He wanted to know where the light would be and why would they not want a sidewalk at a heavily trafficked area.

Mr. Brad Showcate(?) with the architecture firm spoke. He said they wanted a waiver for the sidewalks along the south and west side of the street lights. He said the reasoning behind the request is that they are under the impression that a regional trail is being planned on the two streets and they felt it was an inefficient use of their funds to build a sidewalk only to have to tear it out when the trail went through. He said that as far as the waiver for the street lighting, there are streetlights across the street along the park and the street lighting on the west is inconsistent.

Mr. Covert wanted to know what the timing was for the proposed trail.

Mr. Sedberry said he did not know when it was going to be put in.

Mr. Covert said he understood not wanting to put in a sidewalk just to rip it out again; he wanted to know if the school would be willing to put funds to go toward the trail that they would have put on the sidewalk to start with.

Mr. Sedberry stated that in terms of putting the trail in he didn't think that Staff can make them make a payment but they are required to build a sidewalk. That is one of the options that City Council has is to request payment in lieu of the improvements. He didn't know if that could be used for the trail. He suggested that perhaps Ms. Sparkman is better equipped to answer that question.

Ms. Sparkman said that there can be payment in-lieu of sidewalk but there cannot be payment in-lieu of the trail.

Ms. Haney said that the other option would be to bond.

Mr. Sedberry said that Staff could take a bond for the sidewalk but bonding by Ordinance is only a 270 day reprieve. They would have to install the sidewalk at some point. Whether or not the trail will become a reality at that point, he does not know.

Mr. Cleveland, deputy superintendent with the Springdale School District spoke. He said that right now what they are requesting is just a plan. The school district does not have the funding to even do the track in the designated area. It is a long range plan. They would want to make sure that in the event the funding becomes available the school district can move forward. He said in essence the track is just a dream and they would not be putting in a sidewalk until there is a track.

Mr. Parsley asked if this is project where the school district can go to State and ask for funding.

Mr. Cleveland stated that the State does not fund any athletic facilities.

Mr. Parsley stated since there is no funding available for the track part of the large scale development, he felt the school district was being premature in asking for the waiver of street lights and sidewalks. He wanted to know if they would prefer to wait until the funding is available before they ask for the waiver.

Mr. Cleveland said that if they were able to secure the funds within the next year to year and a half they want to make sure that the school district has every single dime accounted for.

Mr. Parsley said the school district has a history of asking for waivers for sidewalks. His suggestion was for the school district to make plans and have the funding for the sidewalks instead of just asking for a waiver every time they come before the Planning Commission.

Mr. Parsley asked if they wanted the Planning Commission to vote on the waiver or did the school district want to wait.

Mr. Cleveland said they would withdraw the waiver request for the sidewalk and pursue the waiver of the streetlights.

Ms. Haney called for the vote on the concept of detention.

**VOTE:**

**YES:** Gaines, Haney, Parsley, Powell, Compton, Covert, Parker

**NO:** None

The concept of detention was approved by a unanimous vote.

It was determined to take both variances together.

Mr. Powell called for the vote.

**VOTE:**

**YES:** Haney, Parsley, Powell, Compton, Covert, Parker, Gaines

**NO:** None

Both variances were approved by a unanimous vote.

Ms. Haney moved to approve the waiver for street lights only subject to Staff comments.  
Mr. Gaines seconded the motion.

**VOTE:**

**YES:** Parsley, Powell, Compton, Covert, Parker, Gaines, Haney

**NO:** None

The waiver of street lights requirement was approved by a unanimous vote.

Mr. Powell moved to approve the large scale development subject to Staff comments.  
Mr. Covert seconded the motion.

**VOTE:**

**YES:** Powell, Compton, Covert, Parker, Gaines, Haney, Parsley

**NO:** None

The large scale development was approved subject to Staff comments by a unanimous vote.

Board of Adjustment

- A. B16-53 Cypress Investments  
1008 Clayton Street  
Variance for deletion of screening requirement  
Presented by Engineering Services, Inc.

Ms. Robin Lundstrum, who is the owner of the property, was present to answer any questions or comments. She said that her tenants had not kept the property as they should have but they have since cleaned it up and she is here asking for a variance for the deletion of the screening requirement.

Mr. Parsley asked for Staff comments.

Mr. Sedberry said that it is the same variance request that was denied last month.

Mr. Parsley asked if there were any comments or questions from the audience. He asked Ms. Wagoner if she had any comments.

Ms. Wagoner stated that the owner has addressed the violations.

Mr. Powell called for the vote.

**VOTE:**

**YES:** Compton, Covert, Parker, Gaines, Parsley, Powell

**NO:** Haney

The variance was approved by a vote of six (6) yes and one (1) no.

- B. B16-54      SHS Athletic Field  
                   NE corner of Maple & Kansas Streets  
                   A) Variance for modification of landscaping  
                   requirement per Chapter 56  
                   B) Variance to allow utility wires to remain as is  
                   Presented by McGoodwin, Williams & Yates

These variances were approved by a unanimous vote in conjunction with the large scale development.

- C. B16-55      Mathias Properties  
                   Between 56<sup>th</sup> & Mathias Drive  
                   A) Variance of reduction of distance between  
                   drives from 150' to 136'  
                   B) Variance for modification of Commercial Design  
                   Standards  
                   C) Variance to allow green space width to vary from  
                   3' up to 6.2'  
                   Presented by Leonard Gabbard

These variances were approved by a unanimous vote in conjunction with the large scale development.

- D. B16-56      Tyson Shared Services  
                   W. of Johnson Rd., 600' s. of 412 W  
                   Variance for reduction of distance between drives  
                   Presented by Engineering Services, Inc.

This variance was approved by a unanimous vote in conjunct with the large scale development.

- E. B16-57      Arkansas Children's Hospital  
                   2601 S. 56<sup>th</sup> Street  
                   Variance for modification of screening requirements  
                   Presented by McClelland Consulting Engineers

Mr. Nathan Streett with McClelland Consulting Engineers was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Mr. Sedberry stated that Ms. Christie wanted Mr. Sedberry to read a couple of notes that she had.

The central energy plant is located on the site in an elevation to minimize its visual impact on campus. The majority of the equipment will be screened except for the cooling towers. They are located in the northwest corner and they are the furthest away any public right-of-way. The screening walls are proposed to be fifteen feet four inches above the finished floor elevation but the tallest equipment is seventeen feet six inches; additional landscaping is provided around the screening wall to offset this difference. To address the intent of the revisions of the overlay district, the screening wall will be masonry to a height of four feet eight inches above the finished floor elevation around the service yard and a metal panel will be installed on top of the wall with finished corners to provide a finished look for the perimeter of the storage area.

Mr. Sedberry it is similar material that is being used on the hospital.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote.

**VOTE:**

**YES:** Covert, Parker, Gaines, Haney, Parsley, Powell, Compton

**NO:** None

The variance was approved by a unanimous vote.

Waivers

- A. W16-14 John Easterling for Heather Douglas  
1094 Nichols  
 Waiver of sidewalk requirement  
 Presented by John Easterling

Mr. Easterling was present to answer any questions or comments. He stated that it is on a dead end road and the other corner lot is on Kingfish Road. Ms. Douglas' property goes past the street. There is no existing sidewalk and it will be difficult to establish grades on the property.

Mr. Parsley asked for Staff comments.

Mr. Sedberry Staff had no comments.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Covert moved to approve the waiver. Mr. Parker seconded the motion.

**VOTE:**

**YES:** Parker, Gaines, Haney, Parsley, Powell, Mr. Compton had to leave  
Covert

**NO:** None

The waiver was approved by a unanimous vote.

Mr. Sedberry stated for the record that Staff would prepare the resolution to go to Council on Tuesday, September 27, 2016 at 6:00 p.m.

Planning Director's Report

Mr. Sedberry did not have anything from Ms. Christie. Mr. Parsley said that there would probably have a work session on Tuesday, September 20, 2016.

There being no further business, the meeting was adjourned at 8:40 p.m.

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**Kevin Parsley, Chairman**

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**Vivi Haney, Secretary**

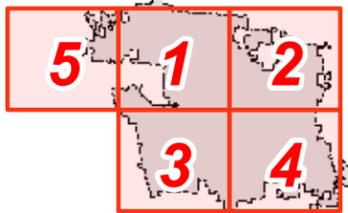
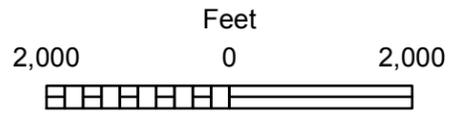
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**Clayton Sedberry, GIS and Planning Coordinator  
Planning and Community Development Division**

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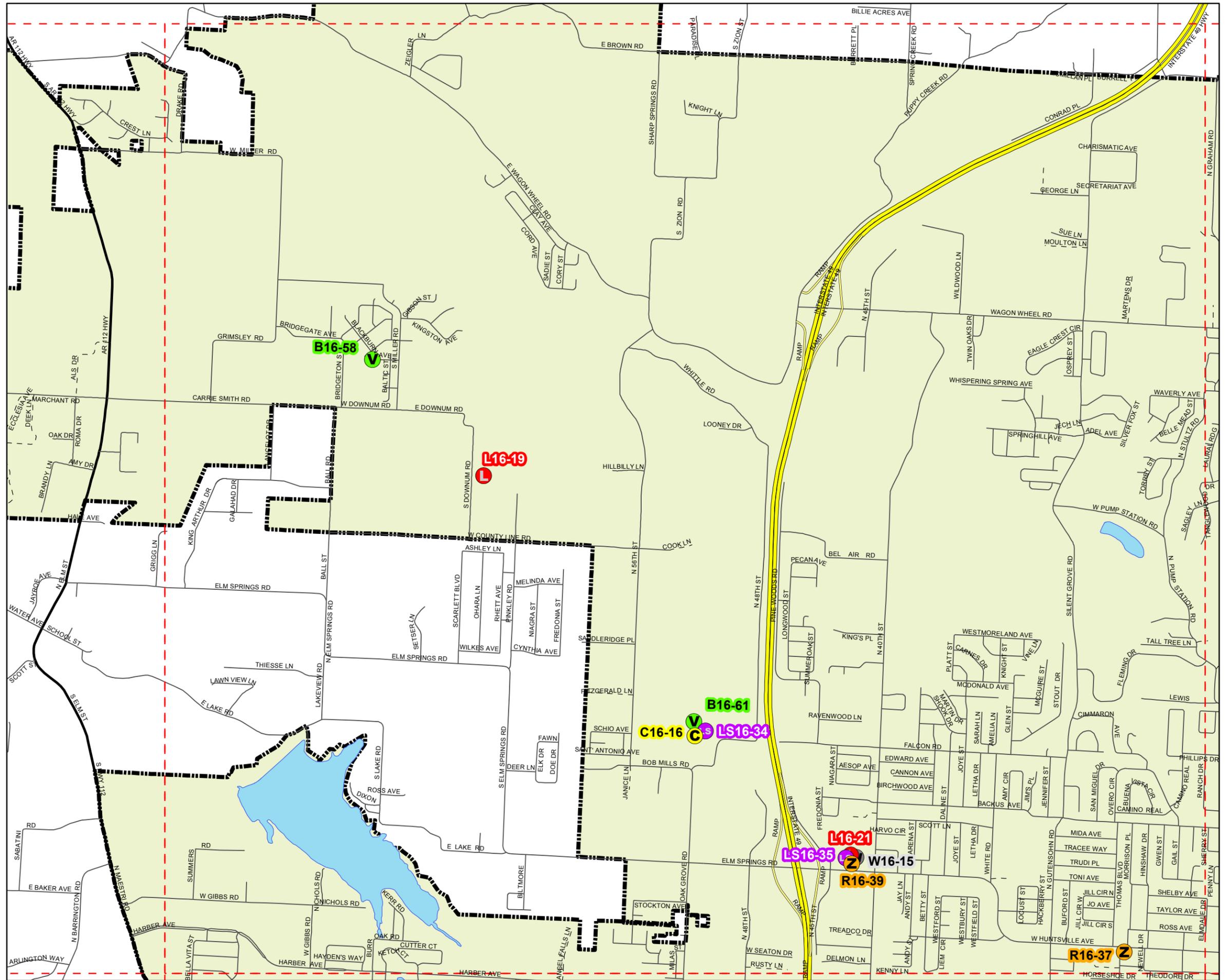
**Debbie Ponders, Recording Secretary**

**CITY OF SPRINGDALE  
PLANNING COMMISSION  
AGENDA ITEMS  
OCTOBER 4TH, 2016**

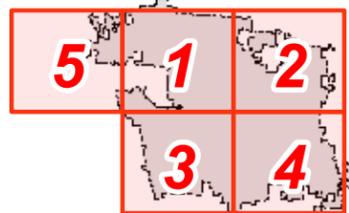
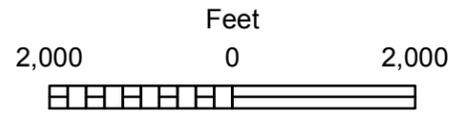


**SHEET 1**

- Rezoning Requests
- Conditional Use Requests
- Subdivisions (Prelim. & Final)
- Replats
- Large Scale Developments
- Variance Requests
- Lot Splits
- Waivers

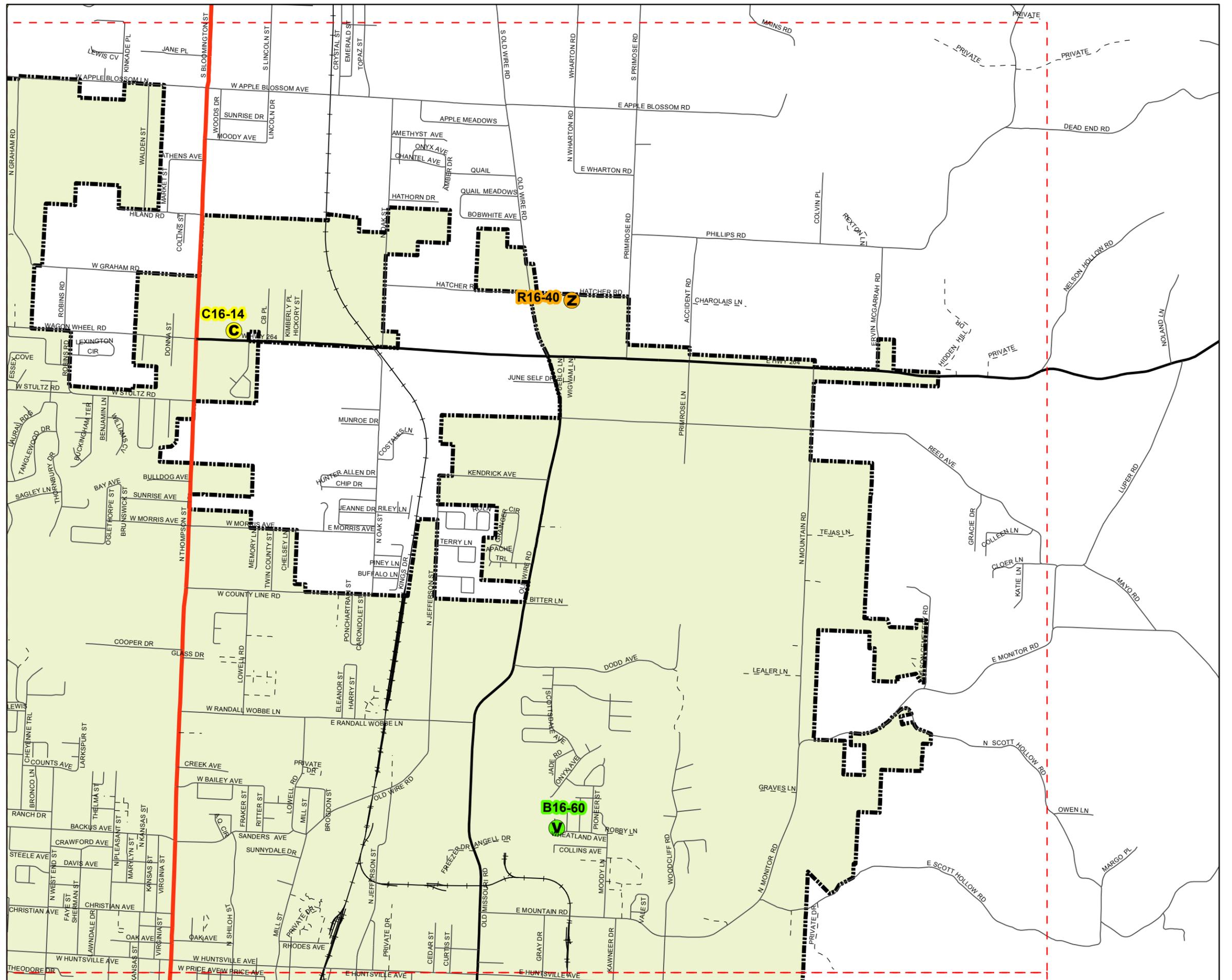


**CITY OF SPRINGDALE  
PLANNING COMMISSION  
AGENDA ITEMS  
OCTOBER 4TH, 2016**



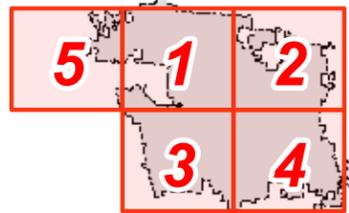
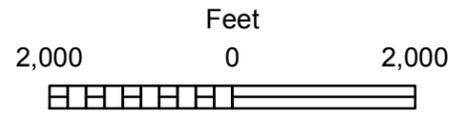
**SHEET 2**

- Rezoning Requests
- Conditional Use Requests
- Subdivisions (Prelim. & Final)
- Replats
- Large Scale Developments
- Variance Requests
- Lot Splits
- Waivers



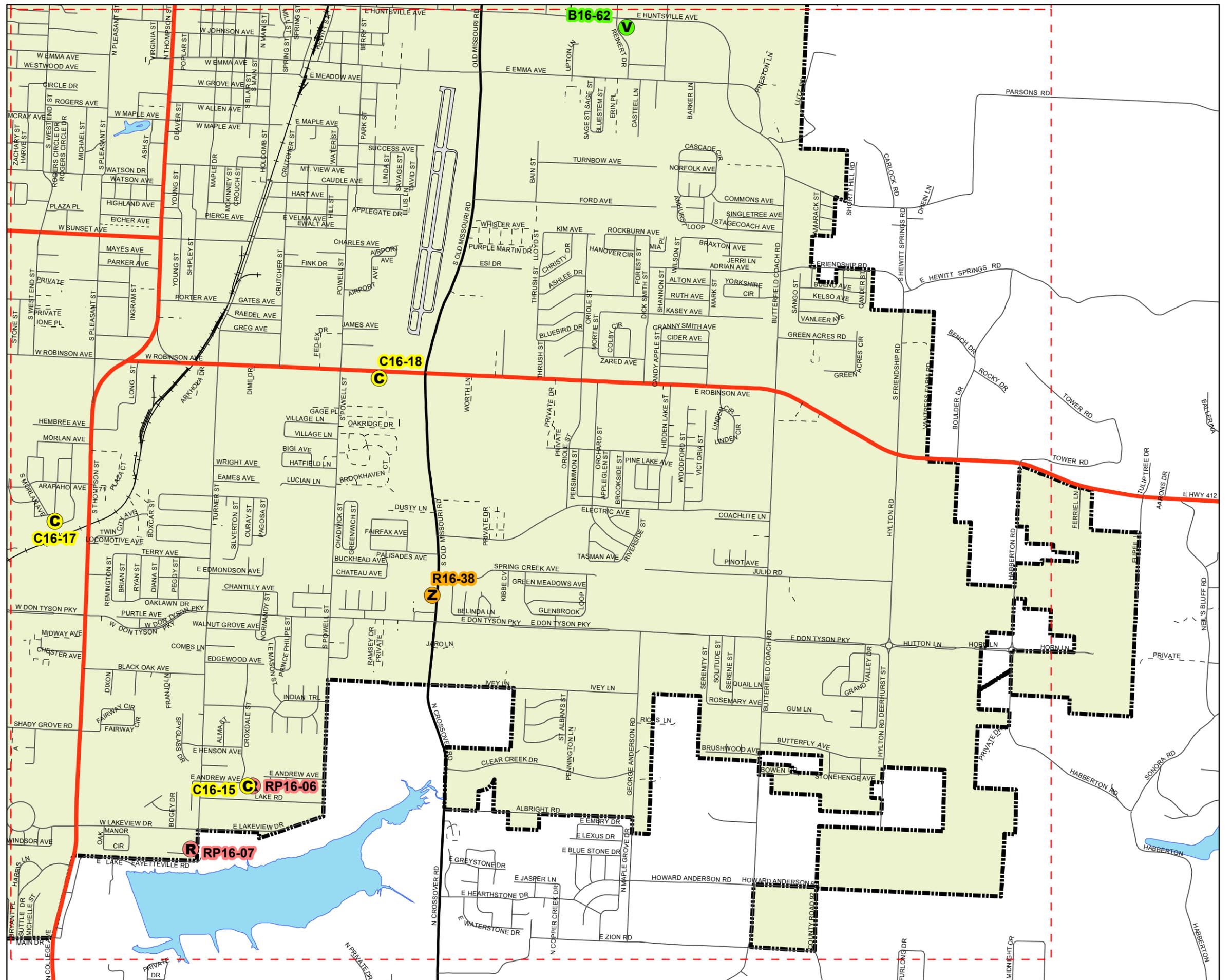


**CITY OF SPRINGDALE  
PLANNING COMMISSION  
AGENDA ITEMS  
OCTOBER 4TH, 2016**



**SHEET 4**

- Z** Rezoning Requests
- C** Conditional Use Requests
- S** Subdivisions (Prelim. & Final)
- R** Replats
- L** Large Scale Developments
- V** Variance Requests
- LS** Lot Splits
- W** Waivers



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**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** September 6, 2016  
**Re:** R16-37 Rezone

A request by Martin and Eugenia Palma for Planning Commission approval of a zone change from Neighborhood Commercial District (C-1) to General Commercial District (C-2) for a tract of land containing 0.8 acres.

## LOT LOCATION AND SIZE

The 0.8 acre tract is located at 1911 W. Huntsville Avenue, south side of Huntsville Avenue, east of Campbell Drive.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning of this tract is a C-1 Neighborhood Commercial district. The District is designed to accommodate limited retail developments within or adjacent to neighborhood areas for the purpose of supplying daily household needs of the residents for food, drugs and personal services. Commercial uses within this district should not depend on market areas larger than the neighborhood served. The district may also be used in conjunction with existing commercial developments as an extension of such established commercial district. The C-1 district shall generally be located at arterial or collector street intersections and within walking distance of residential areas.

Uses permitted: - 1, 4, 16, 17, 19, 27  
Conditional Uses Permitted on Appeal: - 2, 3, 8, 28, 29

## DEVELOPMENT CRITERIA

1. Developments shall be designed to accommodate between one (1) to fifteen (15) stores on a site not more than five (5) acres in size.

2. Maximum gross leasable area of five thousand (5,000) square feet per establishment, except that one (1) establishment may have not more than ten thousand (10,000) square feet.

### ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

### SITE PLAN REVIEW

When a conditional use is proposed in a C-1 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

### HEIGHT REGULATIONS

There shall be no maximum height limits in C-1 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

### AREA REGULATIONS

#### SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

### GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

### OFF-STREET PARKING

See Article 7 of this chapter.

### REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular

traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

### SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains commercial structures. The property to the north contains multifamily residential units in C-1 zoning. The area to the east contains office and commercial uses in C-1 zoning. The area to the south contains multifamily residential uses in MF-12. The area to the west contains commercial uses in C-2 zoning.

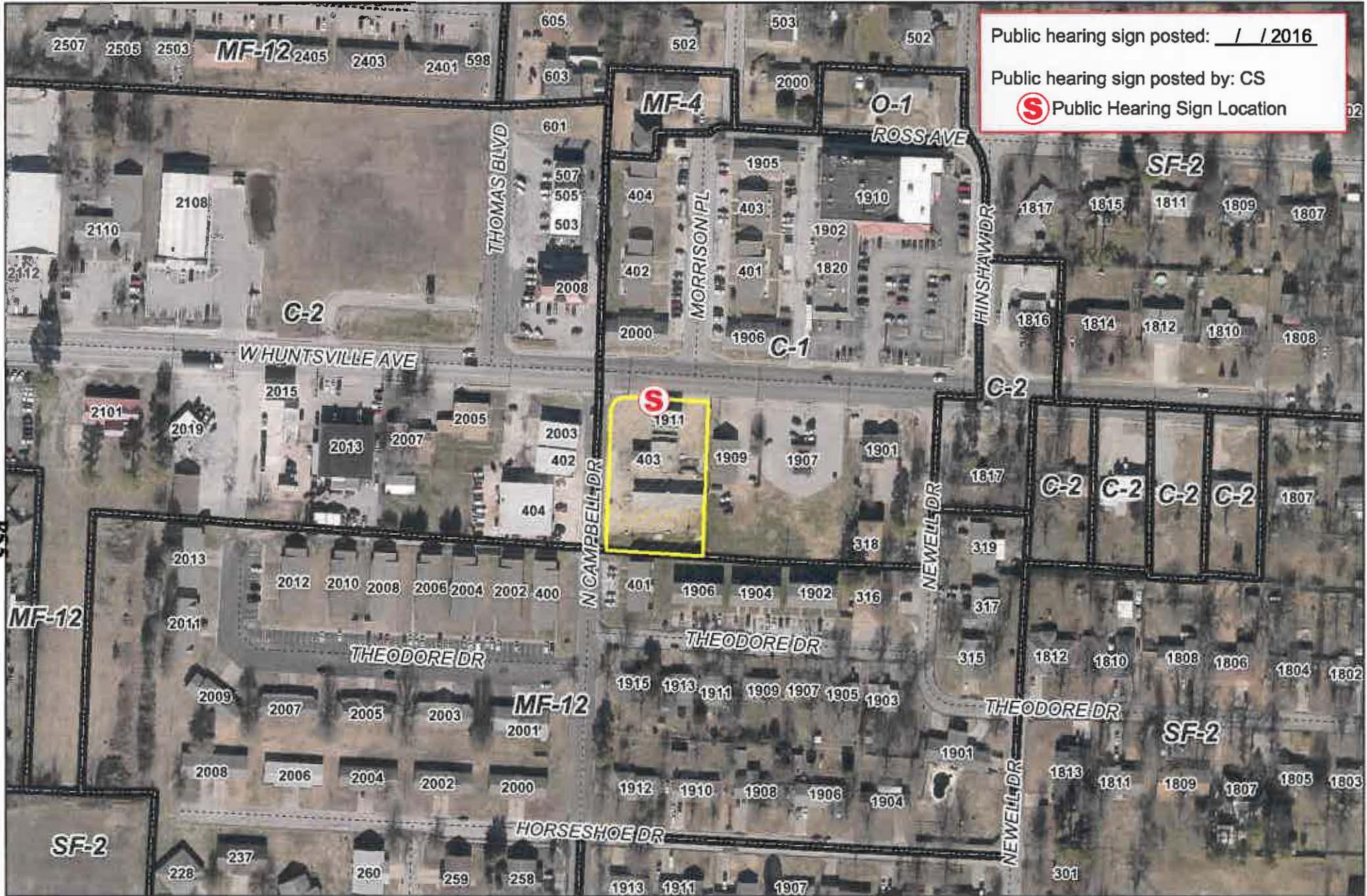
### LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Neighborhood Commercial use.

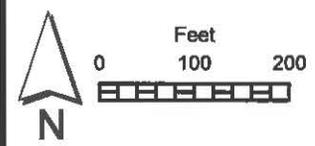
The Master Street Plan indicates Huntsville Avenue as a major collector.

### STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is not in keeping with the Comprehensive Land Use Plan and is not recommended for approval. Current zoning district is in keeping with the Comprehensive Land Use Plan.



Public hearing sign posted:      /      / 2016  
 Public hearing sign posted by: CS  
 (S) Public Hearing Sign Location



**FILE NO. R16-37**  
**APPLICANT: MARTIN & EUGENIA PALMA**  
**REZONING REQUEST: C-1 TO C-2**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
 PLANNING COMMISSION MEETING  
 SEPTEMBER 6, 2016

File No. RR-37

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Martin & Eugene Alus

The record property owner(s), petitioning to rezone the following described area:

**Legal Description:**

See attach pages

Thank you,  
Martin P.

Layman's Description: 1911 W Huntsville

**The Petitioner hereby states by oath that:**

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

**The Petitioner requests the following zoning classification:**

FROM (current zoning) C-1

TO (proposed zoning) C-2

The Petitioner's immediate intentions are to:

1. Sell the property \_\_\_\_\_ (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title \_\_\_\_\_ (Yes or No).
2. Develop the property yes (Yes or No), and if so, the proposed use is Commercial - Construction Equipment.  
Stucco Company
3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: \_\_\_\_\_  
\_\_\_\_\_

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: \_\_\_\_\_

PETITIONER/OWNER: Martin Palma

MAILING ADDRESS: 1802 N. 56th St. Springdale AR 72762

TELEPHONE: 479 871 3358 DATE: 7/28/16

# VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

  
\_\_\_\_\_  
(Property Owner)

  
\_\_\_\_\_  
(Property Owner)

State of Arkansas        )  
                                  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 9th day of August, 2016.

  
\_\_\_\_\_  
Notary Public

OFFICIAL SEAL  
ALESCHA L. MASSEY  
NOTARY PUBLIC - ARKANSAS  
WASHINGTON COUNTY  
COMMISSION # 12370858  
COMMISSION EXP. 04/07/2019

# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: September 6, 2016  
Re: C16-14

A request by EcoSite, Helps, LLC for a Conditional Use Permitted on Appeal as a Use Unit 33 (Self supporting tower or antenna or monopole) in a General Commercial District (C-2)

## LOCATION

650 W. Highway 264

## EXISTING CONDITIONS

Commercial use of the property with residential to the east and south.

SITE PLAN REVIEW REQUIRED:  Yes  No

## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

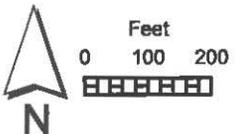
- |                   |  |
|-------------------|--|
| <b>Acceptable</b> | Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.                                    |
| <b>N/A</b>        | Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district. |
| <b>N/S</b>        | Refuse and service areas, with particular reference to the item in 1 and 2 above.  |
| <b>Acceptable</b> | Utilities, with reference to locations, availability and compatibility.  |
| <b>Acceptable</b> | Screening and buffering with reference to type, dimension and character.   |

<b>N/A</b>	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
<b>Acceptable</b>	Yard requirements and other open space requirements.
<b>Acceptable</b>	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
<b>Acceptable</b>	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
<b>Acceptable</b>	General compatibility with adjacent properties and other property in the general district.

Public hearing sign posted:    /    / 2016

Public hearing sign posted by: CS

 Public Hearing Sign Location



**FILE NO. C16-14**  
**APPLICANT: HELP, LLC**  
**CONDITIONAL USE REQUEST:**  
**USE UNIT 33 - TOWER**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
**PLANNING COMMISSION MEETING**  
**SEPTEMBER 6, 2016**

**APPLICATION FOR CONDITIONAL USE**

CITY OF SPRINGDALE, ARKANSAS

*Helps, LLC*

1. APPLICANT: Eco Site | Agent: James Cardinal  
Address: 240 Leigh Farm Rd., Suite 415  
Durham, NC 27707  
Phone: 317-430-1760 Profit:  Non-Profit

2. Property Location (street address or layman's description):  
650 W. State Highway 264  
Springdale, AR 72754

3. Record Title Holder of Property: HELPS, LLC  
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested Conditional in C-2 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:  
A self-supporting telecommunication tower as shown  
in accompanying drawings.  
It should be approved because it conforms to all setbacks  
and regulations listed in the City of Springdale zoning  
Ordinance. It will also provide better coverage and cellular/data  
services to the surrounding areas.

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
A telecommunication tower would have no effect on the  
character of the neighborhood or residents in this area.

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use. Will Provide

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)  
[Signature]  
Roger H. Purginile  
Owner HELPS, LLC  
Date: 8/4/2016

Signature of Applicant  
[Signature]  
James Cardinal  
Agent on behalf of EGO Site  
Date: 8-4-2016

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

[Signature]

State of Arkansas )  
County of Benton ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 4 day of August, 2016  
[Signature]  
Notary Public

My commission expires: 5-25-2026



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**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** October 4, 2016  
**Re:** R16-38 Rezone

A request by Larry and Nancy Runksmeir for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing 0.75± acres.

## LOT LOCATION AND SIZE

The 0.75± acre tract is located at 3426 Old Missouri Road, west side of Old Missouri Road, north of Don Tyson Parkway.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north and west is undeveloped in A-1 zoning. The area to the east and south is undeveloped in C-2 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Regional Commercial use.

The Master Street Plan indicates Old Missouri Road as a major collector.

## STAFF COMMENTS AND RECOMMENDATIONS

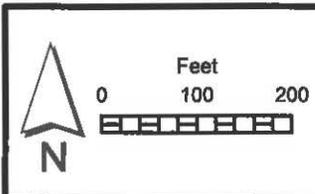
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Public hearing sign posted: 9/23/ 2016  
 Public hearing sign posted by: CS  
 Public Hearing Sign Location



**FILE NO. R16-38**  
**APPLICANT: LARRY & NANCY RUNKSMEIER**  
**REZONING REQUEST: A-1 TO C-2**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
 PLANNING COMMISSION MEETING  
 OCTOBER 4TH, 2016

## PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by LARRY & NANCY RUNKSMEIER  
The record property owner(s), petitioning to rezone the following described area:

Legal Description:

*3426 Old Missouri Rd. South  
Springdale AR.*

Layman's Description:

*Parcel 815-28649-310*

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) Residential A-1

TO (proposed zoning) Commercial C-2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property \_\_\_\_\_ (**Yes** or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title \_\_\_\_\_ (Yes or **No**)
2. **Develop** the property \_\_\_\_\_ (Yes or **No**), and if so, the proposed use is \_\_\_\_\_.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: NO

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: \_\_\_\_\_

PETITIONER/OWNER **SIGNATURE** *Larry Runkomeier*  
*Marcy Runkomeier*  
MAILING ADDRESS: P.O. Box 93 LAKOTA IA 50451  
TELEPHONE: 9502 356 4133 DATE: \_\_\_\_\_

# VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

**SIGNATURE**

(Property Owner)

*Larry Runkiewicz*

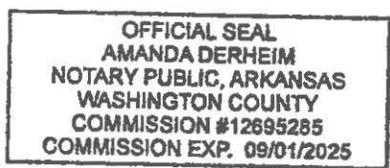
*Nancy Runkiewicz*

(Property Owner)

State of Arkansas        )  
                                  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 14<sup>th</sup> day of  
JUNE, 2016.

*Amanda Derheim*  
Notary Public



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**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** October 4, 2016  
**Re:** R16-39 Rezone

A request by Elm springs Center, LLC (John Pak) for Planning Commission approval of a zone change from General Commercial District (C-2) to Thoroughfare Commercial District (C-5) for a tract of land containing .079 acres.

## LOT LOCATION AND SIZE

The .079 acre tract is located on the north side of Elm springs Road, west of 40<sup>th</sup> Street, adjacent to 4096 Elm springs Road.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**REQUESTED ZONING**

The requested zoning of this tract is a C-5 Thoroughfare Commercial District. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping centers since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38  
Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35  
Temporary Uses: - 32

**DEVELOPMENT CRITERIA**

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.
- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that is cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
  - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
  - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
  - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
  - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

**SETBACKS:**

Front setback	30'	
Front setback if parking is allowed between R-O-W and the building	50'	
Side setback	0	(subject to
applicable fire and building codes)		
Side setback when contiguous to a residential district	20'	

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north and east is undeveloped in C-2 zoning. The area to the south contains a commercial use in C-2 zoning. The area to the west contains a commercial use in C-5 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates commercial use.

The Master Street Plan indicates Elm Springs Road as a major collector.

STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.



# PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Elm Springs Center, LLC

The record property owner(s), petitioning to rezone the following described area:

### Legal Description:

Part of the Northeast Quarter (NE1/4) of the Northeast Quarter (NE1/4) of Section 33, Township 18 North, Range 30 West, City of Springdale, Washington County, Arkansas being a portion of Tract 2 as described in File No. DR1-473 and a portion of Tract A1 as described in File No. 24A-73, being more particularly described as follows:

COMMENCING at the Southeast corner of said Northeast Quarter of the Northeast Quarter;  
THENCE along the South line of said Northeast Quarter, North 87°04'24" West a distance of 346.35 feet;  
THENCE North 02°55'36" East a distance of 51.58 feet to a set 5/8" rebar with cap (LS 1789) on the North Right-of-Way of Elm Springs Road according to AHTD Job #40013 for the POINT OF BEGINNING;  
THENCE along said Right-of-Way, North 86°59'44" West, crossing a found 5/8" rebar at a distance of 54.50 feet being a common corner of said Tract A1 and said Tract 2 and continuing for a total distance of 130.00 feet to a set 5/8" rebar with cap (LS 1789) at the Southeast corner of Tract B1 according to aforementioned File No. 24A-73 and the common Southwest corner of said Tract A1 and the herein described tract;  
THENCE along the common boundary of said Tract A1 and Tract B1, North 02°40'09" East a distance of 264.85 feet to a set 5/8" rebar with cap (LS 1789) at the Northeast corner of said Tract B1 and the Northwest corner of herein described tract;  
THENCE leaving said common boundary, South 87°05'22" East a distance of 130.00 feet to a set 5/8" rebar with cap (LS 1789) at the Northeast corner of herein described tract;  
THENCE South 02°40'09" West, a distance of 265.07 feet to the POINT OF BEGINNING containing 34,445 square feet or 0.79 acres, more or less.

Layman's Description: Property 130 feet wide immediately east of Whataburger Restaurant on Elm Springs Road

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) C2 - General Commercial

TO (proposed zoning) C5 - Thoroughfare Commercial

The **Petitioner's** immediate intentions are to:

1. **Sell** the property Yes (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title Yes (Yes or No).
2. **Develop** the property Yes (Yes or No), and if so, the proposed use is Dunkin Donuts drive-thru restaurant
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: negligible, the proposed zoning is compatible with the surrounding zoning and future land use of this area.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: CEI Engineering - Nate Bachelor

Address: 3108 SW Regional Airport Blvd. Bentonville, AR 72712

PETITIONER/OWNER **SIGNATURE**

MAILING ADDRESS: 4250 Old Missouri Rd. Fayetteville, AR 72703

TELEPHONE: 479-957-1590 DATE: Aug-31-16

# VERIFICATION

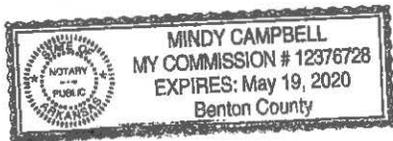
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

**SIGNATURE**  
(Property Owner)

  
\_\_\_\_\_  
(Property Owner)

State of Arkansas            )  
  ) ss.  
County of Benton ~~Washington~~ )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 31st day of August, 20 11.



  
\_\_\_\_\_  
Notary Public

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** October 4, 2016  
**Re:** R16-40 Rezone

A request by Jesus Gonzalez, Jr. for Planning Commission approval of a zone change from Agricultural District (A-1) to Low/Medium Density Single Family Residential District (SF-2) for a tract of land containing 2.4 acres.

## LOT LOCATION AND SIZE

The 2.4 acre tract is located at 1729 Hatcher Road, south side of Hatcher Road, east of Old Wire Road.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The rezoning application requests a SF-2 Low/Medium Density Single Family Residential District. The district is designed to permit and encourage the development of single-family detached dwellings on smaller lots to encourage flexibility in housing and lot sizes.

Uses permitted: - 1, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 28, 36

Temporary Uses – 34

**ACCESSORY USES**

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.

- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an SF-2 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. For Use Unit 36, See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than eight thousand (8,000) square feet. In addition, there shall be a minimum lot width of not less than seventy (70) feet on a public street at the front setback line.
- (2) **DENSITY.** Four (4) units per acre.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area (sq. ft.)	Front	Back	Side		
					Interior	Corner	
						Interior	Exterior
One Family	70	8,000	30	20	8/8	8	30
Zero-lot line	70	8,000	30	20	16/0	16/0	30

**BUILDING AREA**

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north, south, and west is undeveloped in A-1 zoning. The area to the east contains a single dwelling in A-1 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Medium Density Residential use.

The Master Street Plan indicates Hatcher Road as a local street.

**STAFF COMMENTS AND RECOMMENDATIONS**

The rezoning request is in keeping with the following goals and policies of the comprehensive Land Use Plan and is recommended for approval.

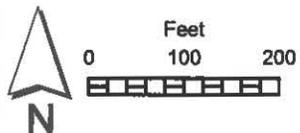
Assure adequate land allocation for residential purposes by providing lots of adequate size.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Public hearing sign posted: 9/23/ 2016  
Public hearing sign posted by: CS  
**S** Public Hearing Sign Location



P84



**FILE NO. R16-40**  
**APPLICANT: JESUS GONZALEZ, JR.**  
**REZONING REQUEST: A-1 TO SF-2**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
**PLANNING COMMISSION MEETING**  
**OCTOBER 4TH, 2016**

File No. R 16-40

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Jesus Gonzalez Jr.

The record property owner(s), petitioning to rezone the following described area:

**Legal Description:**

1729 Hatcher Rd Springdale, AR. 72764  
See Attached document

Requesting to Rezone address at 1729 Hatcher Rd. Springdale, Ar

Layman's Description: 72764 from Agricultural to Residential

**The Petitioner hereby states by oath that:**

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

**The Petitioner requests the following zoning classification:**

FROM (current zoning) Agricultural  
TO (proposed zoning) Residential SF-2

The Petitioner's immediate intentions are to:

1. Sell the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. Develop the property NO (Yes or No), and if so, the proposed use is \_\_\_\_\_
3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: will not affect adjacent property at all.

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: 1729 Hatcher Rd Springdale, AR 72764

PETITIONER/OWNER: Jesus Gonzalez Jr. jg

MAILING ADDRESS: 1729 Hatcher Rd Springdale, AR 72764

TELEPHONE: 479-445-9792 DATE: 9/11/10

# VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

  
(Property Owner)

  
(Property Owner)



State of Arkansas        )  
                                  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 13<sup>th</sup> day of September, 2016.

  
Notary Public

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Kyle Patton  
Address: \_\_\_\_\_

Phone: 479-926-0263 Profit: Non-Profit

2. Property Location (street address or layman's description):  
Andrew Ave, Springdale Parcel # 815-23273-010

3. Record Title Holder of Property: Kyle Patton  
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested Residential in Residential Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:  
Conditional use for a tandem lot. This would allow for two residential family homes to be built.

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
No effect on neighborhood or residents.

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

[Signature]

Kyle Patton

Signature of Applicant

[Signature]

Kyle Patton

Date: 9-13-16

Date: 9-13-16

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

\_\_\_\_\_  
\_\_\_\_\_

State of Arkansas )  
County of Washington ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 13 day of September, 2016.

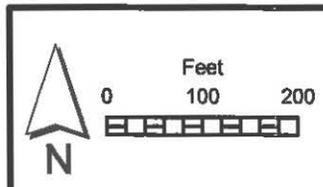
Sarah E. Bean  
Notary Public

My commission expires: April 3, 2024





Public hearing sign posted: 9/23/ 2016  
Public hearing sign posted by: CS  
 Public Hearing Sign Location



**FILE NO. C16-15**  
**APPLICANT: KYLE PATTON**  
**CONDITIONAL USE REQUEST: TANDEM LOT**  
**SPLIT**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
**PLANNING COMMISSION MEETING**  
**OCTOBER 4TH, 2016**

# Memo

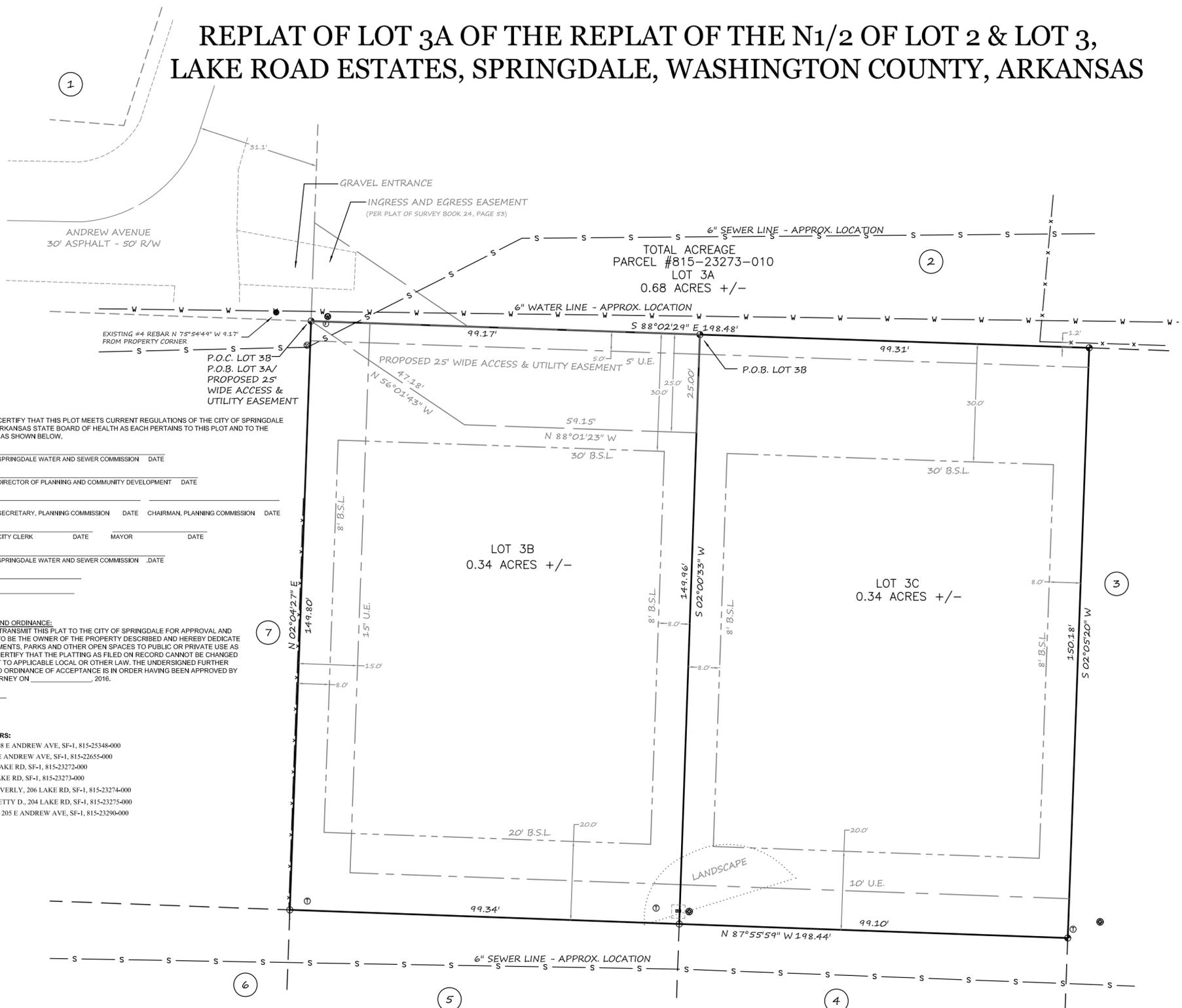
**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** RP16-06 Replat SW corner of E. Andrew Ave.

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## Planning Comments

1. Submit the approved authorization of representation form, if property owner will not be present at Planning Commission meeting.
2. Submit a copy of the warranty deed.
3. A conditional use for a tandem lot split will need to be applied for and granted prior to filing.
4. 15' paved (concrete) drive will need to be installed to lot 3C prior to filing.

# REPLAT OF LOT 3A OF THE REPLAT OF THE N1/2 OF LOT 2 & LOT 3, LAKE ROAD ESTATES, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS



THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLOT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLOT AND TO THE OFFICES OF RESPONSIBILITY AS SHOWN BELOW.

WATER AND SEWER: SPRINGDALE WATER AND SEWER COMMISSION DATE \_\_\_\_\_

STREETS AND DRAINAGE: DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT DATE \_\_\_\_\_

APPROVAL OF RECORDATION: SECRETARY, PLANNING COMMISSION DATE \_\_\_\_\_ CHAIRMAN, PLANNING COMMISSION DATE \_\_\_\_\_

ACCEPTANCE OF DEDICATION: CITY CLERK DATE \_\_\_\_\_ MAYOR DATE \_\_\_\_\_

ACCEPTANCE OF EASEMENTS: SPRINGDALE WATER AND SEWER COMMISSION DATE \_\_\_\_\_

BLACK HILLS ENERGY: \_\_\_\_\_

COX COMMUNICATIONS: \_\_\_\_\_

**TRANSMITTAL, OWNERSHIP AND ORDINANCE:**  
THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE FOR APPROVAL AND ACCEPTANCE AND CERTIFY TO BE THE OWNER OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LOCAL OR OTHER LAW. THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS IN ORDER HAVING BEEN APPROVED BY THE SPRINGDALE CITY ATTORNEY ON \_\_\_\_\_, 2016.

**OWNER:**  
PATTON, KYLE J.  
208 LAKE RD.  
SPRINGDALE, AR 72764

**ADJACENT PROPERTY OWNERS:**  
1) VETTER FAMILY TRUST, 208 E ANDREW AVE, SF-1, 815-25348-000  
2) HANBY, ALBERT PAT, 216 E ANDREW AVE, SF-1, 815-22655-000  
3) DACUS, PATRICIA A., 210 LAKE RD, SF-1, 815-23272-000  
4) REYNOLDS, SANDA, 208 LAKE RD, SF-1, 815-23273-000  
5) LITZINGER, WILLIAM & BEVERLY, 206 LAKE RD, SF-1, 815-23274-000  
6) PHILLIPS, KENNETH D & BETTY D., 204 LAKE RD, SF-1, 815-23275-000  
7) PAXTON, STEVE & KELLIE, 205 E ANDREW AVE, SF-1, 815-23290-000

**SURVEYOR'S NOTES:**

**LAST SITE VISIT:**  
JULY 28, 2016

**BASIS OF BEARING:**  
ARKANSAS STATE PLANE COORDINATE SYSTEM - AR NORTH ZONE

**REFERENCE DOCUMENTS:**  
1) PLAT OF SURVEY FILED IN BOOK 24, AT PAGE 53  
2) WARRANTY DEED FILED IN BOOK 2015, AT PAGE 3733

**ZONING:**  
SF-2

**BUILDING SETBACKS:**  
FRONT 30FT  
SIDE 08FT  
REAR 20FT

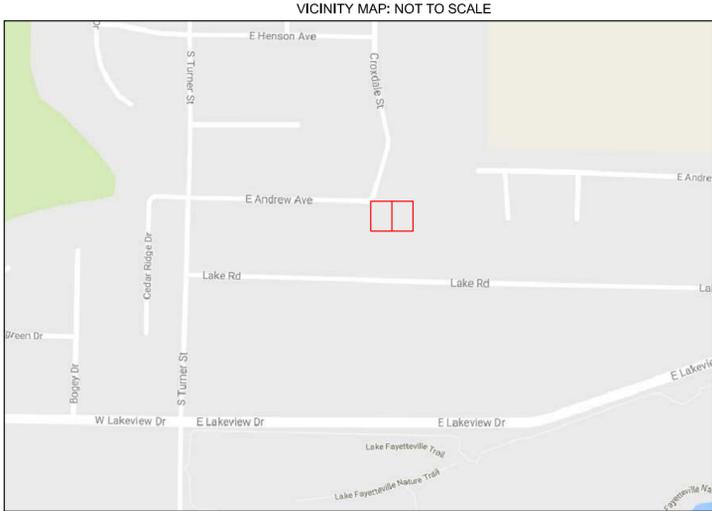
**FLOOD INFORMATION:**  
BY GRAPHICAL PLOTTING ONLY, NO PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE "A" OR "AE" OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM (NFIP). PER THE FLOOD INSURANCE RATE MAP (FIRM) #05143C0070F DATED MAY 16, 2008

**PARCEL #815-23273-010**  
**PARENT TRACT DESCRIPTION:** (PER WARRANTY DEED B2015, P3733)  
LOT 3A OF LAKE ROAD ESTATES, A SUBDIVISION OF THE CITY OF SPRINGDALE, ARKANSAS, AS SHOWN IN THE RE-PLAT FILED FOR RECORD IN PLAT BOOK 24 AT PAGE 53, IN THE RECORDS OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS.

**LOT 3B DESCRIPTION:**  
THE W1/2 OF LOT 3A OF LAKE ROAD ESTATES, A SUBDIVISION OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING #5 REBAR MARKING THE NW CORNER OF SAID LOT 3A AND RUNNING THENCE ALONG THE NORTH LINE OF SAID LOT 3A S88°01'23"E 99.17' TO AN EXISTING #5 REBAR, THENCE LEAVING SAID NORTH LINE S02°00'33"W 149.96' TO A SET #4 REBAR ON THE SOUTH LINE OF SAID LOT 3A, THENCE ALONG SAID SOUTH LINE N87°55'59"W 99.34' TO A SET #4 REBAR MARKING THE SW CORNER OF SAID LOT 3A, THENCE LEAVING SAID SOUTH LINE AND ALONG THE WEST LINE IF SAID LOT 3A N02°04'27"E 149.80' TO THE POINT OF BEGINNING, CONTAINING 0.34 ACRES, MORE OR LESS, SUBJECT TO ALL RECORD AND NON RECORDED EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, MINERAL RIGHTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

**LOT 3C DESCRIPTION:**  
THE E1/2 OF LOT 3A OF LAKE ROAD ESTATES, A SUBDIVISION OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING #5 REBAR WHICH IS S88°01'23"E 99.17' FROM AN EXISTING #5 REBAR MARKING THE NW CORNER OF SAID LOT 3A AND RUNNING THENCE ALONG THE NORTH LINE OF SAID LOT 3A S88°03'35"E 99.31' TO AN EXISTING #5 REBAR MARKING THE NE CORNER OF SAID LOT 3A, THENCE LEAVING SAID NORTH LINE AND ALONG THE EAST LINE OF SAID LOT 3A S02°05'20"W 150.18' TO AN EXISTING #5 REBAR MARKING THE SE CORNER OF SAID LOT 3A, THENCE LEAVING SAID EAST LINE AND ALONG THE SOUTH LINE OF SAID LOT 3A N87°55'59"W 99.10' TO A SET #4 REBAR, THENCE LEAVING SAID SOUTH LINE N02°00'33"E 149.96' TO THE POINT OF BEGINNING, CONTAINING 0.34 ACRES, MORE OR LESS, SUBJECT TO ALL RECORD AND NON RECORDED EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, MINERAL RIGHTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

**PROPOSED 25' WIDE ACCESS & UTILITY EASEMENT DESCRIPTION:**  
A 25' WIDE ACCESS & UTILITY EASEMENT LOCATED IN A PART OF THE N1/2 OF LOT 3A OF LAKE ROAD ESTATES, A SUBDIVISION OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING #5 REBAR MARKING THE NE CORNER OF SAID LOT 3A AND RUNNING THENCE ALONG THE NORTH LINE OF SAID LOT 3A S88°01'23"E 99.17' TO AN EXISTING #5 REBAR, THENCE LEAVING SAID NORTH LINE S01°58'37"W 25.00', THENCE N88°01'23"W 59.15' THENCE N56°01'43"W 47.18' TO THE POINT OF BEGINNING.



**REPLAT**  
FOR USE OF:  
**KYLE PATTON**

LOCATION: ANDREW AVENUE SPRINGDALE, WASHINGTON COUNTY, ARKANSAS LAKE ROAD ESTATES

CREW CHIEF: MN DRAWN BY: NM  
PLAT No. 16-143 DATE: 08/09/2016



**ATLAS**  
PROFESSIONAL LAND SURVEYING

P.O. BOX 1026  
51 MAIN STREET  
WEST FORK, AR. 72774  
PH. 479-294.6177

PS #1756  
COA #2875

- LEGEND**
- SET #4 REBAR
  - EXISTING #5 REBAR
  - ⊙ EXISTING #4 REBAR
  - ⊕ WATER METER
  - ⊖ GAS METER
  - ⊗ TELEPHONE PEDESTAL
  - ⊘ SANITARY SEWER MANHOLE
  - ⊙ YARD HYDRANT
  - ⊕ ELECTRIC BOX
  - ⊖ BOUNDARY LINE
  - ⊗ FORTY-TIE LINE
  - ⊘ ASPHALT/GRAVEL/CONCRETE
  - ⊙ LANDSCAPE
  - ⊕ FENCE
  - ⊖ BUILDING SETBACK LINE
  - ⊗ UTILITY EASEMENT
  - ⊘ CENTERLINE ROAD

**NOTES:**  
ATLAS PROFESSIONAL LAND SURVEYING, LLC COPYRIGHT 2016  
ALL GOVERNMENTAL MUNICIPALITIES/AGENCIES INCLUDING GIS DEPARTMENTS ARE EXEMPT FROM COPYRIGHT. THIS PLAT IS COPYRIGHT MATERIAL AND WAS PROVIDED FOR THE USE OF THE PERSON(S) NAMED ON THIS PLAT. NO ONE INCLUDING THE PERSON(S) NAMED ON THIS PLAT MAY COPY OR REPRODUCE ANY PART OF THIS PLAT FOR FINANCIAL GAIN. ONLY ORIGINAL COPIES OF THIS PLAT MAY BE USED. IF THE SEAL ON THIS PLAT IS NOT RED IN COLOR AND SIGNED IN BLUE INK, IT IS NOT AN ORIGINAL PLAT AND CONSIDERED AN UNAUTHORIZED COPY.

**LAND USE/LAND RESTRICTIONS:**  
EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT REFLECT ANY EASEMENTS (OTHER THAN APPARENT EASEMENTS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY) BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, LAND-USE REGULATIONS, OR FACTS IN WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

**UTILITIES:**  
EXCEPT AS SHOWN HEREON, NO ATTEMPT HAS BEEN MADE AS PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC FACILITY. CONTACT ALL UTILITY PROVIDERS FOR THIS INFORMATION.

**FLOOD INFORMATION:**  
ANY INFORMATION (TEXT, LINES, SYMBOLS, HATCHES, ETC.) ON THIS PLAT THAT MAKE REFERENCE TO FLOOD ZONES ARE DERIVED FROM A FLOOD INSURANCE RATE MAP (FIRM) BY GRAPHICAL PLOTTING ONLY AND DOES NOT REPRESENT THE SURVEYOR'S OPINION ON THE PROBABILITY OF FLOODING.

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: WILLIAM & DORCAS JOHNSON  
Address: 5018 BOB MILLS ROAD

Phone: 479 751-0312 Profit:  Non-Profit

2. Property Location (street address or layman's description):  
5018 BOB MILLS ROAD, SPRINGDALE

3. Record Title Holder of Property: WILLIAM & DORCAS JOHNSON  
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested \_\_\_\_\_ in A-1 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:  
TANDEM LOT SPLIT - TO GIVE ADDITIONAL  
LOT WITH AMPLE LAND FOR HOUSE SITE.

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
NOTHING SIGNIFICANT - ONLY ONE HOUSE TO BE BUILT

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

Dores Johnson  
William Johnson

\_\_\_\_\_  
\_\_\_\_\_

Date: 9/9/16

Date: \_\_\_\_\_

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

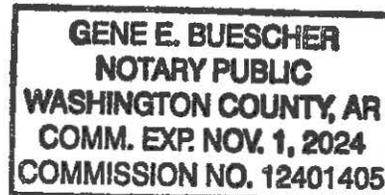
Dores Johnson  
William Johnson

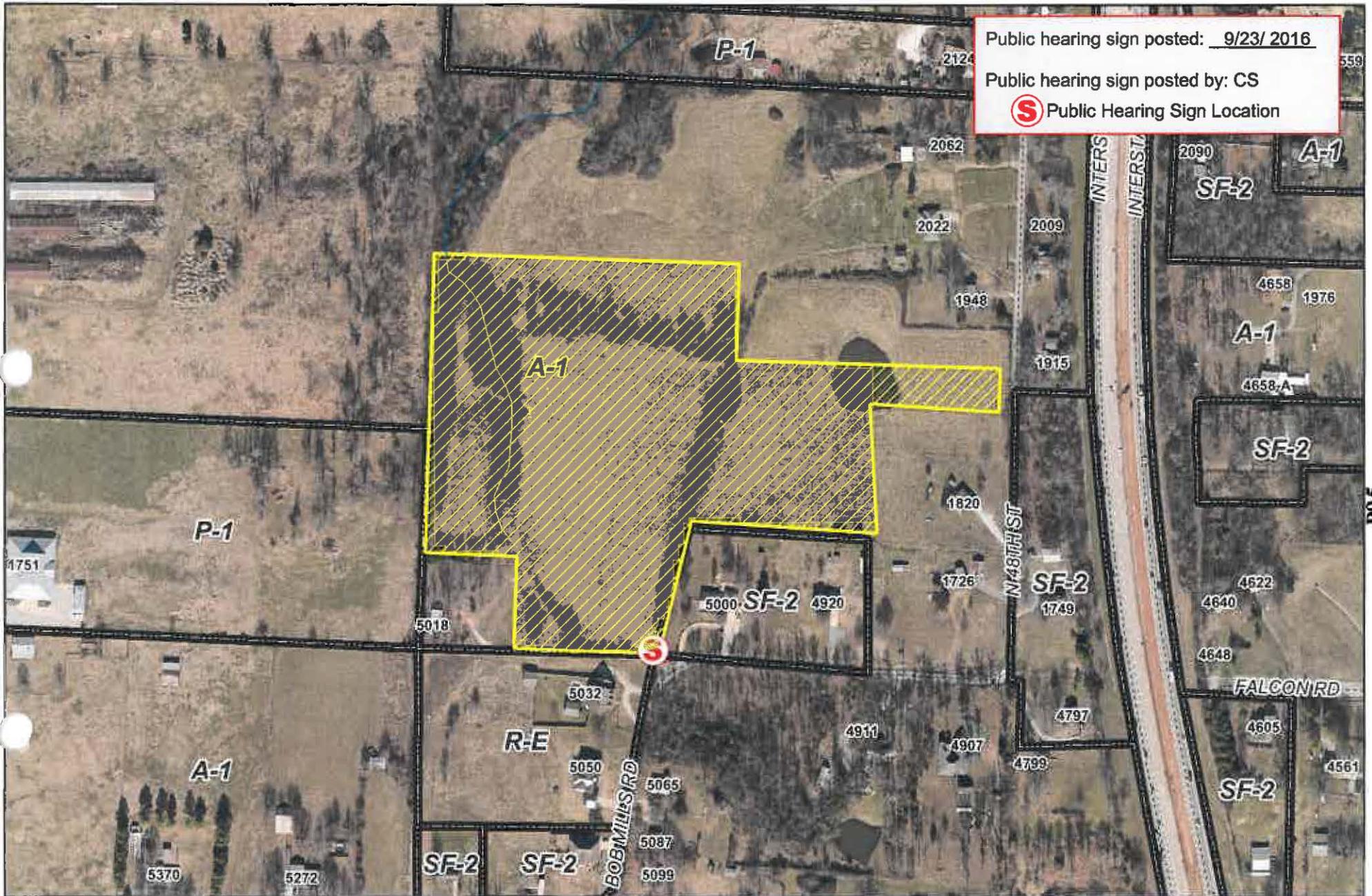
State of Arkansas )  
County of WASHINGTON ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 9th day of SEPTEMBER, 20 16.

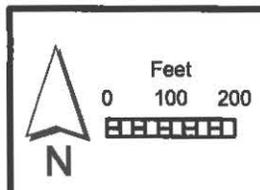
Gene E Buescher  
Notary Public

My commission expires: Nov. 1, 2024





Public hearing sign posted: 9/23/2016  
 Public hearing sign posted by: CS  
 (S) Public Hearing Sign Location



**FILE NO. C16-16**  
**APPLICANT: WILLIAM & DORCUS JOHNSON**  
**CONDITIONAL USE REQUEST: TANDEM LOT SPLIT**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
 PLANNING COMMISSION MEETING  
 OCTOBER 4TH, 2016

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** LS16-34 Tandem Lot Split N. of Bob Mills Rd., E. side 48<sup>th</sup>

---

## Planning Comments

1. A conditional use for a tandem lot must be applied for and approved by the Planning Commission and City Council.
2. A 25' access easement with a minimum 15' wide paved drive is required to the tandem lot.
3. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.

# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: October 4, 2016  
Re: C16-17 Conditional Use

A request by Eco Site/Jimmy and Diana Edison for a Conditional Use Permitted on Appeal as a Use Unit 33 (Self-supporting tower, or antenna or monopole) in a General Commercial District (C-2).

## LOCATION

American Street, south of Arapaho Avenue

## EXISTING CONDITIONS

SITE PLAN REVIEW REQUIRED:  Yes  No

## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

- |                   |  |
|-------------------|--|
| <b>Acceptable</b> | Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.                                    |
| <b>N/A</b>        | Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district. |
| <b>N/A</b>        | Refuse and service areas, with particular reference to the item in 1 and 2 above.  |
| <b>Acceptable</b> | Utilities, with reference to locations, availability and compatibility.  |
| <b>Acceptable</b> | Screening and buffering with reference to type, dimension and character.   |

- N/A** Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
- Acceptable** Yard requirements and other open space requirements.
- Acceptable** The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
- Acceptable** Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
- Acceptable** General compatibility with adjacent properties and other property in the general district.

- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an SF-2 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. For Use Unit 36, See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than eight thousand (8,000) square feet. In addition, there shall be a minimum lot width of not less than seventy (70) feet on a public street at the front setback line.
- (2) **DENSITY.** Four (4) units per acre.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area (sq. ft.)	Front	Back	Side		
					Interior	Corner	
						Interior	Exterior
One Family	70	8,000	30	20	8/8	8	30
Zero-lot line	70	8,000	30	20	16/0	16/0	30

**BUILDING AREA**

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north, south, and west is undeveloped in A-1 zoning. The area to the east contains a single dwelling in A-1 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Medium Density Residential use.

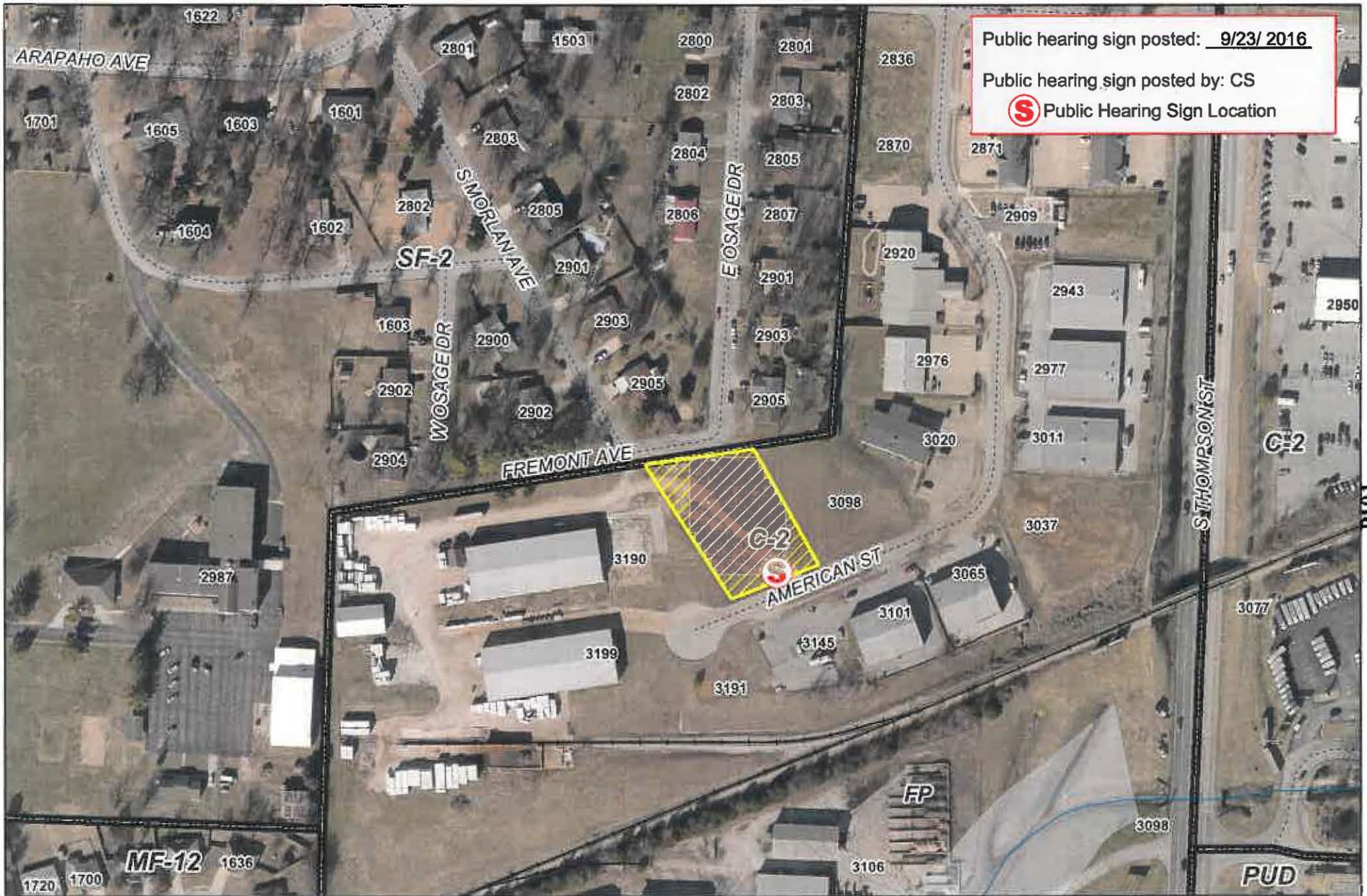
The Master Street Plan indicates Hatcher Road as a local street.

**STAFF COMMENTS AND RECOMMENDATIONS**

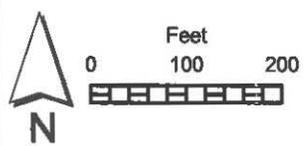
The rezoning request is in keeping with the following goals and policies of the comprehensive Land Use Plan and is recommended for approval.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.



Public hearing sign posted: 9/23/2016  
 Public hearing sign posted by: CS  
**S** Public Hearing Sign Location



**FILE NO. C16-17**  
**APPLICANT: ECO SITE**  
**CONDITIONAL USE REQUEST: USE UNIT 33**

*CITY OF SPRINGDALE*  
 PLANNING OFFICE  
 PLANNING COMMISSION MEETING  
 OCTOBER 4TH, 2016

**APPLICATION FOR CONDITIONAL USE**  
**CITY OF SPRINGDALE, ARKANSAS**

1. APPLICANT: ECO Site | Agent: James Cardinal  
 Address: 240 Leigh Farm Rd., Suite 415  
Durham, NC 27707  
 Phone: 317-430-1760 Profit:  Non-Profit
2. Property Location (street address or layman's description):  
36 feet north of American St., 650 feet west of Hwy 71B  
Springdale, AR
3. Record Title Holder of Property: Jimmy A. Eidson and Deana Sue Eidson  
 (A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested 33 Conditional in C2 Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
A self-supporting telecommunication tower as shown in accompanying drawings.  
It should be approved because it conforms to all setbacks and regulations listed in the City of Springdale zoning ordinance.  
Also, it will provide better coverage and cellular/data services to the surrounding areas.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
A telecommunication tower would have no effect on the character of the neighborhood or residents in this area.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use. will provide

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

Jimmy R. Edson Sept 6 2016

[Signature]

Date: September 6 2016

Date: September 9<sup>th</sup>, 2016

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

[Signature] James Cardinal  
9-9-2016

State of Oklahoma  
Arkansas )  
County of Rogers ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 9<sup>th</sup> day of September, 2016.

Jennifer Compton  
Notary Public

My commission expires: 10-9-2017



# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: October 4, 2016  
Re: **C16-18 Conditional Use**

A request by Christian Church Faith Without Limits for a Conditional Use Permitted on Appeal as a Use Unit 42 (Church/Synagogue) in a General Commercial District (C-2).

## LOCATION

871 E. Robinson

## EXISTING CONDITIONS

Commercial structure. Commercial uses surround the tract is C-2 and C-5 zoning.

SITE PLAN REVIEW REQUIRED:  Yes  No

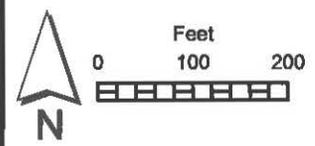
## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

- |                     |  |
|---------------------|--|
| <b>Acceptable</b>   | Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.                                    |
| <b>Unacceptable</b> | Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district. |
| <b>Acceptable</b>   | Refuse and service areas, with particular reference to the item in 1 and 2 above.  |
| <b>Acceptable</b>   | Utilities, with reference to locations, availability and compatibility.  |
| <b>N/A</b>          | Screening and buffering with reference to type, dimension and character.   |

<b>Unknown not shown On site plan</b>	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
<b>Acceptable</b>	Yard requirements and other open space requirements.
<b>Unacceptable</b>	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
<b>N/A</b>	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
<b>Unacceptable</b>	General compatibility with adjacent properties and other property in the general district. <b>Inadequate parking available on site.</b>

Public hearing sign posted: 9/23/2016  
Public hearing sign posted by: CS  
 Public Hearing Sign Location



**FILE NO. C16-18**  
**APPLICANT: CHRISTIAN CHURCH FAITH WITHOUT LIMITS**  
**CONDITIONAL USE REQUEST: USE UNIT 42**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
PLANNING COMMISSION MEETING  
OCTOBER 4TH, 2016

**APPLICATION FOR CONDITIONAL USE**  
**CITY OF SPRINGDALE, ARKANSAS**

1. APPLICANT: CHRISTIAN CHURCH FAITH WITHOUT LIMITS  
 Address: 1237 E. ROBINSON SPRINGDALE AR 72764

Phone: 479 268 0664 Profit: Non-Profit

2. Property Location (street address or layman's description):  
871 E. ROBINSON

3. Record Title Holder of Property: FHISING BRIDGE INVESTMENT LLC  
 (A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested 42 in C2 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:  
BUILDING WILL BE USED FOR A PLACE OF WORSHIP  
WHERE CHRISTIAN VALUES WILL BE TAUGHT  
IT WILL BE A PLACE WHERE ALL CITIZENS OF NWA  
CAN RECEIVE SPIRITUAL GUIDANCE AND HELP

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
NO NEGATIVE EFFECTS

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

*[Handwritten Signature]*

*[Handwritten Signature]*

Fed: Fishing Lodge Investments LLC

Date:

9-15-16

Date:

9/15/16

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

*[Handwritten Signatures]*

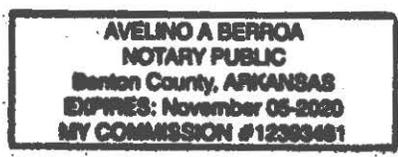
State of Arkansas )

County of Washington ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 19 day of Sept, 2016.

*[Handwritten Signature]*  
Notary Public

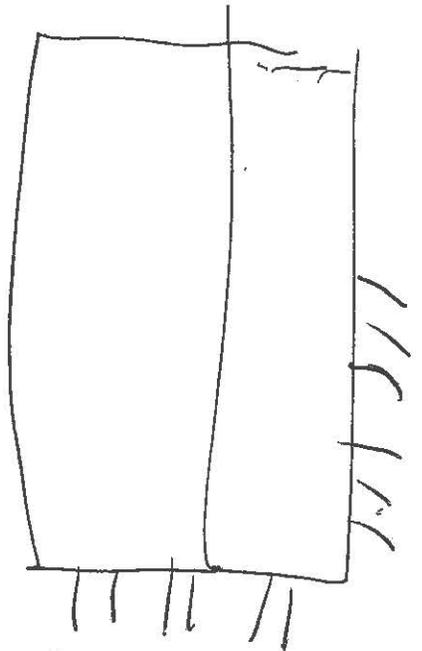
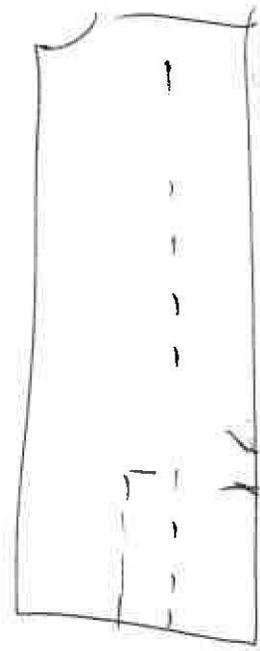
My commission expires: 11-05-2020



2

ROBINSON

|||||



5

Hours of  
Operation

SUNDAYS 11 AM  
to 1 PM

7 PM - 8 PM

WEDNESDAY  
7 PM - 8:30 PM

PI09

LS16-34  
See C16-16

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** LS16-35 Tandem Lot Split N. side Elm Springs Road  
W. of 40<sup>th</sup> Street

---

## Planning Comments

1. Need authorization of representation if property owner will not be present.
2. All comments from the utility companies and other city departments must be addressed prior to approval.
3. A waiver of subdivision requirements will need to be requested and approve prior to approval for filing.



**CEI Engineering Associates, Inc.**

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2  
Bentonville, AR 72712  
(479) 273-9472 Fax (479) 273-0844  
www.ceieng.com

September 21, 2016

Springdale Planning Commission  
City of Springdale  
201 Spring Street  
Springdale, AR 72764

Dear Members of the Springdale Planning Commission,

On behalf of Elm Springs Center, LLC; CEI respectfully requests a waiver of the subdivision requirements restricting lot splits to one per property. The owner of this land has previously split the property for sale and development of the adjacent Whataburger restaurant. This proposed split will result in the creation of an additional lot for sale and development of a Dunkin Donuts. A large scale development plan has been submitted for this project and is contingent on creation of the proposed lot.

Thank you for your consideration of this request.

Nate Bachelor, PE  
Project Manager

*Providing Consolidated Land Development Services*

Office locations:  
CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** RP16-07 Replat NW corner of Turner & Shoreline Dr.

---

## Planning Comments

1. All comments from the utility companies and other city departments must be addressed prior to approval.

# REPLAT OF LOT 1A & LOT 1B OF THE REPLAT OF LOT 1, BLOCK 1, DILL ADDITION TO THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS

THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLOT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLOT AND TO THE OFFICES OF RESPONSIBILITY AS SHOWN BELOW.

WATER AND SEWER: \_\_\_\_\_ DATE \_\_\_\_\_  
 SPRINGDALE WATER AND SEWER COMMISSION

STREETS AND DRAINAGE: \_\_\_\_\_ DATE \_\_\_\_\_  
 DIRECTOR OF PLANNING AND COMMUNITY DEVELOPMENT

APPROVAL OF RECORDATION: \_\_\_\_\_ DATE \_\_\_\_\_  
 SECRETARY, PLANNING COMMISSION      CHAIRMAN, PLANNING COMMISSION

ACCEPTANCE OF DEDICATION: \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY CLERK      MAYOR

ACCEPTANCE OF EASEMENTS: \_\_\_\_\_ DATE \_\_\_\_\_  
 SPRINGDALE WATER AND SEWER COMMISSION

BLACK HILLS ENERGY: \_\_\_\_\_

COX COMMUNICATIONS: \_\_\_\_\_

**TRANSMITTAL, OWNERSHIP AND ORDINANCE:**  
 THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE FOR APPROVAL AND ACCEPTANCE AND CERTIFY TO BE THE OWNER OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LOCAL OR OTHER LAW. THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS IN ORDER HAVING BEEN APPROVED BY THE SPRINGDALE CITY ATTORNEY ON \_\_\_\_\_, 2016.

OWNER: \_\_\_\_\_  
 OWNER: \_\_\_\_\_

OWNER / DEVELOPER:  
 VANCE & JANE ARNOLD      EVAN & NATALIE DILL  
 PARCEL #815-29424-002      PARCEL #815-21347-000  
 5110 TURNER STREET      110 SHORELINE DRIVE  
 SPRINGDALE, AR 72764      SPRINGDALE, AR 72764

- ADJACENT PROPERTY OWNERS:**
- 1) WESTPHAL, MARY ANN TRUST, 101 SHORELINE DR., SF-2, 815-21357-000
  - 2) HOOD, MILLI M, 103 SHORELINE DR., SF-2, 815-21356-000
  - 3) DILL, EVAN & NATALIE, 110 SHORELINE DR., SF-2, 815-21348-000
  - 4) DILL, EVAN & NATALIE, 110 SHORELINE DR., SF-2, 815-21353-000
  - 5) PIPER FAMILY REVOCABLE TRUST, 5064 S TURNER ST., SF-2, 815-29424-003
  - 6) CITY OF FAYETTEVILLE, 113 W MOUNTAIN ST., AG, 765-13206-100

**SURVEYOR'S NOTES:**

LAST SITE VISIT:  
 AUGUST 18, 2016

BASIS OF BEARING:  
 GPS OBSERVATION

REFERENCE DOCUMENTS:  
 1) PLAT OF SURVEY FILED IN BOOK 2006, AT PAGE 48419

ZONING:  
 SF-2

BUILDING SETBACKS:  
 FRONT 30FT  
 SIDE 08FT  
 REAR 20FT

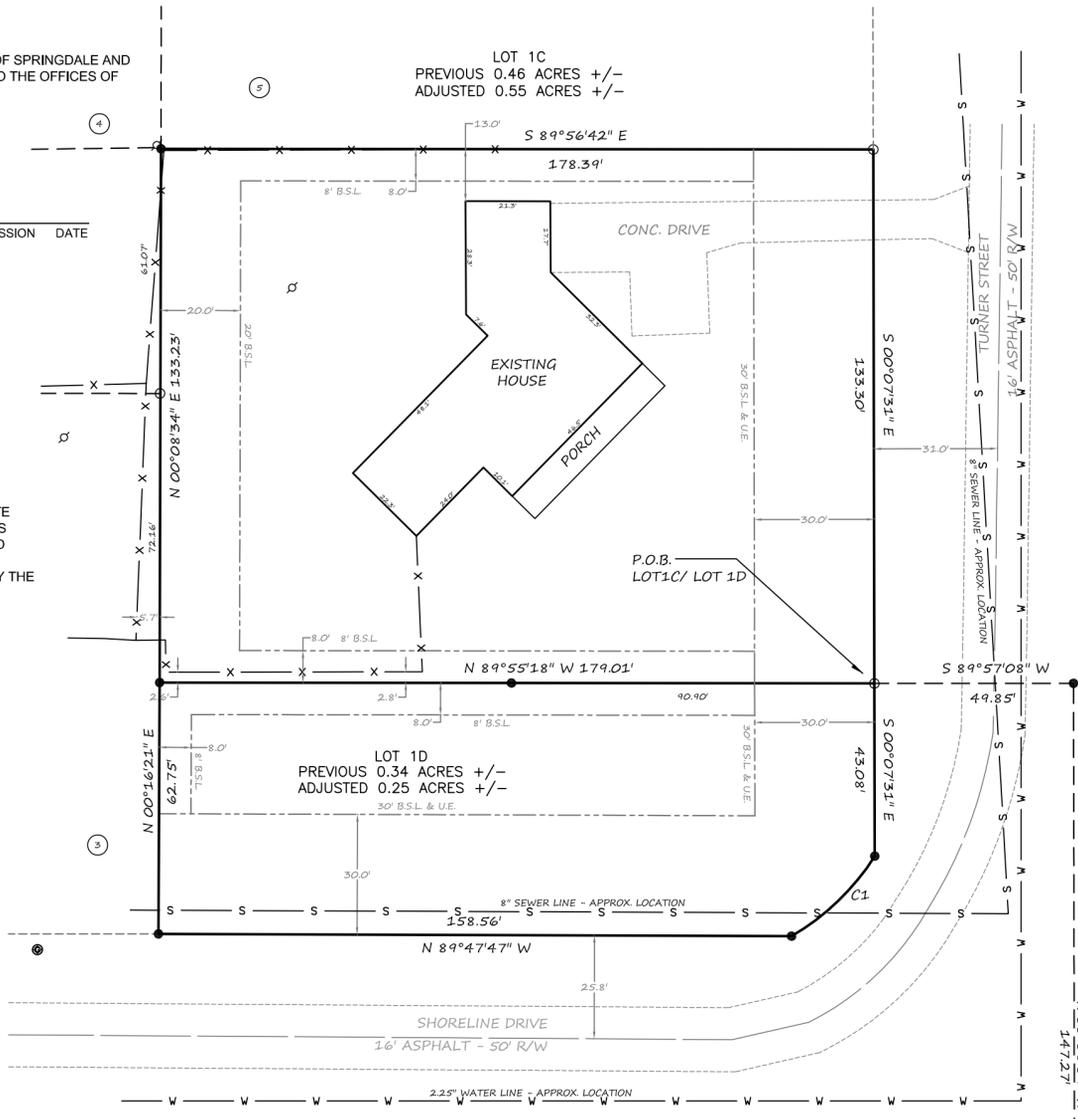
FLOOD INFORMATION:  
 BY GRAPHICAL PLOTTING ONLY, NO PORTION OF THIS PROPERTY IS LOCATED WITHIN ZONE "A" OR "AE" OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, NATIONAL FLOOD INSURANCE PROGRAM (NFIP). PER THE FLOOD INSURANCE RATE MAP (FIRM) #05143C0070F DATED MAY 16, 2008

**PARCEL #815-21347-000**  
 PREVIOUS LOT 1A DESCRIPTION:  
 LOT 1A OF THE REPLAT OF LOT 1, BLOCK 1, DILL ADDITION TO THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS N00°06'59"W 147.27' AND S89°57'08"W 49.85' FROM THE SE CORNER OF THE SE1/4 SW1/4 OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, AND RUNNING THENCE S00°06'59"E 42.91', THENCE ALONG A CURVE WITH A RADIUS OF 60.01', AN ARC LENGTH OF 29.22', AND A CHORD BEARING AND DISTANCE OF S46°12'42"W 28.93', THENCE LEAVING SAID CURVE S89°59'49"W 158.23', THENCE N00°03'01"E 149.82', THENCE S45°19'42"E 123.75', THENCE N89°55'18"E 90.89' TO THE POINT OF BEGINNING, CONTAINING 0.34 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD.

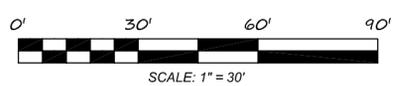
**PARCEL #815-29424-002**  
 PREVIOUS LOT 1B DESCRIPTION:  
 LOT 1B OF THE REPLAT OF LOT 1, BLOCK 1, DILL ADDITION TO THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS N00°06'59"W 147.27' AND S89°57'08"W 49.85' FROM THE SE CORNER OF THE SE1/4 SW1/4 OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, AND RUNNING THENCE S89°55'18"W 90.89', THENCE N45°19'42"W 123.75', THENCE N00°03'01"E 46.34' TO A FOUND IRON PIN, THENCE N89°58'29"E 178.58', THENCE S00°06'59"E 133.30' TO THE POINT OF BEGINNING, CONTAINING 0.46 ACRES, MORE OR LESS. SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD.

**PARCEL #815-21347-000**  
 LOT 1C DESCRIPTION:  
 LOT 1C OF THE REPLAT OF LOT 1A & LOT 1B, BLOCK 1, DILL ADDITION TO THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A SET #4 REBAR WHICH IS N00°06'59"W 147.27' AND S89°57'08"W 49.85' FROM THE SE CORNER OF THE SE1/4 SW1/4 OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, AND RUNNING THENCE S00°07'31"E 43.08' TO AN EXISTING #4 REBAR, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 60.01' FOR A CHORD BEARING AND DISTANCE OF S46°12'35"W 28.88' TO A SET #4 REBAR, THENCE N89°47'47"W 158.56' TO AN EXISTING #4 REBAR, THENCE N00°16'21"E 62.75' TO AN EXISTING #4 REBAR, THENCE S89°55'18"E 179.01' TO THE POINT OF BEGINNING, CONTAINING 0.25 ACRES, MORE OR LESS. SUBJECT TO ALL RECORD AND NON RECORDED EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, MINERAL RIGHTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.

**PARCEL #815-29424-002**  
 LOT 1D DESCRIPTION:  
 LOT 1D OF THE REPLAT OF LOT 1A & LOT 1B, BLOCK 1, DILL ADDITION TO THE CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A SET #4 REBAR WHICH IS N00°06'59"W 147.27' AND S89°57'08"W 49.85' FROM THE SE CORNER OF THE SE1/4 SW1/4 OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, AND RUNNING THENCE S00°07'31"E 43.08' TO AN EXISTING #4 REBAR, THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 60.01' FOR A CHORD BEARING AND DISTANCE OF S46°12'35"W 28.88' TO A SET #4 REBAR, THENCE N89°47'47"W 158.56' TO AN EXISTING #4 REBAR, THENCE N00°16'21"E 62.75' TO AN EXISTING #4 REBAR, THENCE S89°55'18"E 179.01' TO THE POINT OF BEGINNING, CONTAINING 0.25 ACRES, MORE OR LESS. SUBJECT TO ALL RECORD AND NON RECORDED EASEMENTS, RESTRICTIONS, RESERVATIONS, COVENANTS, MINERAL RIGHTS AND RIGHTS-OF-WAY OF RECORD, IF ANY.



CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	60.01'	29.17'	28.88'	S 46°12'35" W

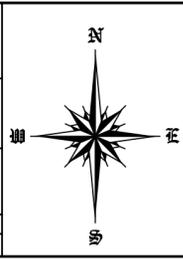


**REPLAT**

FOR USE OF:  
**EVAN & NATALIE DILL**

LOCATION: 110 SHORELINE DRIVE, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS  
 DILL ADDITION

CREW CHIEF: TW      DRAWN BY: NM  
 PLAT No. 15-102A      DATE: 08/19/2016



**ATLAS**  
 PROFESSIONAL LAND SURVEYING

P.O. BOX 1026  
 51 MAIN STREET  
 WEST FORK, AR, 72774  
 PH. 479-294.6177

PS #1756  
 COA #2875

- LEGEND**
- SET #4 REBAR
  - EXISTING #4 REBAR
  - ◇ COMPUTED POINT
  - ⊙ UTILITY POLE
  - ⊙ GAS METER
  - BOUNDARY LINE
  - - - FORTY/TIE LINE
  - - - ASPHALT/CONCRETE
  - - - RIGHT OF WAY
  - - - FENCE
  - - - BUILDING SETBACK LINE
  - - - CENTERLINE ROAD

**NOTES:**  
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**LAND USE/LAND RESTRICTIONS:**  
 EXCEPT AS SPECIFICALLY STATED OR SHOWN HEREON, THIS SURVEY DOES NOT REFLECT ANY EASEMENTS (OTHER THAN APPARENT EASEMENTS OBSERVED IN THE FIELD AT THE TIME OF THE SURVEY) BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, LAND-USE REGULATIONS, OR FACTS IN WHICH AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

**UTILITIES:**  
 EXCEPT AS SHOWN HEREON, NO ATTEMPT HAS BEEN MADE AS PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITY OR MUNICIPAL/PUBLIC FACILITY. CONTACT ALL UTILITY PROVIDERS FOR THIS INFORMATION.

**FLOOD INFORMATION:**  
 ANY INFORMATION (TEXT, LINES, SYMBOLS, HATCHES, ETC.) ON THIS PLAT THAT MAKE REFERENCE TO FLOOD ZONES ARE DERIVED FROM A FLOOD INSURANCE RATE MAP (FIRM) BY GRAPHICAL PLOTTING ONLY AND DOES NOT REPRESENT THE SURVEYOR'S OPINION ON THE PROBABILITY OF FLOODING.

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** L16-19 Large Scale Development S. Downum Road, N. of  
County Line Road

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## Planning Comments

1. A written response to all comments is required with resubmission
2. This Large Scale Development Plan has been given the number L16-19. This number should be placed on the plat and all future correspondence and plats pertaining to this large-scale development.
3. Submit the approved authorization or representation form, if the property owner will not be present at Planning Commission meeting.
4. Need a legend identifying all symbols used.
5. All drives and parking areas are required to be paved. Indicate paving material on plans.
6. The location of the parking stalls creates a drive isle that is less than the required minimum width. Please correct.
7. A screening fence is required in accordance with Chapter 56. Show trees associated with screen.
8. Frontage landscaping is required in accordance with Chapter 56. Show trees associated with proposed wall.
9. Need a landscape plan that shows the details of the landscaped areas including type, size and location of plants.
10. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. Show location and the State Plane Coordinates (NAD 83, Feet) for each streetlight.

11. The developer is required to dedicate right-of-way of an abutting street in conformance with the City of Springdale Master Street Plan. A separate dedication document shall be submitted to the City for filing.
12. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
13. This development must comply with the City of Springdale Commercial Design Standards or a variance is required. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above.

### **Commercial Design Standards Comments**

- 1) Where a façade faces adjacent residential uses or an area on the Comprehensive Land Use Plan designated for residential use an earthen berm shall be installed, no less than 6' in height containing at a minimum a double row of evergreen or deciduous trees planted at a 15' interval plus all landscaping requirements set forth in Chapter 56 of the Springdale Code of Ordinance.
- 2) Continuous internal pedestrian walkways, no less than 5' in width from the public sidewalk to the principal customer entrance of all principal buildings on the site are required. The walkway shown is in conflict with the proposed screen wall/fence. Please correct.
- 3) Internal pedestrian walkways must be distinguishable from driving surfaces through the use of low maintenance surface material such as pavers, bricks, or scored concrete. Indicate material used.
- 4) Outdoor storage, trash collection, and loading areas must be landscaped so that their functions are fully contained and out of view of the adjacent property and the public right-of-way.
- 5) Predominant exterior building materials shall not be: smooth-faced concrete block, tilt-up concrete panels, or pre-fabricated steel panels.
- 6) Need a detailed drawing of enclosures and screening methods.
- 7) Trash containers, trash compactors, and recycling bins shall be screened from public view on all four sides with a solid fence, wall, or gate constructed of cedar, redwood, masonry, or other compatible building material, and shall be appropriately landscaped.
- 8) Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meter shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture.
- 9) All rooftop equipment shall be screened from public view with an architectural treatment that is compatible with the building architecture.
- 10) Submit a unified lighting plan per Springdale Commercial Design Standards.

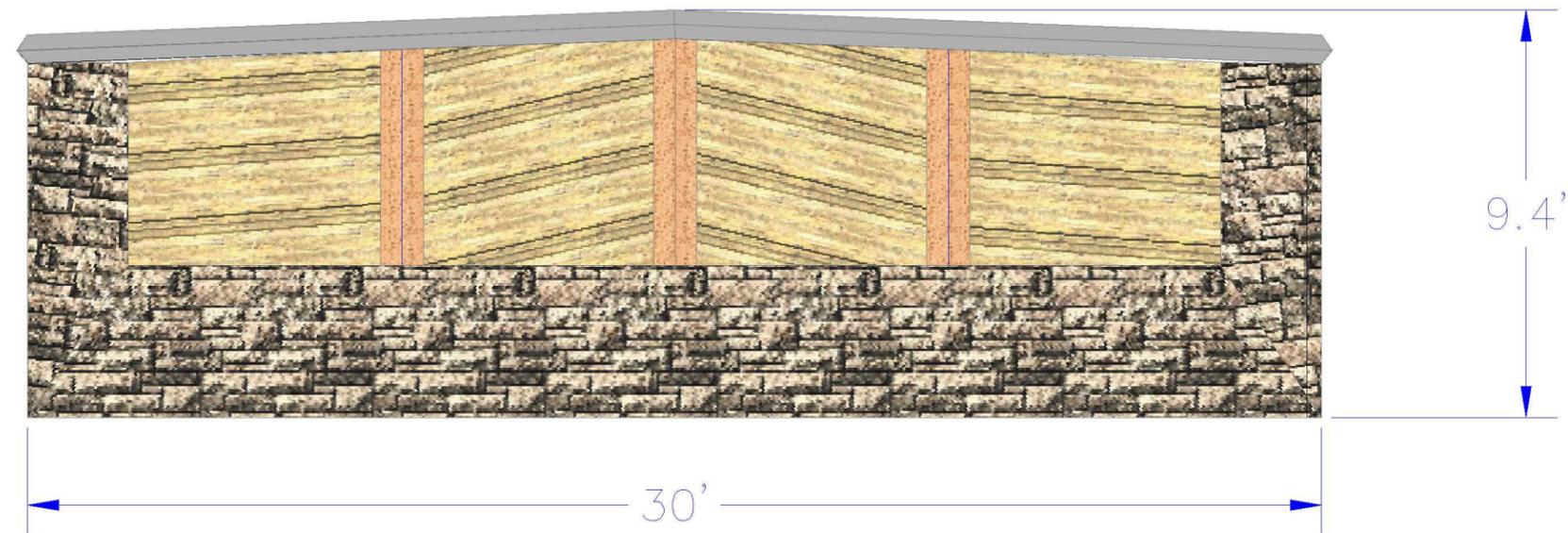
## Engineering Comments

- a. Benchmark data, coordinate system and basis of bearing. We would prefer the survey coordinate to Arkansas State Plain and NAVD 88.
  - b. Flood zone statement, zoning, surveyor's certification, stamp, and signature.
  - c. Location and size of utility lines, watercourses, bridges, culverts, lakes, floodplains and underground installations within or adjacent to the plat.
  - d. Location and size of utilities and drainage systems.
  - e. Show location and details of all handicapped ramps. **-Including but not limited to sidewalks at driveway.**
  - f. Set back lines. Distance from property lines to paving, curbs, buildings, etc.
  - g. Driveway widths, radius, and distance from other property lines and street intersection. Detail of modified curb. **-Distance from drive to neighboring property.**
  - h. Sidewalk location and details including slope. **-Include detail with slope**
  - i. Location of existing and proposed streetlights.
  - j. Plans of street and utility lines with profiles.
- 2) Show the final contours. Need to show spot elevations at the drives to prove that there is a high spot so that water does not drain to the street.
- 3) Need a legend identifying all symbols used.
- 4) Show the size and location of all freestanding signs. Show distances from street right-of-way. **-Either show the location of a sign with appropriate dims, or add a note to the plat stating that there is not one proposed in the development.**
- Sect 98-60(c)(1) Front Set back = 2-feet (leading edge) from ROW**  
**Sect 98-60(c)(2) = 10-ft side PL**
- a. **Sect 110-31(b)** Handicapped ramps shall be provided wherever a sidewalk crosses a curb at crosswalks, driveways, and street intersections.
  - b. Need to show details of handicapped ramps.
  - c. **Sect 9.6/7.** Minimum distance between driveways on adjoining properties is fifty feet (50') and 150' on a single tract. **-Dimension drive to property line.**
  - d. Driveways must slope toward the street at 2% from the intersection with street pavement to the back edge of sidewalk, to provide handicap access across the drive.
  - e. Need to note that modified curb is required at the drives.
- 5) **Sects 110-31(a)** Sidewalks are required one-foot (1') inside the right-of-way line.
- a. Sidewalks shall be constructed with a minimum transverse slope of one-fourth inch (1/4") per foot.
  - b. The sidewalk shall have a minimum width of five feet (5') and a minimum thickness of four inches (4").

- c. The sidewalk shall have expansion joints at each structure, curb and at minimum intervals of 200 feet. Transverse joints between expansion joints shall be scored at five-foot (5') intervals.
  - d. Need to show details of sidewalks on the right-of-way.
- 6) **Sect 110-111** The developer is required to improve the abutting street to the City of Springdale standards and in accordance with the Master Street Plan.
- 7) **Sect 112-4** Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
- a. The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
- 8) **Sect 112-16** All utility wires shall be placed underground.
- 9) **Chapter 56 Landscape and Buffers – Section 56-30 Submittal Requirements**
- a. Plant lists or schedules with the botanical and common names, quantity, spacing and size of all proposed landscape material at the time of planting;
- 10) **Sect 112-3, 112-4 (Ord, No. 5028, Residential Development)** A grading and drainage plan is required for all residential developments showing that each lot drains to the street right-of-way, a dedicated drainage easement with improvements, or an existing drainage way without flowing across a neighboring lot. No drainage from roof drains, landscaping, or lot runoff may be directed or diverted onto neighboring properties in residential subdivisions
- 11) **Sect 106** Submit a preliminary drainage report, as outlined in the City of Springdale Drainage Criteria Manual.
- 12) Need to provide the City Staff with detailed calculations to support all drainage improvements. **–Drainage calculations don't appear to be correct. Predevelopment & Post development calculations are reversed. Runoff is being doubled by development. Detention is required.**
- a. Need to show spot elevations at the drives to prove that there is a high spot so that water does not drain to the street
- 13) **Sect 107** The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/departments/planning\\_and\\_community\\_development/](http://www.springdalear.gov/departments/planning_and_community_development/)
- 14) **Need additional detail for the screening fence. Also note that the sidewalk connecting the handicap accessible area shown is platted to go through the screening fence near the driveway. Please note that the sidewalk also is**

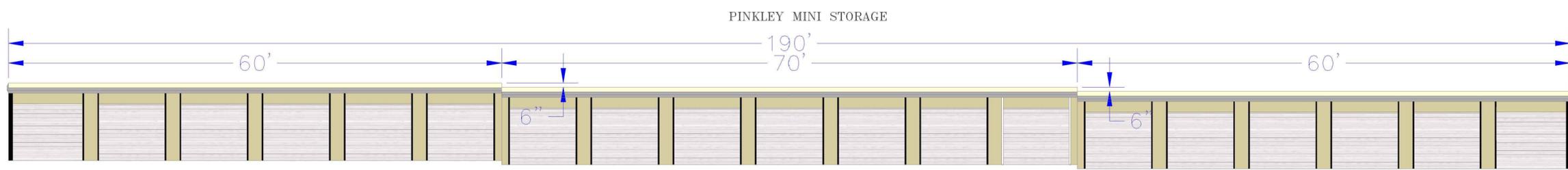
**shown to be on the opposite side of the parking than shown on the details,  
and would require driving over the sidewalk to enter the parking spots.**

# PINKLEY MINI STORAGE

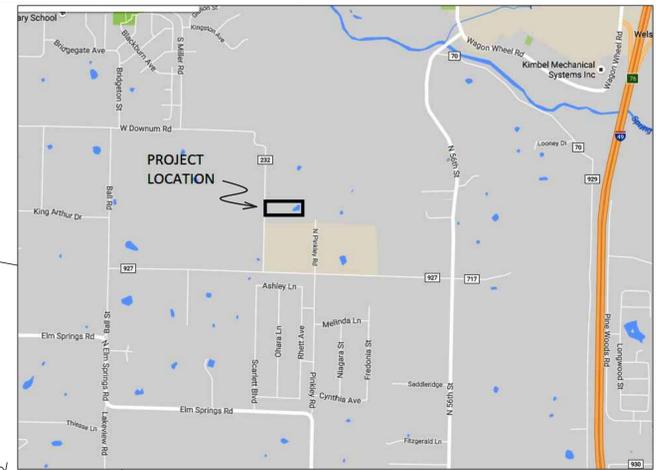
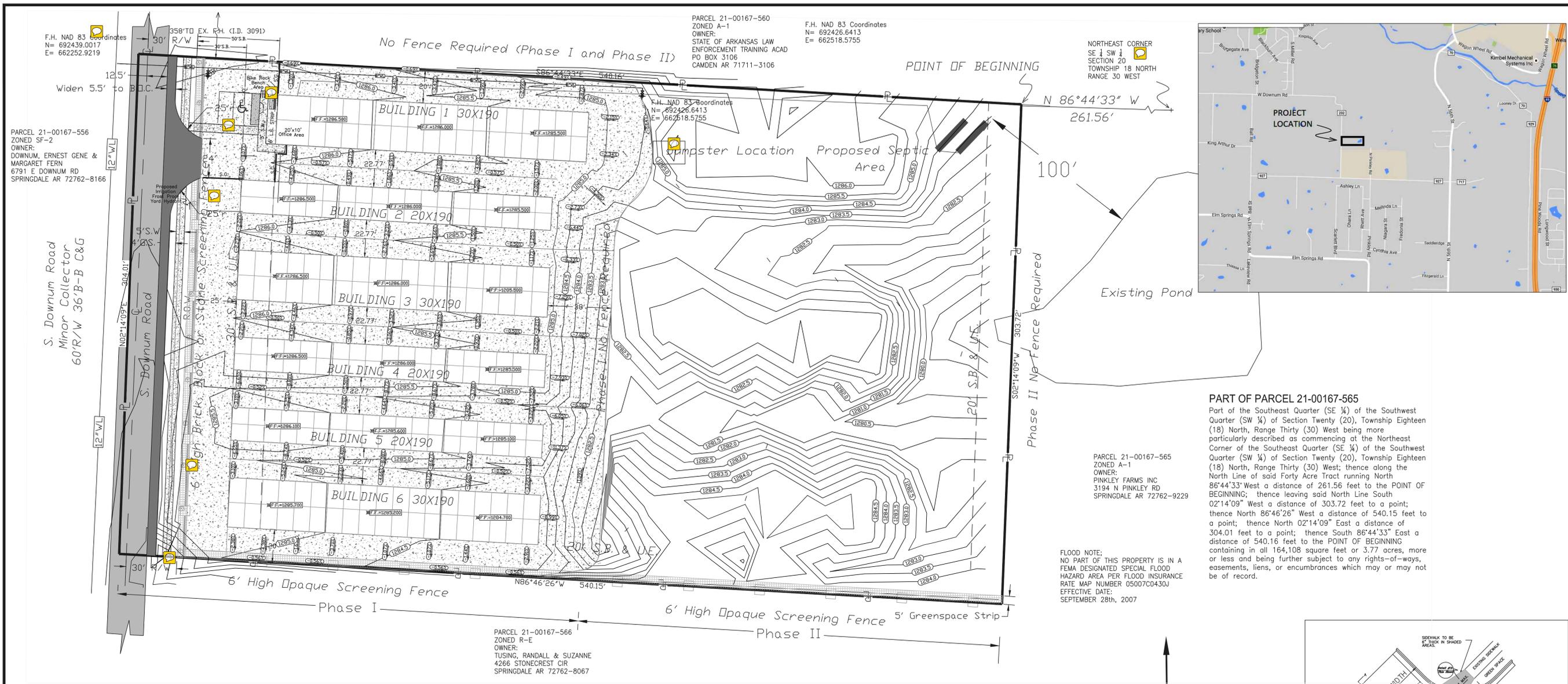


TYP WEST ENDWALL ELEVATION  
SIDE FACING DOWNUM ROAD

SCALE: 1"=4'



SIDE ELEVATION  
SCALE: 1"=10'



**PART OF PARCEL 21-00167-565**  
 Part of the Southeast Quarter (SE 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty (20), Township Eighteen (18) North, Range Thirty (30) West being more particularly described as commencing at the Northeast Corner of the Southeast Quarter (SE 1/4) of the Southwest Quarter (SW 1/4) of Section Twenty (20), Township Eighteen (18) North, Range Thirty (30) West; thence along the North Line of said Forty Acre Tract running North 86°44'33" West a distance of 261.56 feet to the POINT OF BEGINNING; thence leaving said North Line South 02°14'09" West a distance of 303.72 feet to a point; thence North 86°46'26" West a distance of 540.15 feet to a point; thence North 02°14'09" East a distance of 304.01 feet to a point; thence South 86°44'33" East a distance of 540.16 feet to the POINT OF BEGINNING containing in all 164,108 square feet or 3.77 acres, more or less and being further subject to any rights-of-ways, easements, liens, or encumbrances which may or may not be of record.

PARCEL 21-00167-565  
 ZONED A-1  
 OWNER:  
 PINKLEY FARMS INC  
 3194 N PINKLEY RD  
 SPRINGDALE AR 72762-9229

FLOOD NOTE:  
 NO PART OF THIS PROPERTY IS IN A FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP NUMBER 05007C0430J  
 EFFECTIVE DATE:  
 SEPTEMBER 28th, 2007

REVISIONS	REASON:

DATE:	BY:	REASON:

**PINKLEY MINI STORAGE PHASE I**

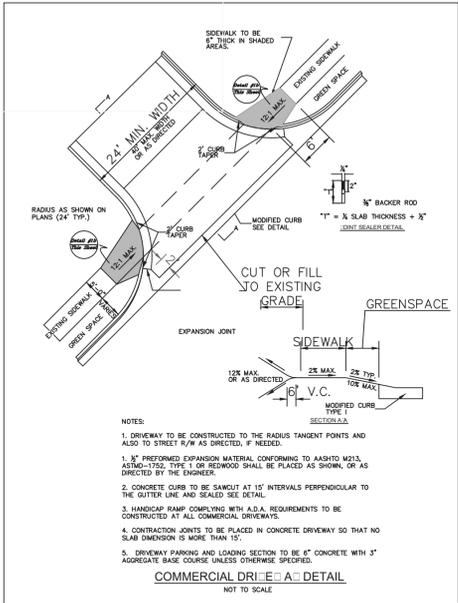
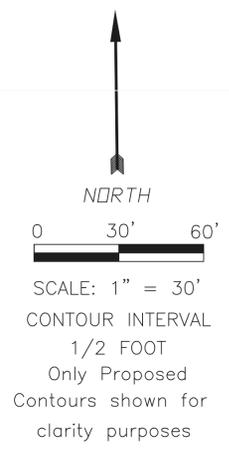
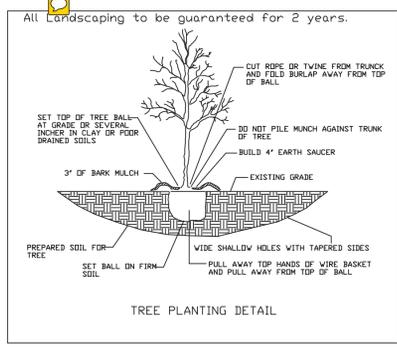
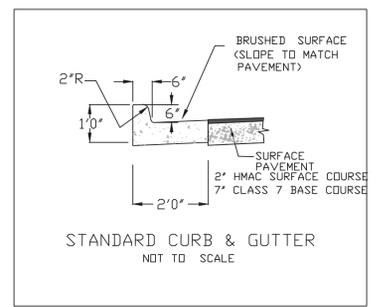
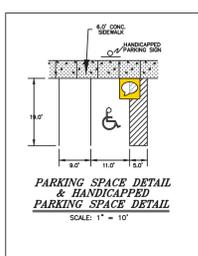
Engineer/Surveyor  
**James Layout Services, LLC**  
 P.O. Box 611  
 Farmington, Arkansas 72730  
 Telephone: (479) 439-9929  
 www.jlsnwa.com

DATE: SEPT. 2016

SHEET NO. 1

**Parking Calculation:**  
 200 Square Foot of Office Space  
 1 parking space req'd  
 Provided 1 Regular Parking Space  
 and 1 Handicapped Space

- Legend:**
- Proposed Fire Hydrant
  - Proposed 8" Water Meter
  - Proposed Handicapped Parking Stall
  - Proposed Handicapped Parking Signage
  - s.c. Proposed Security Gate
  - Proposed Frost Proof Yard Hydrant



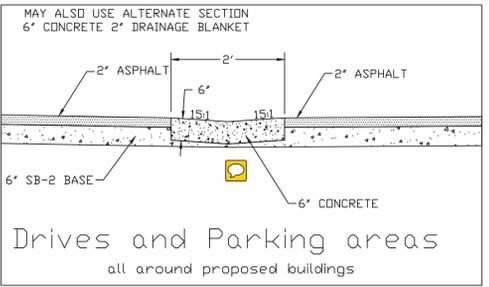
**BUILDING SETBACKS**

FRONT SETBACK IS VARIABLE 50' IN FRONT OF OFFICE 30' ELSEWHERE  
 SIDE SETBACK: SOUTH SIDE 20 FEET NORTH SIDE 0 FEET  
 BACK SETBACK: 20'

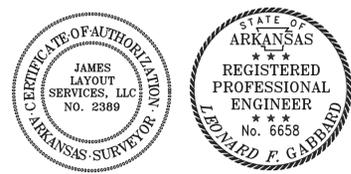
**STREET LIGHT NOTE**

The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street. All public streetlight fixtures shall be by LSI Lighting Model Crossover XRM, #SPL-XRM3-119W/LED/UE-MSV-IPC-PC

PROPERTY CURRENTLY ZONED C-2  
 PROPOSED USAGE: USE UNIT 21  
 GROSS SITE AREA:  
 164,108 Sq.Ft. or 3.77 acres  
 NET SITE AREA:  
 155,280 Sq.Ft. or 3.56 acres



**Owner/Developer**  
 PINKLEY FARMS INC  
 3194 N PINKLEY RD  
 SPRINGDALE AR 72762-9229



# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** L16-20 Large Scale Development Towne Park Apartments

---

**Concept of Detention**

---

**Planning Comments**

1. The property line shown that separates the project from the undisturbed are to the southeast does not exist. A replat will be required to create that property line.
2. Interior parking area landscaping is required in accordance with Chapter 56. Show the total area of the parking lot, the percentage of landscaping required and the percentage of landscaping provided Include a drawing that identifies all areas included in the calculations.
3. Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. Show location and the State Plane Coordinates (NAD 83, Feet) for each streetlight.
4. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
5. Sidewalk will need to be extended along the full length of the property along Westside village street unless a replat is submitted, approved and filed.
6. This development must comply with the City of Springdale Multi-family Design Standards.

## **Multi-Family Design Standards**

### **1. Maximum units permitted with minimum design standard requirements:**

**MF-16                      12 units/acre**

#### **a. 20% Common Open Space – Provide a calculation on the drawing and identify the areas used in the calculation:**

##### **a. The following areas are not allowed as part of common open space:**

- i. Land covered by structures except for ancillary structures associated with the use of open space.**
- ii. Designated outdoor storage areas**
- iii. Land areas between buildings of less than 40'.**
- iv. Strips along buildings, sidewalks, streets, parking lots and property lines less than 25' in any dimension.**
- v. Detention/retention facilities, including drainage swales, except as permitted (on page 6).**

#### **b. Pedestrian Access and control**

- a. All pedestrian walkways shall be 5' wide, except walkways adjacent to a parking area, where cars may overhang the walkway, shall be a minimum of 7' wide.**

#### **c. Landscaping**

- a. Unless otherwise restricted, the maximum height of a fence or wall shall be 8'. Provide fence detail.**
- b. Walls and fences shall be constructed of high quality materials, such as decorative blocks, brick, stone, treated wood, and ornamental metal. Others to be considered on case-by-case basis. No chain link fencing. Provide fence detail.**

#### **d. Need lighting plan.**

- a. Pedestrian walkway lighting**
- b. Light poles and structures shall be no more than 20' high.**
- c. Building mounted lighting shall not be permitted to illuminate parking lots/areas.**
- d. Bollard type lighting shall be no more than 4' high.**
- e. Cut-off shields shall be used to prevent glare and light spill off the project site into adjacent properties, buildings and roadways.**

## Engineering Comments

- 1) **Sect 112-8(i)** Need to show
  - a. Flood zone statement, zoning, **surveyor's certification, stamp, and signature.**
  - b. Location and description of all stakes and monuments. – **Show symbols in legend on C-101**
  - c. Location and size of any property to be dedicated or reserved with special conditions for special uses. – **Show detention pond area on site plan.**
- 2) Need a legend identifying all symbols used. – **Missing symbols on C-101.**
- 3) Show the size and location of all freestanding signs. Show distances from street right-of-way. – **Note on Site Plan that no signs are requested.**  
Sect 98-60(c)(1) Front Set back = 2-feet (leading edge) from ROW  
Sect 98-60(c)(2) = 10-ft side PL
- 4) **Parking Ch130-Art 7 Sect 3.1.** Show the typical dimensions for regular parking, (9'x19'). –**Add a (Typ) tag to at least one 19' parking length on site plan.**
  - a. **Sect 3.5.b.** Show the width of the handicapped access area, (5' min.). – **All sidewalks must be a minimum of 5' wide. Sidewalks entering buildings shown on site plan are labeled as 4 feet wide and typical (Typ).**
  - b. Show the location of the handicapped parking signs. –**Either add the sign to the legend or label one in the drawing with a (Typ) tag.**
- 5) **Sects 110-31(a)** Sidewalks are required one-foot (1') inside the right-of-way line. – **The sidewalk added from previous comments along the east line of the property must continue to the Southeast corner of the property.**
- 6) **Sect 112-4** Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street. –**Lighting is required along Westside Village Street to include the full length of the property.**
  - a. The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.

- 7) **Sect 112-16** All utility wires shall be placed underground. – **Note on Utility Plan**
- 8) **The concept of detention must be approved by the Planning Commission.**
- 9) **DCM Section 5.4.10** *“An easement shall be provided in Plans for detention facilities. A minimum 20’ wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system.”* Ownership of the detention facility will remain with the land. –**Show this on the Site Plan.**
- 10) Sect 107 The site area of disturbance is greater than 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$500.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/departments/planning\\_and\\_community\\_development/](http://www.springdalear.gov/departments/planning_and_community_development/)
- 11) **Storm Drainage pipe sizes shown on Sheet C-103 appear to be different than pipe sizes indicated in the drainage report.**

**NOTE: The storm drainage piping was removed from C-103. Please show the correct piping on C-103.**

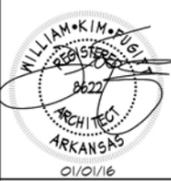




A-4  
(2)
 EXTERIOR ELEVATION at FRONT AND BACK  
 Scale : 1/4"=1'-0"

REV.	DATE	DESCRIPTION	DRAWN
A			
B			
C			
D			
E			
F			
G			
H			
I			
J			
K			
L			
M			
N			
O			
P			
Q			
R			
S			
T			
U			
V			
W			
X			
Y			
Z			

Arch D (landscap



**FUGITT AND ASSOCIATES ARCHITECT**  
 WILLIAM KIM FUGITT AIA

1200 E. JOYCE BLVD.  
 FAYETTEVILLE AR 72703  
 479.521.6686  
 KIM.FUGITT@FUGITTARC.COM

**TOWNE PARK PHASE II**  
**1-BED FLATS 16-UNIT BUILDING**  
 SPRINGDALE, AR

Description:  
TOWNE PARK PHASE II

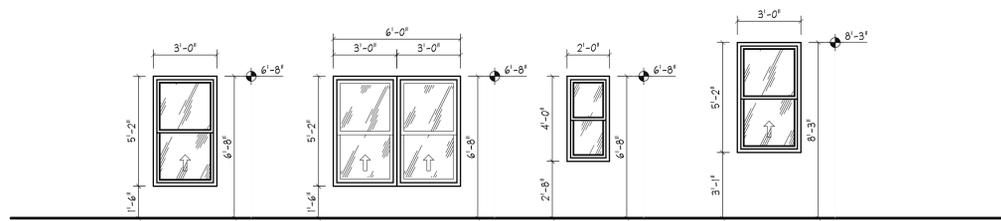
Location:  
SPRINGDALE, AR

Sheet Content:

Sheet:

**A-4 (2)**

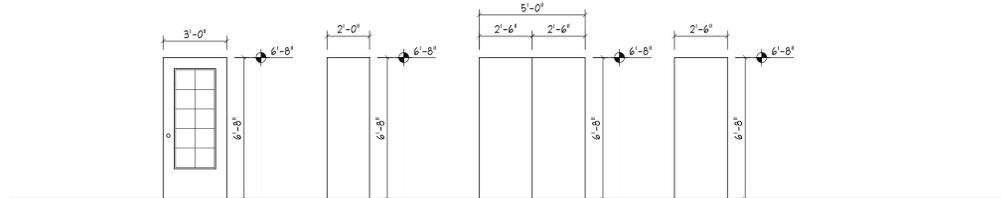
Document Date:  
August 1, 2016



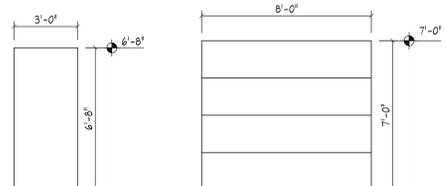
- A 3'-0" X 5'-2" OPERABLE SINGLE HUNG VINYL WINDOW WITH 1" INSULATED GLASS
- B 6'-0" X 5'-2" OPERABLE SINGLE HUNG VINYL TWIN WINDOW WITH 1" INSULATED GLASS
- C 2'-0" X 4'-0" OPERABLE SINGLE HUNG VINYL WINDOW WITH 1" INSULATED GLASS
- D 3'-0" X 5'-2" OPERABLE SINGLE HUNG VINYL WINDOW WITH 1" INSULATED GLASS

\* CONTRACTOR TO ENSURE THAT ALL BEDROOM UNITS MEET EGRESS CODE REQUIREMENTS

NOTE: ALL EXTERIOR ENTRY DOORS REQUIRE STANDARD RESIDENTIAL THRESHOLDS

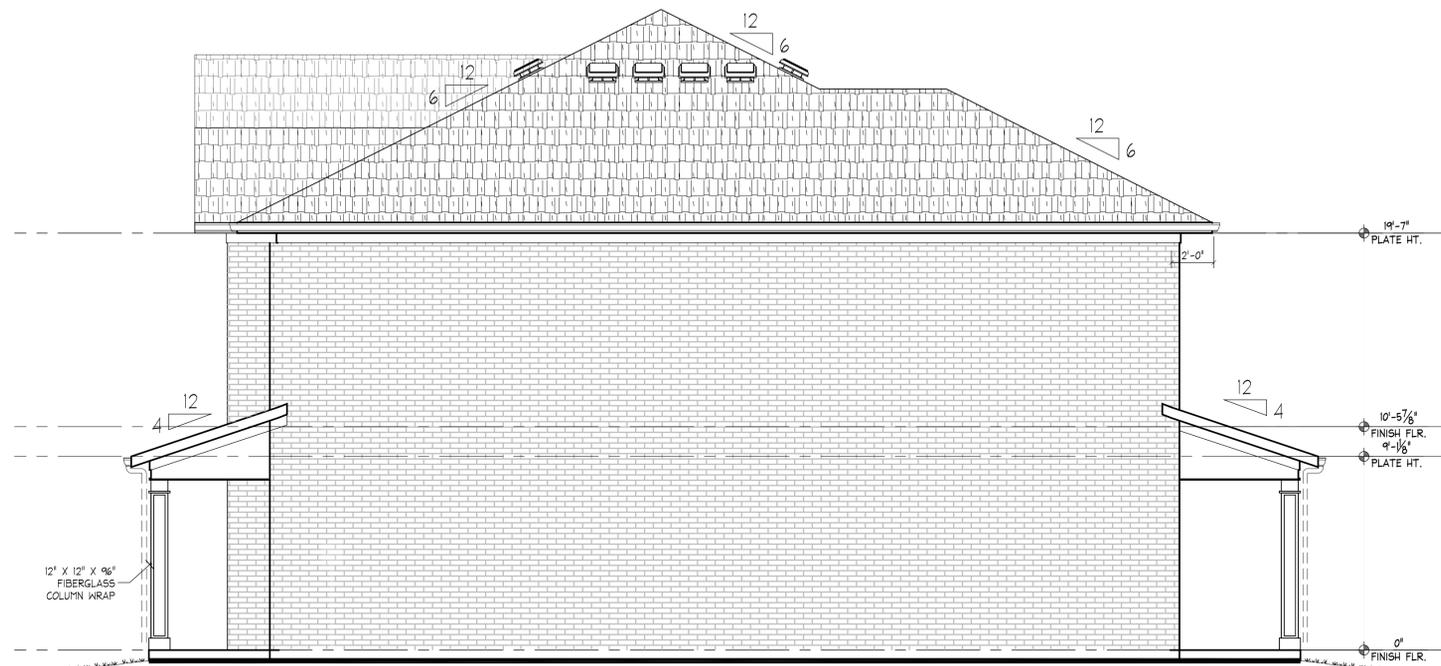


- A 3'-0" X 6'-8" FULL-LITE HOLLOW METAL EXTERIOR DOOR WITH THRESHOLD
- B 2'-0" X 6'-8" FLUSH PANEL MASONITE DOOR
- C 5'-0" X 6'-8" TWIN FLUSH PANEL MASONITE DOOR
- D 2'-6" X 6'-8" FLUSH PANEL MASONITE DOOR



- K 3'-0" X 6'-8" SOLID WOOD DOOR IN WOOD FRAME WITH STANDARD RES. T-HOLD
- L 8'-0" X 7'-0" AUTOMATIC GARAGE DOOR

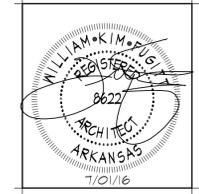
A-4.1 DOOR AND WINDOW SCHEDULE  
Scale : NTS



A-4.1 EXTERIOR ELEVATION at SIDE  
Scale : 1/4"=1'-0"

REV	DATE	DESCRIPTION	DRAWN
1			
2			
3			
4			
5			
6			

Arch D (landscape)



**FUGITT AND ASSOCIATES ARCHITECT**  
WILLIAM KIM FUGITT AIA

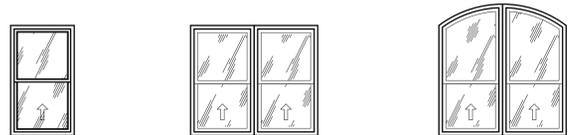
1200 E. JOYCE BLVD  
FAYETTEVILLE AR 72703  
479.521.6688  
KIM.FUGITT@FUGITTAR.COM

**TOWNE PARK PHASE III**  
**2-BED 2.5-BATH TOWNHOME WITH GARAGE**  
ROGERS, AR

Description:	Towne Park Phase III
Location:	ROGERS, AR
Sheet Contents:	
Sheet:	A-4.1
Document Date:	July 26, 2016

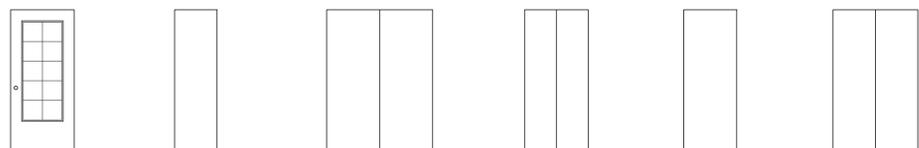


A-4.1 EXTERIOR ELEVATION at GARAGE  
Scale : 1/4"=1'-0"



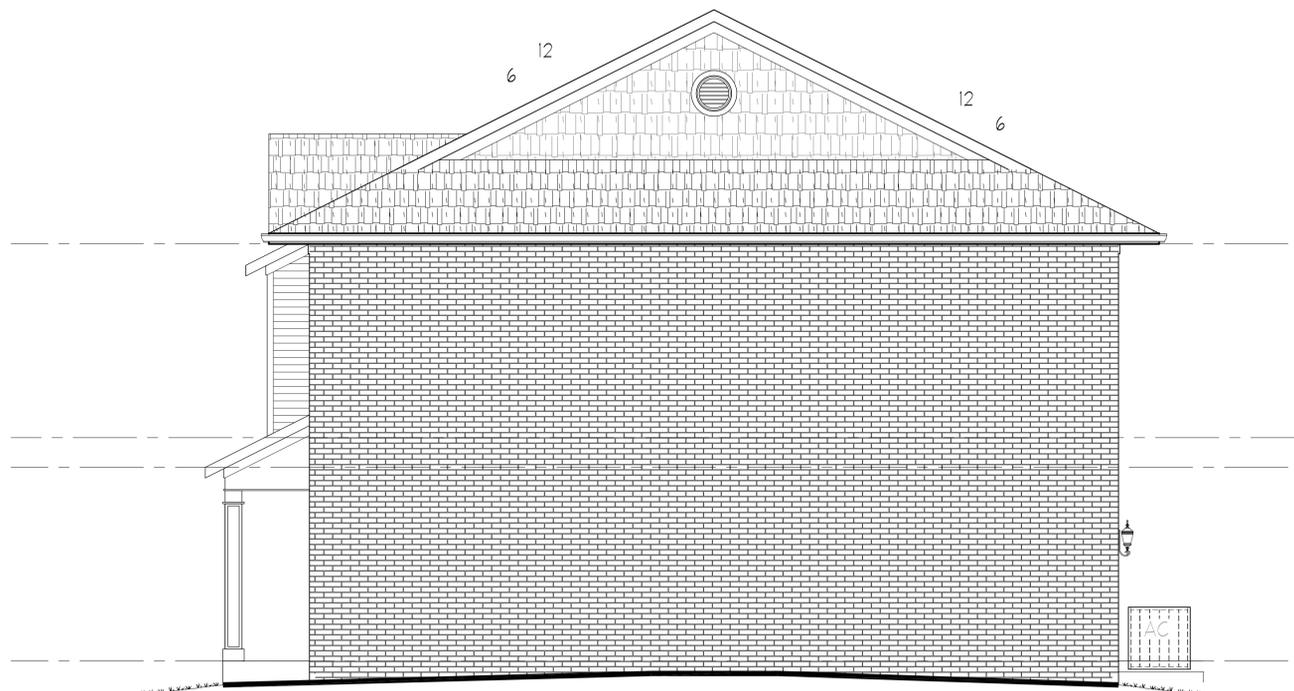
- A 3'-0" X 5'-2" OPERABLE SINGLE HUNG VINYL WINDOW WITH 1" INSULATED GLASS
- B 6'-0" X 5'-2" OPERABLE SINGLE HUNG VINYL TWIN WINDOW WITH 1" INSULATED GLASS
- C 6'-0" X 6'-2" OPERABLE SINGLE HUNG VINYL ARCH TOP TWIN WINDOW WITH 1" INSULATED GLASS

\* CONTRACTOR TO ENSURE THAT ALL BEDROOM UNITS MEET EGRESS CODE REQUIREMENTS  
 NOTE: ALL EXTERIOR ENTRY DOORS REQUIRE STANDARD RESIDENTIAL THRESHOLDS



- A 3'-0" X 6'-8" FULL-LITE HOLLOW METAL EXTERIOR DOOR WITH THRESHOLD
- B 2'-0" X 6'-8" FLUSH PANEL MASONITE DOOR
- C 5'-0" X 6'-8" TWIN FLUSH PANEL MASONITE DOOR
- D 3'-0" X 6'-8" TWIN FLUSH PANEL MASONITE DOOR
- E 2'-6" X 6'-8" FLUSH PANEL MASONITE DOOR
- F 3'-0" X 6'-8" TWIN FLUSH PANEL MASONITE DOOR

DOOR AND WINDOW SCHEDULE  
 Scale : 1/4"=1'-0"



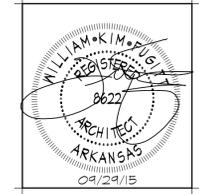
EXTERIOR ELEVATION at SIDES  
 Scale : 1/4"=1'-0"



EXTERIOR ELEVATION at FRONT  
 Scale : 1/4"=1'-0"

REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Arch D (landscape)



**FUGITT AND ASSOCIATES ARCHITECT**  
 WILLIAM KIM FUGITT AIA

1200 E. JOYCE BLVD  
 FAYETTEVILLE AR 72703  
 479.521.6686  
 KIM.FUGITT@FUGITTARC.COM

**TOWNE PARK PHASE II**  
 2-BED 2.5 BATH TOWNHOME  
 SPRINGDALE, AR

Description:	TOWNE PARK PHASE II
Location:	SPRINGDALE, AR
Sheet Contents:	
Sheet:	A-4.1
Document Date:	August 1, 2016

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** October 4, 2016  
**RE:** L16-21 Large Scale Development N. side Elm Springs,  
W. of N. 40<sup>th</sup> Street

---

**Concept of detention**

---

**Planning Comments**

1. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans.
2. This development must comply with the City of Springdale Commercial Design Standards or a variance is required. Front, side, and rear elevations, lighting plan, and a written response to design standards comments are required at the time of resubmission (3 copies). See attached design standard comments.

**Commercial Design Standards Comments**

- 1) Need detailed drawings of enclosures and screening methods. The submitted detail does not meet the design standards or screening requirements. Please revise.
- 2) Trash containers, trash compactors, and recycling bins shall be screened from public view on all four sides with a solid fence, wall, or gate constructed of cedar, redwood, masonry, or other compatible building material, and shall be appropriately landscaped.
- 3) Submit a unified lighting plan per Springdale Commercial Design Standards.

## Engineering Comments

- a. Name, address, and zoning of all adjacent property. – **Address for Wattaburger**
- b. Driveway widths, radius, and distance from other property lines and street intersection. Detail of modified curb. – **Driveway widths on Site Plan**
- c. **Sect 9.6.7.** Minimum distance between driveways on adjoining properties is fifty feet (50') and 150' on a single tract.
- d. Need to obtain an AHTD permit for all work done on their right-of-way. **Submit a copy to City Staff.**
- e. **The concept of detention must be approved by the Planning Commission.**
- f. **DCM Section 5.4.10** *“An easement shall be provided in Plans for detention facilities. A minimum 20' wide drainage easement shall be provided around the 100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system.”* Ownership of the detention facility will remain with the land.
- g. Sect 107 The site area of disturbance is between 0.5 and 1 acre. A storm Water Pollution Prevention Plan, Grading Permit Application and \$250.00 fee, in accordance with Chapter 107, must be submitted to the Planning Office prior to final approval of construction plans. See Applications & Forms / Grading at [http://www.springdalear.gov/department/planning\\_and\\_community\\_development/](http://www.springdalear.gov/department/planning_and_community_development/)
- h. Please submit final design of new underground regional detention facilities. **Need this location platted on site plan. – Underground detention location, layout, & storm drainage piping need to be provided in addition to the details. Recommend an inset plan showing proposed detention.**

# LARGE SCALE DEVELOPMENT PLANS (L16-21)

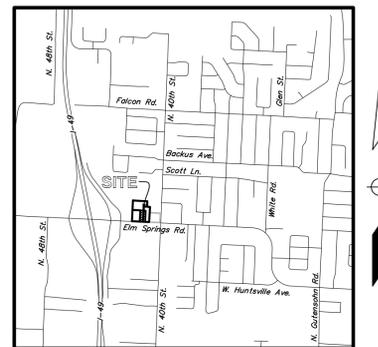
# DUNKIN DONUTS

# ELM SPRINGS ROAD

## SPRINGDALE, ARKANSAS

### GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:  
TOPOGRAPHY: CEI ENGINEERING ASSOCIATES, INC., 3108 SW REGENCY PARKWAY, SUITE 2, BENTONVILLE, AR 72712, (479)273-9472
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.



**Vicinity Map**

Not to Scale

### OWNER REPRESENTATIVE

JODY GOEHRING  
HYDE PARK VENTURES LLC  
2502 JANATT AVE.  
AUSTIN, TX 78703  
PHONE #: 702-987-8222

### CEI CONTACT

NATE BACHELOR  
PROJECT MANAGER  
NBACHELOR@CEIENG.COM  
PHONE#: 479-273-0844  
FAX#: 479-273-0844

### PLAN INDEX:

1. COVER SHEET
2. DEMOLITION PLAN
3. SITE & PAVING PLAN
4. GRADING PLAN
5. EROSION CONTROL PLAN
6. UTILITY PLAN
7. LANDSCAPE PLAN
8. DETAILS SHEET I
9. DETAILS SHEET II
10. DETAILS SHEET III

### ASSOCIATED PLANS:

#### TOPOGRAPHIC SURVEY

1. TOPOGRAPHIC SURVEY

#### UNDERGROUND DETENTION BASIN

1. DETENTION BASIN DETAILS

### RESOURCE LIST:

ZONING CITY OF SPRINGDALE 201 SPRING STREET SPRINGDALE, AR 72765 PHONE#: 479-751-5757 FAX#: 479-750-4039 CLAYTON SEDBERRY	WATER/SANITARY SEWER CITY OF SPRINGDALE P.O. BOX 769 SPRINGDALE, AR 72765 PHONE#: 479-751-5757 FAX#: 479-750-4039 RICK PULVIRENTI, P.E.	ELECTRIC OZARKS ELECTRIC COOPERATIVE CORPORATION BOX 849 FAYETTEVILLE, AR 72702 PHONE#: 479-684-4696 MIKE PHIPPS	GAS BLACK HILLS ENERGY 655 E MILLSAP DRIVE FAYETTEVILLE, AR 72703 SCOTT STOKES 1-800-563-0012
SIGNAGE/BUILDING CITY OF SPRINGDALE 201 SPRING STREET SPRINGDALE, AR 72764 PHONE#: 479-750-8154 FAX#: 479-756-7701 MIKE CHAMBLEE	STORM SEWER CITY OF SPRINGDALE 201 SPRING STREET SPRINGDALE, AR 72764 PHONE#: 479-750-8550 FAX#: 479-750-8539	TELEPHONE ATAI P.O. BOX 7449 SPRINGDALE, AR 72766 PHONE#: 479-442-1963 FAX#: 479-442-3117 LARRY STROUD	HEALTH DEPARTMENT ARKANSAS DEPARTMENT OF HEALTH & HUMAN SERVICES P.O. BOX 1437, SLOT H37 LITTLE ROCK, AR 72203 PHONE#: 501-661-2000 FAX#: 501-661-2032 ROY DAVIS
CURB CUT & ROAD ARKANSAS HIGHWAY & TRANSPORTATION DEPARTMENT 4019 TOWSON AVE. FORT SMITH, AR 72002 PHONE#: 479-646-5501 FAX#: 479-646-8286 CHAD ADAMS	FIRE PREVENTION CITY OF SPRINGDALE 417 S. HOLCOMB SPRINGDALE, AR 72756 PHONE#: 479-751-4510 FAX#: 479-750-8104 ED STITH		

### FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF SPRINGDALE, AR, COMMUNITY PANEL NUMBER 05143C0060F EFFECTIVE DATE MAY 16, 2008.



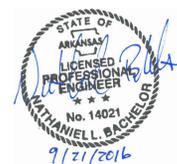
**Engineering Associates, Inc.**

ENGINEERS • PLANNERS • SURVEYORS  
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2  
Bentonville, AR 72712

(479)273-9472  
FAX (479)273-0844

Arkansas \* California \* Minnesota \* Pennsylvania \* Texas



JOB NO.: 29787	DWG NAME: 29787-CS
DATE: 9/21/16	SHEET NO. 1 OF 10
12:42 PM	REV-1

Tract A1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728

Tract B1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728  
NOT A PART  
Parcel #815-29791-093  
Whataburger Real Estate, LLC  
Zoning: C-3

Grass/Weeds

Parcel #815-29791-050  
JUSI Pak, LLC  
Zoning: C-2

Parcel #815-29791-060  
Terry & Paula Wentz  
Zoning: C-2

Tract 2  
File No. DR1-473  
Portion of Warranty Deed  
File No. 2014-32728

Parcel #815-29791-080  
Elm Springs Center, LLC  
4058 Elm Springs Rd.  
Springdale, AR  
Zoning: C-2

NOT A PART  
Parcel #815-29791-070  
Elm Springs Center, LLC  
Zoning: A-1

Proposed Lot  
34,445 Sq. Ft. ±  
or 0.79 Ac. ±  
Parcel #815-29791-090  
Elm Springs Center, LLC  
Zoning: C-2



Know what's below.  
Call before you dig.

LEGEND

EXISTING			
e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
X'G	GAS	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		
○	EXISTING LIGHT POLE		

GENERAL DEMOLITION NOTES

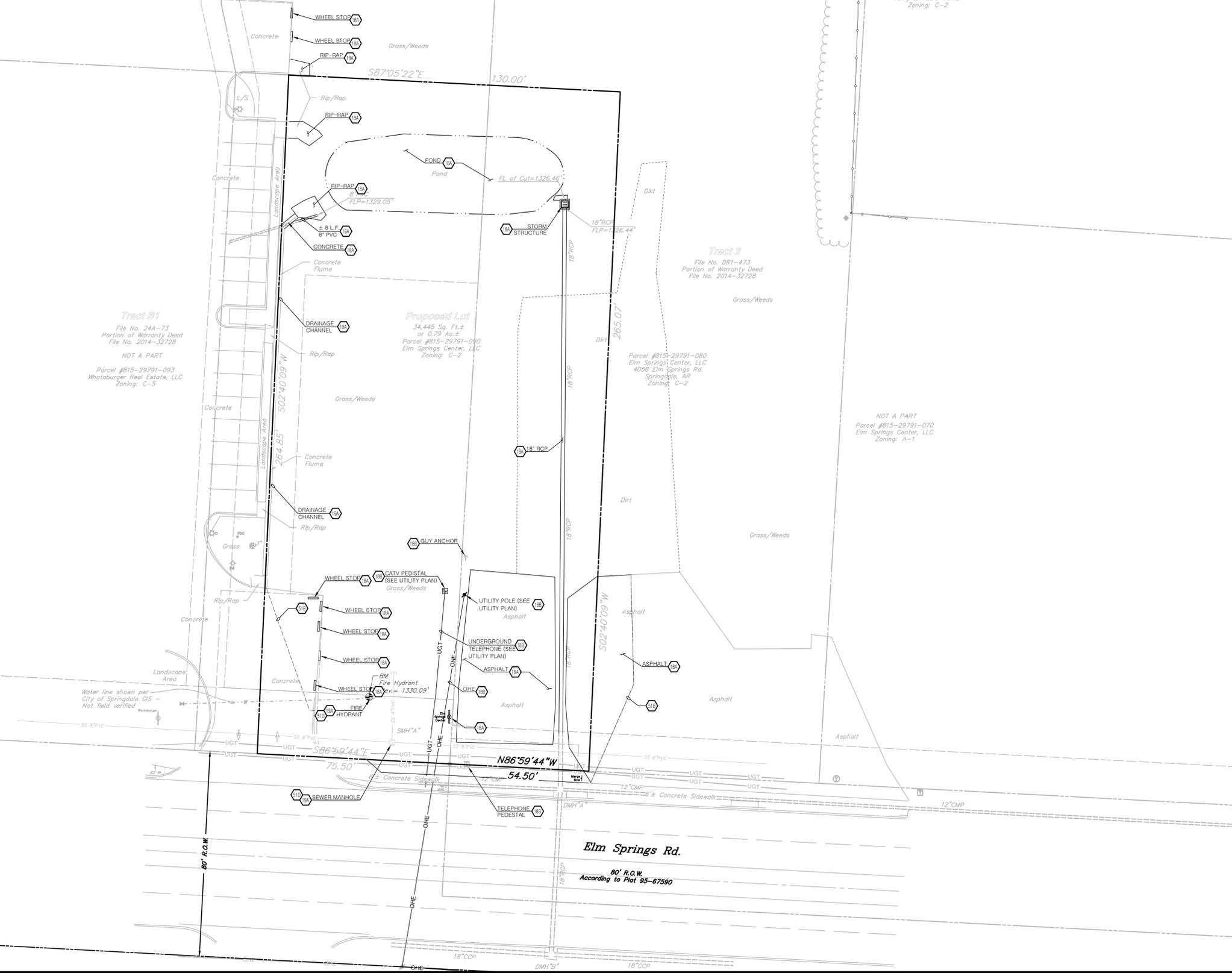
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE 'DUNKIN DONUTS STANDARD SITE WORK SPECIFICATIONS'.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ENGINEER'S NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEMOLITION NOTES

- 18A EXISTING TO BE REMOVED.
- 18B EXISTING TO BE RELOCATED.
- 19A EXISTING TO REMAIN.
- 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.
- 51D PROTECT EXISTING STRUCTURES AND/OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES.

JOB # 29787 DRAWING: 29787-SP.dwg LAST SAVED BY: P:\BIBOPALUX\LOCATION\_P\139000\29787\0\Drawings\Design\Rev-1\29787-SP.dwg

Water line shown per City of Springdale GIS - Not field verified



29787	9/21/16	NLB	NLB	DKH	PTT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
<b>CEI Engineering Associates, Inc.</b>					
ENGINEERS • PLANNERS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712			(479)873-9472 FAX (479)873-0844		
<b>DUNKIN DONUTS</b>					
ELM SPRINGS ROAD SPRINGDALE, ARKANSAS					
<b>DEMOLITION PLAN</b>				REV DATE 9/21/16 REV-1	SHEET NO. 2 OF 10

Tract A1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728

Tract B1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728  
NOT A PART  
Parcel #815-29791-093  
Whataburger Real Estate, LLC  
Zoning: C-3

Parcel #815-29791-050  
JUSJ Pak, LLC  
Zoning: C-2

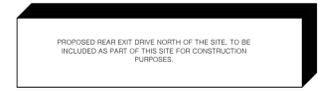
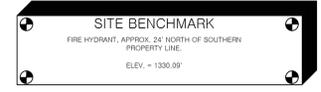
Parcel #815-29791-060  
Terry & Paula Wentz  
Zoning: C-2

Parcel #815-29791-080  
Elm Springs Center, LLC  
4058 Elm Springs Rd.  
Springdale, AR  
Zoning: C-2

NOT A PART  
Parcel #815-29791-070  
Elm Springs Center, LLC  
Zoning: A-1

PARKING CHART			
TOTAL PARKING REQUIRED	TOTAL PARKING PROVIDED	ADA REQUIRED	ADA PROVIDED
1 PER EMPLOYEE & 1 PER 40 MAX OCCUPANCY: 17	24	2	2

\*(BASED ON OCCUPANCY LOAD OF 48 AND 5 EMPLOYEES)



### LEGEND

EXISTING			
	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
	NORTH	OHTV	OVERHEAD TV
	OVERHEAD	X"SS	SANITARY SEWER
	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
	WEST OR WATER	UGTV	UNDERGROUND TV
	PROPERTY LINE	X"W	WATER
	RIGHT OF WAY LINE		
	STORM DRAIN		
	GAS	.5-10-11 50.5	TREE INFO 5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
	OVERHEAD ELECTRIC		
	OVERHEAD ELECTRIC AND TELEPHONE		
	EXISTING LIGHT POLE		

### PROPOSED

	PROPERTY LINE/RIGHT OF WAY LINE
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.
	CURB INLET
	BUILDING CONTROL POINT
	PROPOSED PARKING SPACES
	LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)
	LIMITS OF HEAVY DUTY CONCRETE PAVING.
	LIMITS OF STANDARD DUTY CONCRETE PAVING.
	LIMITS OF HEAVY DUTY ASPHALT PAVING.

### GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 3' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 90U.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

### SITE NOTES

- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH. PLANS).
- 07A SIDEWALK (PER ARCH. PLANS).
- 07E ADA RAMP IN SIDEWALK (PER ARCH. PLANS).
- 12A 4 INCH TRAFFIC YELLOW LAKE STRIPE (SEE LENGTH INDICATED AT SYMBOL).
- 12E PEDESTRIAN CROSSING-4 INCH WIDE PAINTED WHITE STRIPES, 2.0 FOOT C.C. @ 45 DEGREES (SEE SIZE INDICATED AT SYMBOL).
- 12J FIRE LANE STRIPING PER LOCAL CODES.
- 70A STANDARD DUNKIN' DONUTS MENU BOARDS AND SIGNS (PER ARCH. PLANS).

### SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 01B TYPE B CONCRETE INTEGRAL CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 03N WHEELCHAIR RAMP IN SIDEWALK (TYPICAL AT EACH DRIVEWAY)
- CURB RETURN
- 08A STANDARD DUTY ASPHALT PAVING
- 08B HEAVY DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 08E STANDARD DUTY CONCRETE PAVING
- 09A SIXTY DEGREE PARKING SPACE STRIPING
- 09B NINETY DEGREE PARKING SPACE STRIPING
- 09S ADA ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
- 09U ACCESSIBLE PARKING SYMBOL 10A TRAFFIC FLOW ARROW
- 10S TURN AND THROUGH LANE USE ARROW PAVEMENT MARKING
- 12F SIGN BASE

### LEGAL DESCRIPTION

Lot 1

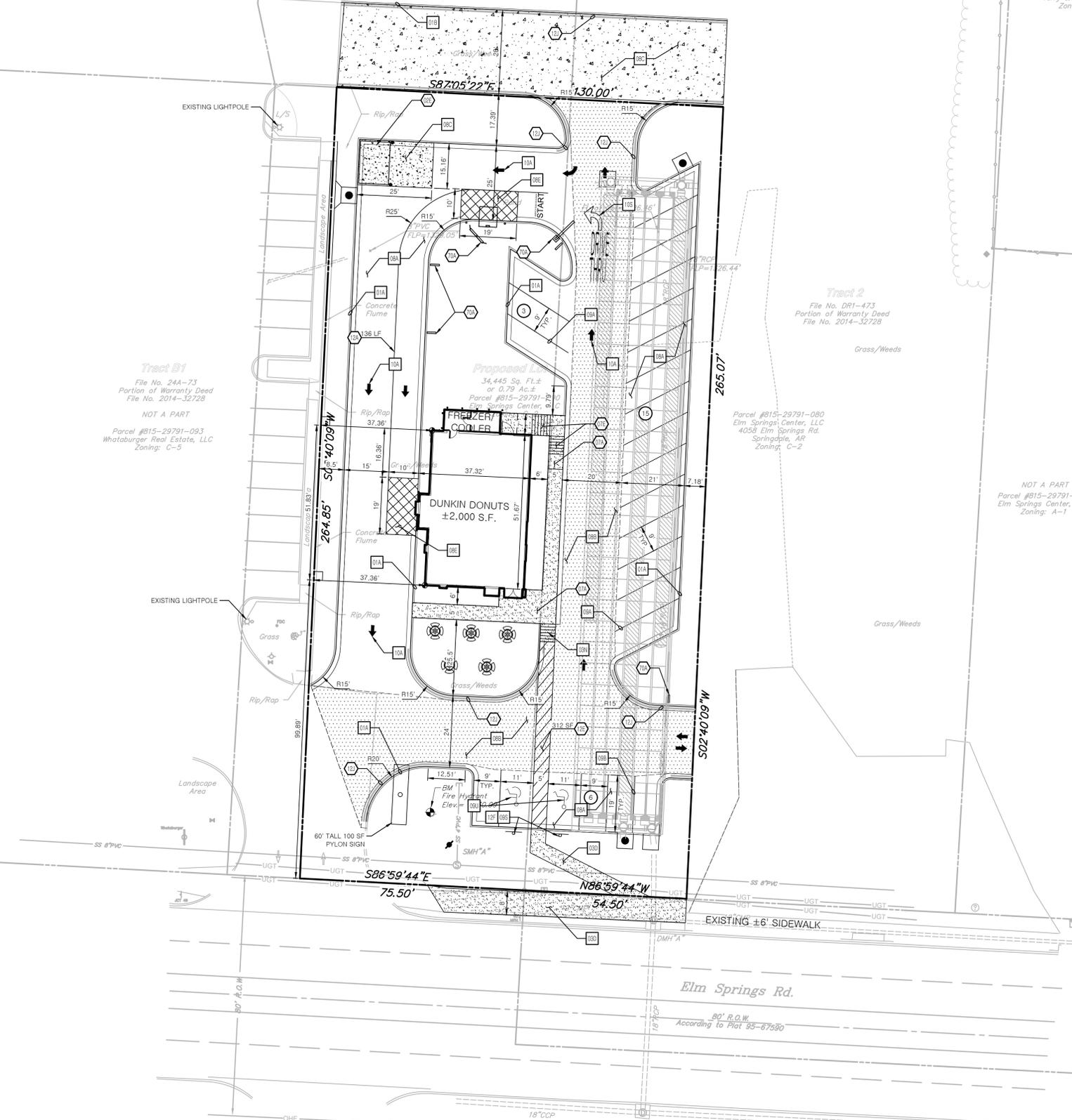
Part of the Northeast Quarter (NE1/4) of the Northeast Quarter (NE1/4) of Section 33, Township 18 North, Range 30 West, City of Springdale, Washington County, Arkansas being a portion of Tract 2 as described in File No. DR1-473 and a portion of Tract A1 as described in File No. 24A-73 both tracts being contained within the property described in File #2014-32728, being more particularly described as follows:

COMMENCING at the Southeast corner of said Northeast Quarter of the Northeast Quarter:  
THENCE along the South line of said Northeast Quarter, North 87°04'24" West a distance of 348.35 feet;  
THENCE North 02°55'38" East a distance of 51.58 feet to a set 5/8" rebar with cap (L.S. 1789) on the North Right-of-Way of Elm Springs Road according to AHTD Job #49013 and the North line of the tract of land being conveyed to the City of Springdale according to Liber 1427, Page 533 for the POINT OF BEGINNING;

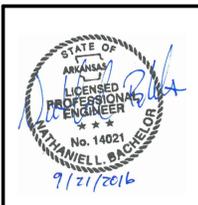
THENCE along said Right-of-Way, North 86°59'44" West, crossing a found 5/8" rebar at a distance of 54.50 feet being a common corner of said Tract A1 and said Tract 2 and continuing for a total distance of 130.00 feet to a set 5/8" rebar with cap (L.S. 1789) at the Southeast corner of Tract B1 according to aforementioned File No. 24A-73 being the Southwest corner of said Tract A1 and the herein described tract;  
THENCE along the common boundary of said Tract A1 and Tract B1, North 02°40'09" East a distance of 264.85 feet to a set 5/8" rebar with cap (L.S. 1789) at the Northeast corner of said Tract B1, being the Northwest corner of herein described tract;

THENCE leaving said common boundary, South 87°05'22" East a distance of 130.00 feet to a set 5/8" rebar with cap (L.S. 1789) at the Northeast corner of herein described tract;  
THENCE South 02°40'09" West, a distance of 265.07 feet to the POINT OF BEGINNING containing 34,445 square feet or 0.79 acres, more or less.

GROSS SITE AREA = 34,445 S.F. (0.79 ACRES)  
NET SITE AREA = 34,445 S.F. (0.79 ACRES)  
R.O.W. = NONE BEING DEDICATED



JOB # 29787 DRAWING: 29787-SP.dwg LAST SAVER BY: PTHIBODIAUX LOCATION: P:\29000\29787\Drawings\Design\Rev-1\29787-SP.dwg



29787	9/21/16	NLB	NLB	OKH	PTT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

**CEI Engineering Associates, Inc.**  
ENGINEERS • PLANNERS • SURVEYORS  
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2  
Bentonville, AR 72712 (479)873-9472  
FAX (479)873-0844

**DUNKIN' DONUTS**  
ELM SPRINGS ROAD  
SPRINGDALE, ARKANSAS

**SITE & PAVING PLAN** REV DATE 9/21/16 REV-1 SHEET NO. 3 OF 10

Tract A1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728

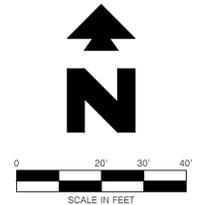
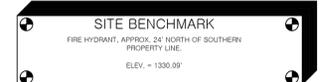
Tract B1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728  
NOT A PART  
Parcel #815-29791-093  
Whataburger Real Estate, LLC  
Zoning: C-3

Parcel #815-29791-050  
JUSI Pak, LLC  
Zoning: C-2

Parcel #815-29791-060  
Terry & Paula Wentz  
Zoning: C-2

Parcel #815-29791-080  
Elm Springs Center, LLC  
4058 Elm Springs Rd.  
Springdale, AR  
Zoning: G-2

NOT A PART  
Parcel #815-29791-070  
Elm Springs Center, LLC  
Zoning: A-1



LEGEND

EXISTING			
e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OR WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
X'G	GAS	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED	
---	PROPERTY LINE/RIGHT OF WAY LINE
---	GRADE BREAK
XXX	CONTOUR ELEVATIONS
---	STORM DRAIN
x XX.XX	SPOT ELEVATIONS: TC = TOP OF CURB G = GUTTER FG = FINISH GRADE LP = LOW POINT

GENERAL GRADING NOTES

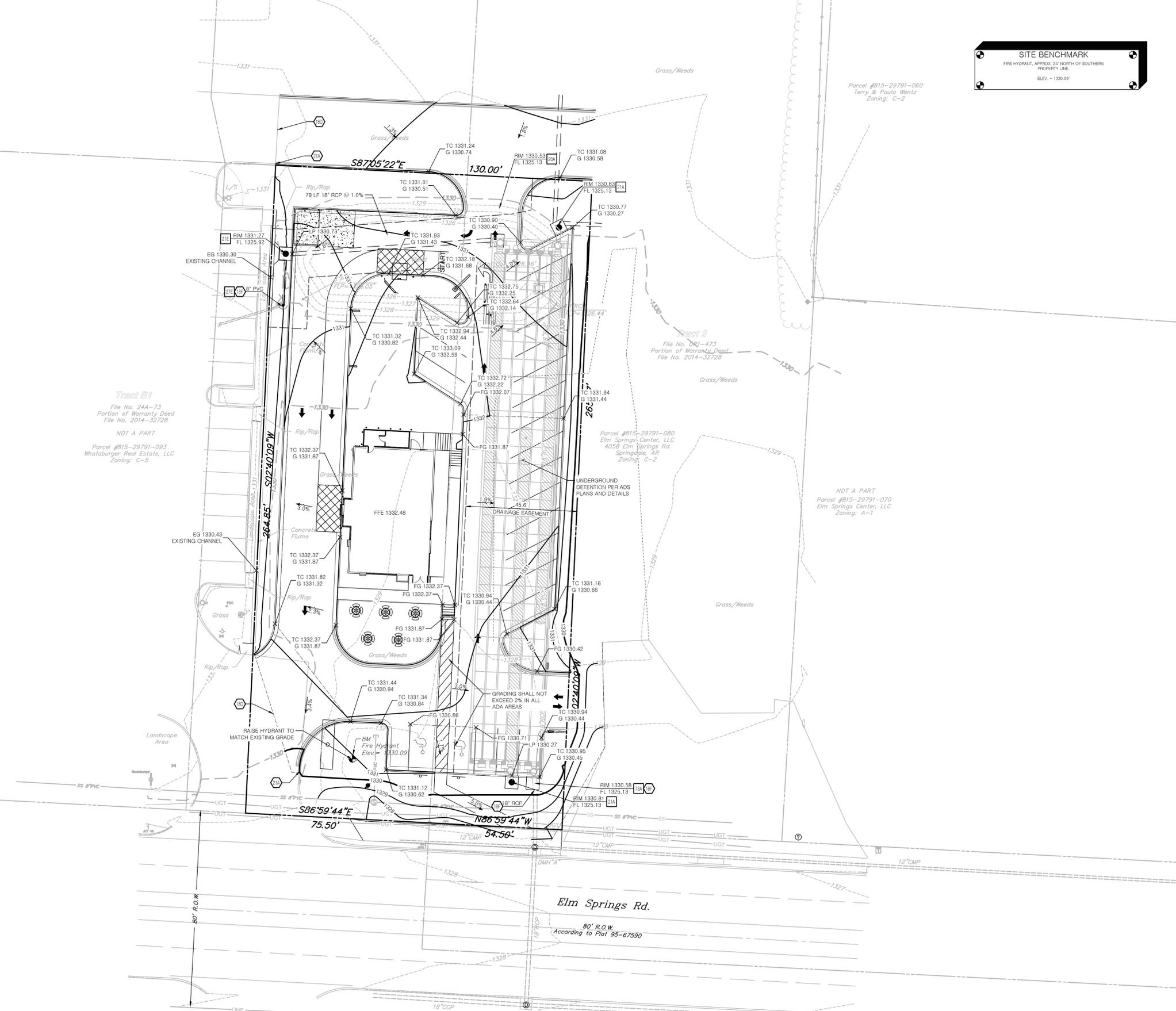
- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

GRADING NOTES

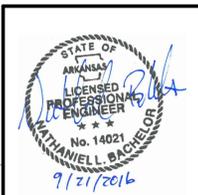
- 18D MATCH EXISTING PAVEMENT ELEVATIONS.
- 18F CONNECT TO EXISTING STORM DRAIN PIPE.
- 21A TAPER CURB TO MATCH EXISTING CURB.

GRADING DETAILS

- 20A JUNCTION BOX
- 21A CURB INLET
- 21E MODIFIED CURB INLET WITH OPEN BACK AND FLUME
- 27E STORM DRAIN CLEAN OUT
- 73A JUNCTION BOX WITH WEIR



JOB # 29787 DRAWING: 29787-GR.dwg LAST SAVER BY: PTHBDDAUX LOCATION: P:\30000\29787\0\Drawings\Design\Rev-1\29787-GR.dwg



29787	9/21/16	NLB	NLB	DKH	PTT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

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ENGINEERS • PLANNERS • SURVEYORS  
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Bentonville, AR 72712 (479)873-9472  
FAX (479)873-0844

**DUNKIN DONUTS**  
ELM SPRINGS ROAD  
SPRINGDALE, ARKANSAS

**GRADING PLAN** REV DATE 9/21/16 REV-1 SHEET NO. 4 OF 10

Trajectory  
File No. 244-73  
Portion of Warranty Deed  
File No. 2014-32728

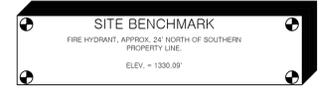
Trajectory  
File No. 244-73  
Portion of Warranty Deed  
File No. 2014-32728  
NOT A PART  
Parcel #815-29791-093  
Whataburger Real Estate, LLC  
Zoning: C-3

Parcel #815-29791  
JUSI Pak, LLC  
Zoning: C-2

Parcel #815-29791  
Terry & Paula We  
Zoning: C-2

Parcel #815-29791-080  
Elm Springs Center, LLC  
4058 Elm Springs Rd.  
Springdale, AR  
Zoning: C-2

NOT A PART  
Parcel #815-29791-070  
Elm Springs Center, LLC  
Zoning: A-1



LEGEND

EXISTING			
e	EAST OF ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD	X"SS	SANITARY SEWER
s	SOUTH OF SEWER	UGE	UNDERGROUND ELECTRIC
t	TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
ug	UNDERGROUND	UGT	UNDERGROUND TELEPHONE
w	WEST OF WATER	UGTV	UNDERGROUND TV
---	PROPERTY LINE	X"W	WATER
---	RIGHT OF WAY LINE		
---	STORM DRAIN		
X'G	GAS	.5-10-11 50.5	TREE INFO 5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		

PROPOSED	
---	PROPERTY LINE/RIGHT OF WAY LINE
---	LIMITS OF DISTURBANCE
---	SILT FENCE
---	GRADE BREAK
---	CONTOUR ELEVATIONS
---	STORM DRAIN
---	INLET PROTECTION

GENERAL EROSION NOTES

- ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 21 DAYS, SHALL BE TEMPORARILY SEEDED WITHIN 14 DAYS.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ALSO ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- IF SOIL STOCKPILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- SEDIMENT BASINS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% OF THE COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- DUO TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.

GENERAL EROSION NOTES CONT'D

- MAINTENANCE**  
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETERIORATION.
  - ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEED AS NEEDED.
  - SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE SILT FENCE.
  - THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
  - THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
  - IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.

SEQUENCE OF CONSTRUCTION

- INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- PREPARE TEMPORARY PARKING AND STORAGE AREA.
- CONSTRUCT THE SILT FENCES ON THE SITE.
- CONSTRUCT THE TEMPORARY SEDIMENTATION TRAPS.
- CLEAR AND GRUB THE SITE.
- BEGIN GRADING THE SITE.
- START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED DENUDATED AREAS.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL INLET PROTECTION DEVICES.
- PREPARE SITE FOR PAVING.
- PAVE SITE.
- COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

EROSION DETAILS

- 80E TEMPORARY GRAVEL CURB INLET SEDIMENT FILTER
- 80A TEMPORARY SILT FENCE
- 85A TEMPORARY STONE CONSTRUCTION ENTRANCE
- 85C TEMPORARY CONCRETE WASH OUT.



29787	9/21/16	NLB	NLB	OKH	PTT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

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Bentonville, AR 72712 (479)873-9472  
FAX (479)873-0844

**DUNKIN DONUTS**  
ELM SPRINGS ROAD  
SPRINGDALE, ARKANSAS

No. 14021

**EROSION CONTROL PLAN** REV DATE 9/21/16 SHEET NO. 5 OF 10  
REV-1

JOB # 29787 DRAWING: 29787-CP.dwg LAST SAVED BY: PTHIBODIAUX LOCATION: P:\38000\29787\Drawings\Design\Rev-1\29787-CP.dwg

Tract A1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728

15' Utility Easement in favor  
to City of Springdale  
per Doc. #95-036493

28' Shared Access Easement  
per Plat 0244-73  
& File #2015-00024035

Tract B1  
File No. 24A-73  
Portion of Warranty Deed  
File No. 2014-32728  
NOT A PART  
Parcel #815-29791-093  
Whataburger Real Estate, LLC  
Zoning: C-3

15' Utility Easement  
per Doc. #95-067590

15' Utility Easement in  
favor of City of Springdale  
per Doc. #95-036493

25' Utility Easement  
to the Springdale Water  
& Sewer Commission  
per Doc. #95-036493  
& 94-066389

Water line shown per  
City of Springdale GIS  
Not field verified

1/2" & R.O.W. Grant  
Springdale Water & Sewer  
Commission of the City of Springdale  
1432, Pg. 174

Easement  
to the City of Springdale  
per 95-036493

Parcel #815-29791-050  
JUSI Pak, LLC  
Zoning: C-2

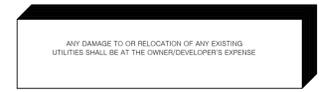
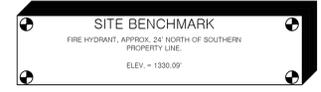
Parcel #815-29791-060  
Terry & Paula Wentz  
Zoning: C-2

Parcel #815-29791-080  
Elm Springs Center, LLC  
4058 Elm Springs Rd.  
Springdale, AR  
Zoning: C-2

NOT A PART  
Parcel #815-29791-070  
Elm Springs Center, LLC  
Zoning: A-1

FIRE HYDRANT TO BE RAISED PER  
CITY OF SPRINGDALE WATER  
DEPARTMENT STANDARD DETAILS  
N: 684130.43  
E: 670372.60

Elm Springs Rd.  
80' R.O.W.  
According to Plat 95-67590



LEGEND

EXISTING			
e	EAST OR ELECTRIC	OHT	OVERHEAD TELEPHONE
n	NORTH	OHTV	OVERHEAD TV
oh	OVERHEAD TELEPHONE	X'SS	SANITARY SEWER
s	SOUTH OR SEWER	UGE	UNDERGROUND ELECTRIC
u	UNDERGROUND TELEPHONE	UGE&T	UNDERGROUND ELECTRIC AND TELEPHONE
uw	WEST OR WATER	UGT	UNDERGROUND TELEPHONE
---	PROPERTY LINE	UGTV	UNDERGROUND TV
---	RIGHT OF WAY LINE	X'W	WATER
---	STORM DRAIN		
X'G	GAS	.5-10-11 50.5	TREE INFO .5 = DIAMETER OF TRUNK IN FEET 10 = HEIGHT OF TREE IN FEET 11 = CANOPY DIAMETER IN FEET 50.5 = ELEVATION AT BASE OF TREE
OHE	OVERHEAD ELECTRIC		
OHE&T	OVERHEAD ELECTRIC AND TELEPHONE		
⊙	EXISTING LIGHT POLE		

PROPOSED		
---	PROPERTY LINE/RIGHT OF WAY LINE	
---	STORM DRAIN	
X'G	GAS SERVICE	
OHE	OVERHEAD ELECTRIC SERVICE	
X'SS	SANITARY SEWER SERVICE	
UGE	UNDERGROUND ELECTRIC SERVICE	
UGT	UNDERGROUND TELEPHONE SERVICE	
X'W	WATER SERVICE	

GENERAL UTILITY NOTES

- ALL WATER LINES SHALL BE DUCTILE IRON SPECIAL CLASS 50 PIPE WITH 36" MIN. COVER.
- ALL SANITARY SEWER LINES SHALL BE PVC SDR-26 WITH 36" MIN. COVER.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42A. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

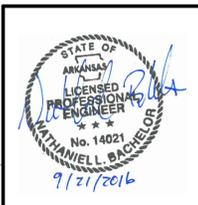
UTILITY DETAILS

- 40C SANITARY SEWER CLEAN-OUT
- 42A WATER LINE TRENCHING AND BEDDING
- 42B SANITARY SEWER TRENCHING AND BEDDING

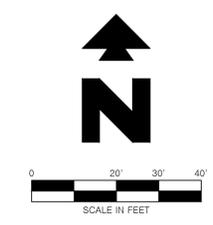
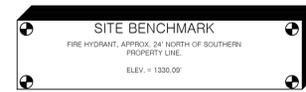
UTILITY NOTES

- 22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
- 22L METERED DOMESTIC WATER SERVICE ENTRY PER ARCH. PLANS (SEE SIZES THIS SHEET).
- 22M PROPOSED WATER METER (PER LOCAL CODES AND SPECIFICATIONS).
- 22Y INTERIOR BACK FLOW PREVENTER (PER ARCH. PLANS).
- 23A POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
- 23E SANITARY SEWER SERVICE ENTRY (PER ARCH. PLANS).
- 23H GREASE TRAP WITH CLEAN-OUT (PER ARCH. PLANS).
- 24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
- 24E PROPOSED POLE MOUNTED TRANSFORMER.
- 25A PROPOSED POWER POLE.
- 26A POINT OF CONNECTION FOR UNDERGROUND TELEPHONE (PER TELEPHONE COMPANY REQUIREMENTS).
- 29A MAINTAIN MIN. 18 INCHES VERTICAL SEPARATION.
- 31A LOCATION FOR THIS UTILITY AS SHOWN IS FOR DRAWING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
- 76A IRRIGATION BACKFLOW PREVENTER PER LOCAL CODES.

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<b>DUNKIN DONUTS</b>					
ELM SPRINGS ROAD SPRINGDALE, ARKANSAS					
No. 14021				REV DATE	
UTILITY PLAN				SHEET NO.	
REV-1				6 OF 10	

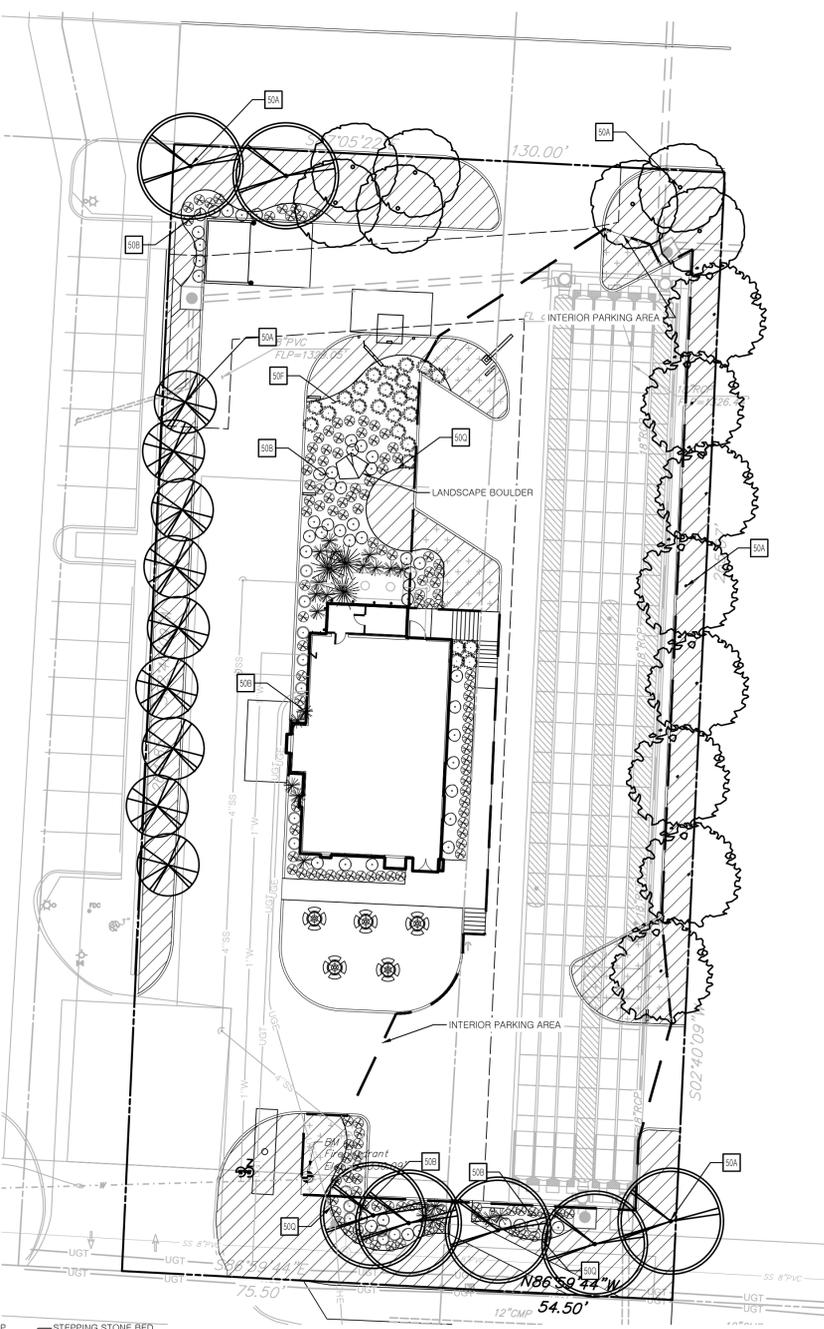
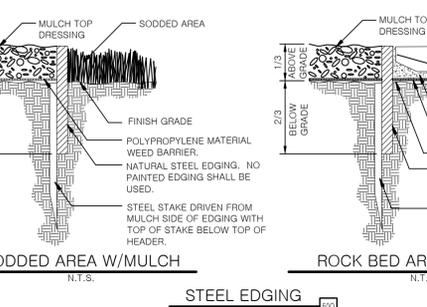
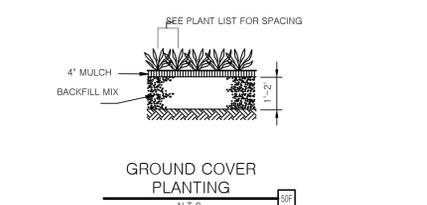
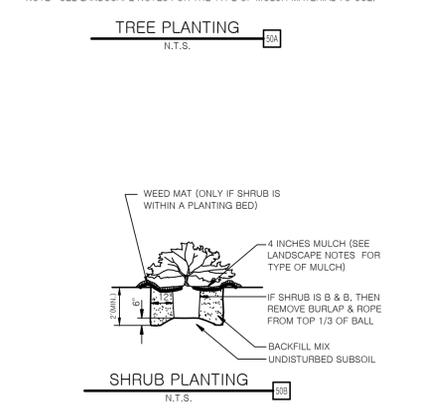
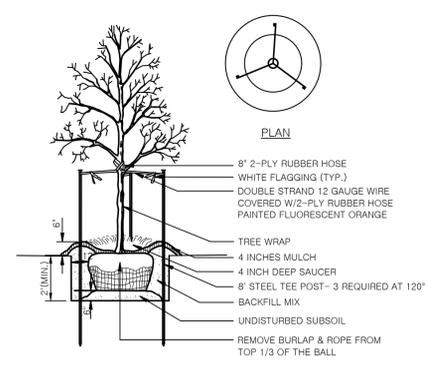


LANDSCAPE REQUIREMENTS			
CITY OF SPRINGDALE, AR LANDSCAPE REQUIREMENTS	REQUIRED	PROPOSED	
<b>STREET</b> 10' BUFFER 1 TREE AND 7 SHRUBS PER 25 LF	<b>ALONG ELM SPRINGS</b> 130 LF	36 SHRUBS 5 TREES	96 SHRUBS 5 TREES
<b>PERIMETER</b> 5' BUFFER 1 TREE PER 25 LF	<b>ALONG PROP. LINE</b> 660 LF	26 TREES	26 TREES
<b>INTERIOR</b> 1 ISLAND PER 15 SPACES MIN. 10% GREENSPACE	<b>INTERIOR PARKING AREA</b> ±12,313 S.F.	±1,231 S.F.	±1,400 S.F. GREEN SPACE
<b>FOUNDATION</b>	<b>FOUNDATION PLATING REQUIRED</b>	<b>FOUNDATION PLANTING PROVIDED</b>	

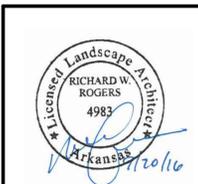
EXISTING		
—	EAST OR ELECTRIC	— OHT — OVERHEAD TELEPHONE
—	NORTH	— OHTV — OVERHEAD TV
—	OVERHEAD	— X"SS — SANITARY SEWER
—	SOUTH OR SEWER	— UGE — UNDERGROUND ELECTRIC
—	TELEPHONE	— UGE&T — UNDERGROUND ELECTRIC AND TELEPHONE
—	UNDERGROUND WEST OR WATER	— UGT — UNDERGROUND TELEPHONE
—	PROPERTY LINE	— UGTV — UNDERGROUND TV
—	RIGHT OF WAY LINE	— X"W — WATER
—	STORM DRAIN	
—	X"G GAS	5-10-11 50.5 TREE INFO
—	OHE OVERHEAD ELECTRIC	5 = DIAMETER OF TRUNK IN FEET
—	OHE&T OVERHEAD ELECTRIC AND TELEPHONE	10 = HEIGHT OF TREE IN FEET
		11 = CANOPY DIAMETER IN FEET
		50.5 = ELEVATION AT BASE OF TREE
—	EXISTING LIGHT POLE	
PROPOSED		
—	PROPERTY LINE/RIGHT OF WAY LINE	
—	STORM DRAIN	
—	BERMUDA SOD	
—	INTERIOR GREENSPACE	
—	TYPICAL PLANTING WITH QUANTITY AND KEY (SEE PLANT LIST)	
LANDSCAPE DETAILS		
50A	TREE PLANTING	
50B	SHRUB PLANTING	
50F	GROUND COVER PLANTING	
50Q	STEEL EDGING	

PLANT LIST				
QTY	COMMON NAME/ BOTANICAL NAME	ROOT	SIZE	REMARKS
7	RED MAPLE <i>Acer rubrum</i>	B&B	3" CAL.	PLANT AS SHOWN
8	THORALESS HONEY LOCUS <i>Gleditsia triacanthos 'SHADEMASTER'</i>	B&B	3" CAL.	PLANT AS SHOWN
7	RED BUD <i>Cornus canadensis</i>	B&B	2.5" CAL.	PLANT AS SHOWN
9	CORNELIAN CHERRY <i>Cornus mas</i>	B&B	2.5" CAL.	PLANT AS SHOWN
3	Arboreal <i>Thuja occidentalis 'EMERALD'</i>	CONT.	20 GAL.	PLANT AS SHOWN
32	MEXICAN FEATHER GRASS <i>Hesperia tenuissima</i>	CONT.	3 GAL.	PLANT AS SHOWN
13	JAPANESE BARBERRY <i>Berberis thunbergii</i>	CONT.	3 GAL.	PLANT AS SHOWN
52	INKBERRY HOLLY <i>Ilex glabra</i>	CONT.	5 GAL.	PLANT AS SHOWN
143	LILY TURF <i>Liriodendron muscari</i>	CONT.	CONT.	3'-0" O.C.
25	JUNIPER <i>Juniperus x pfitzeriana</i>	CONT.	CONT.	4'-0" O.C.

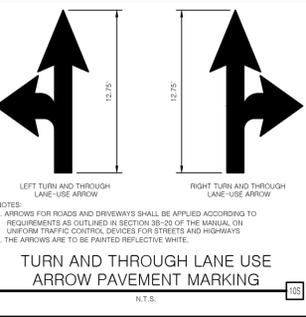
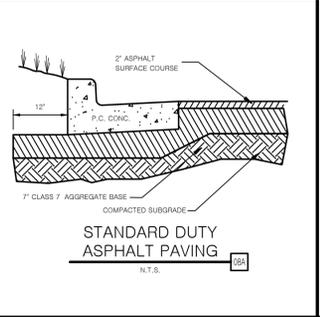
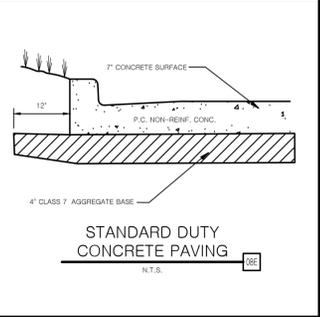
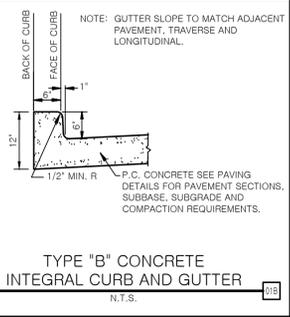
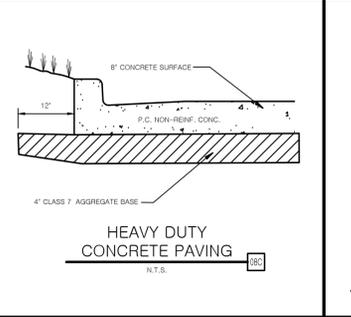
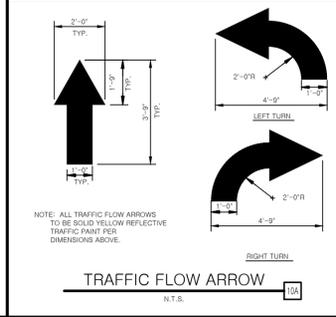
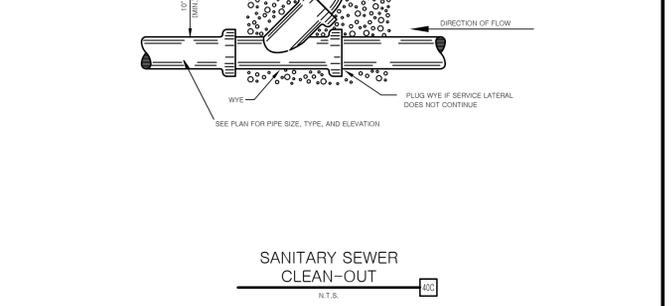
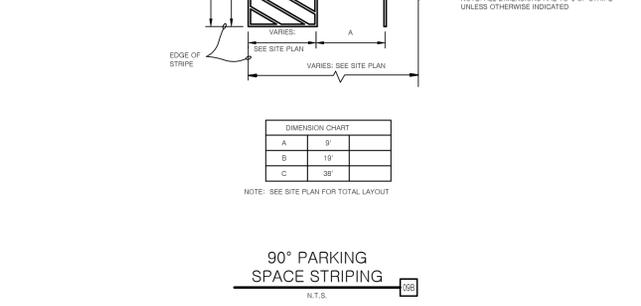
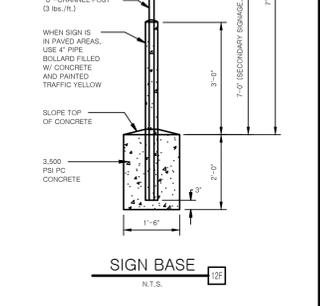
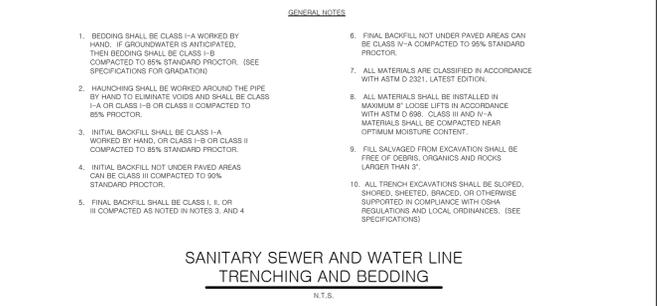
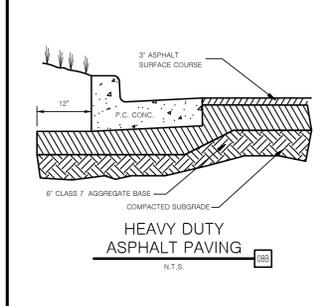
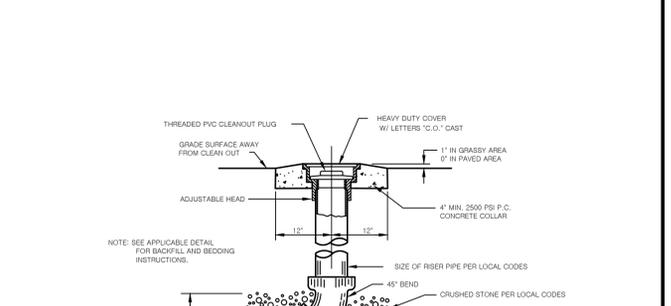
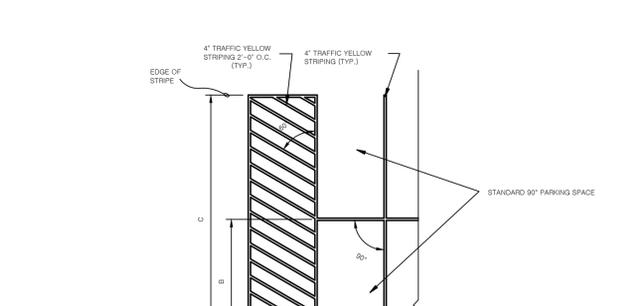
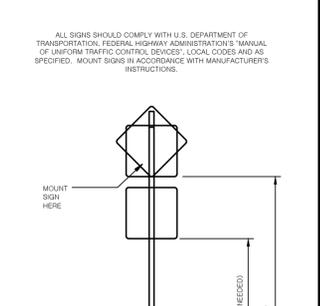
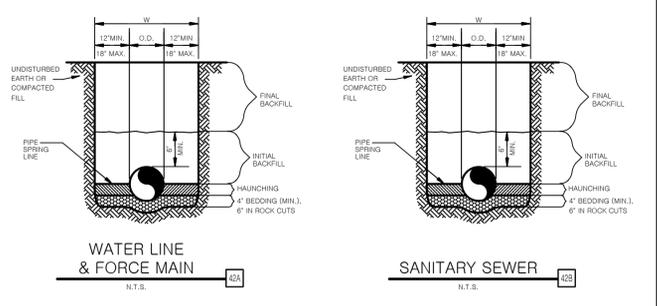
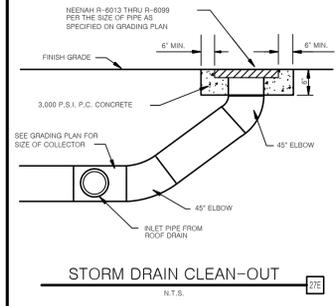
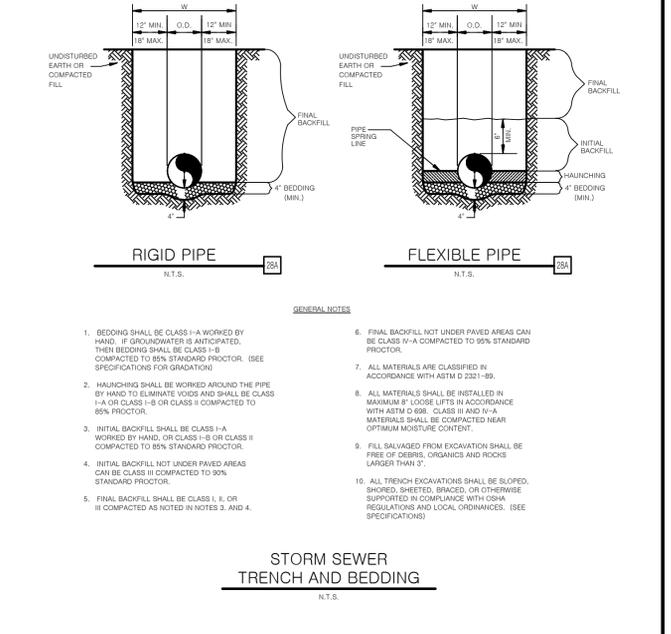
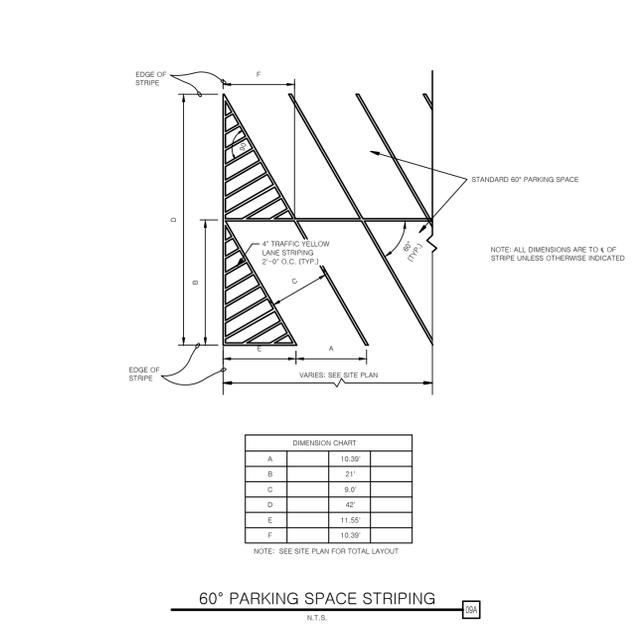
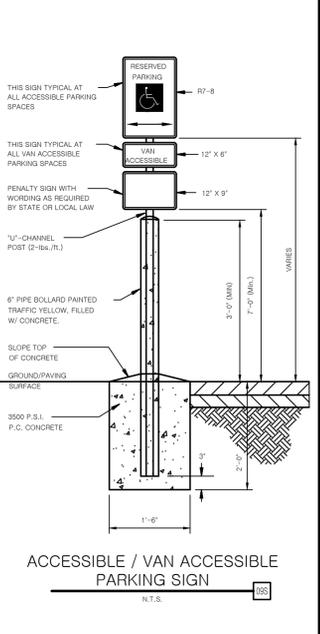
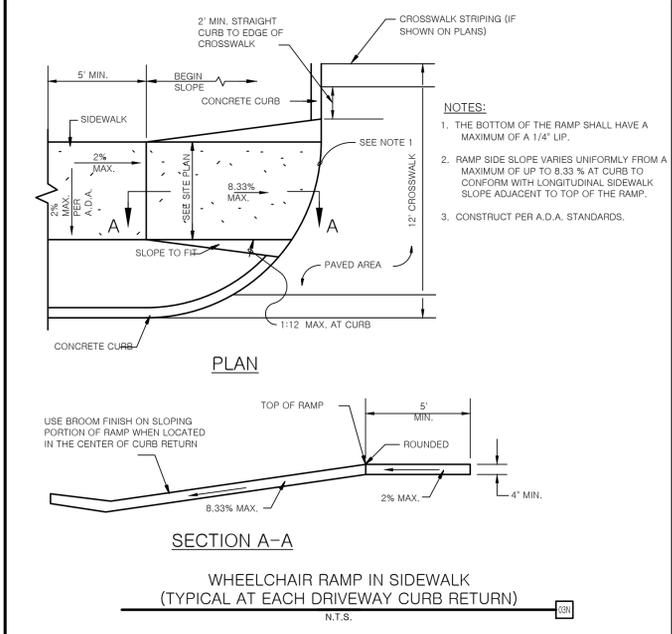
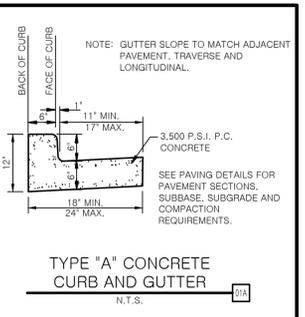
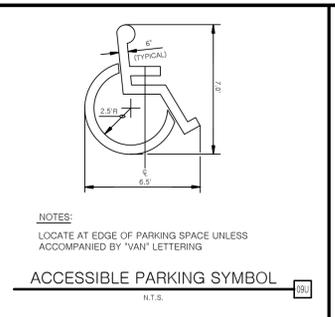
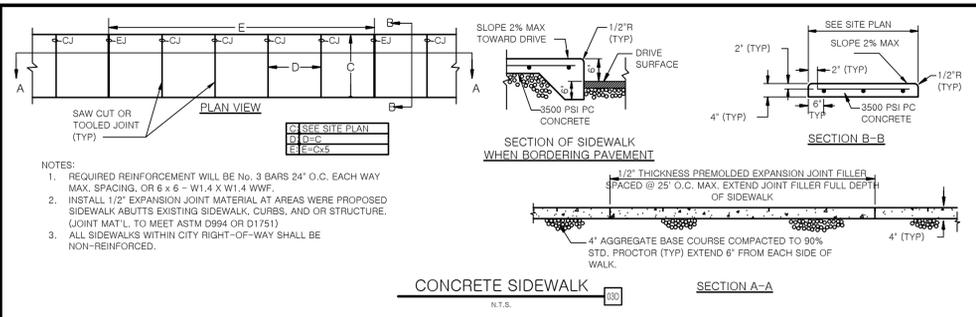
- GENERAL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR THE INSURING THAT ALL PROPOSED LANDSCAPING IS INSTALLED IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS (IF APPLICABLE) AND ALL LOCAL CODES AND REQUIREMENTS.
  - CONTRACTOR TO INSPECT SITE AND VERIFY CONDITIONS AND DIMENSIONING PRIOR TO PROCEEDING WITH WORK DESCRIBED HERE IN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING ANY CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR WORK IN ACCORDANCE WITH PLANS, DETAILS, SPECIFICATIONS AND APPLICABLE CODES AND REQUIREMENTS.
  - QUANTITIES PROVIDED IN THE PLANT LIST ARE FOR GENERAL USE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT AND LANDSCAPE MATERIAL QUANTITIES. SYMBOL COUNT ON PLAN TAKES PRECEDENCE OVER TABLE QUANTITIES.
  - IMMEDIATELY AFTER AWARD OF CONTRACT, NOTIFY THE OWNER'S REPRESENTATIVE AND/OR THE LANDSCAPE ARCHITECT OF UNAVAILABILITY OF SPECIFIED PLANT MATERIAL FROM COMMERCIAL NURSERIES. THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT WILL PROVIDE ALTERNATE PLANT MATERIAL SELECTIONS IF UNAVAILABILITY OCCURS. SUCH CHANGES SHALL NOT ALTER THE ORIGINAL BID PRICE UNLESS A CREDIT IS DUE TO THE OWNER.
  - ALL PLANT MATERIALS TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1.
  - CONTAINER GROWN STOCK SHOULD HAVE GROWN IN A CONTAINER LONG ENOUGH FOR THE ROOT SYSTEM TO HAVE DEVELOPED SUFFICIENTLY TO HOLD ITS SOIL TOGETHER.
  - ANY PLANT SUBSTITUTIONS, RELOCATION, OR REQUIRED CHANGE SHALL REQUIRE THE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER.
  - THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REFUSE ANY MATERIAL THEY DEEM UNACCEPTABLE.
  - COORDINATE WITH PROJECT REPRESENTATIVE FOR DISTURBED SITE TREATMENTS OUTSIDE LANDSCAPE IMPROVEMENTS. SEE CIVIL PLANS FOR SOIL STABILIZATION FOR EROSION CONTROL.
  - IF REQUIRED, CONTRACTOR TO ENSURE THAT AN AUTOMATED IRRIGATION SYSTEM THAT PROVIDES COMPLETE COVERAGE OF THE SITE IS INSTALLED PRIOR TO INSTALLING TREES/PALMS (SEE IRRIGATION PLAN SHEET IF PROVIDED). IF NO PLAN IS PROVIDED THE CONTRACTOR SHALL SUBMIT A PROPOSED DESIGN TO THE LANDSCAPE ARCHITECT/ENGINEER FOR APPROVAL PRIOR TO INSTALLATION. THE PROPOSED DESIGN MUST HAVE AN APPROVED BACKFLOW DEVICE AND RAIN SENSOR INSTALLED TO STOP IRRIGATION DURING RAIN EVENTS. CONTRACTOR SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AND NO PONDING OF WATER AT ROOT AREA.
  - ALL HARDSCAPE MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEED/SODDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY RELOCATED TREES SHALL BE MAINTAINED UNTIL SUCH POINT AS TREE IS RE-ESTABLISHED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
  - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (1) TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA (2) TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD (3) TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION AT NO COST TO THE OWNER.
  - WEED MAT IS REQUIRED IN LANDSCAPED ISLANDS AS SPECIFIED.
  - ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
  - IF A SWPPP PLAN IS PROVIDED THIS PLAN IS TO BE IMPLEMENTED COOPERATIVELY WITH SWPPP PLAN. AS NEEDED, TO MAXIMIZE THE EFFECTIVENESS OF THE SWPPP PLAN FOR THIS SITE.
  - THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING OR SODDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
  - ALL DISTURBED AREAS AS DESIGNATED ON THE GRADING PLAN SHALL BE SOWN WITH GRASS SEED MIX OF 100%BERMUDA BY WEIGHT @ 1LBS / 1000 SF.
  - SEEDING ON SLOPES: HYDROSEED WITH GRASS SEED AS INDICATED ON PLANS. SEE LEGEND FOR SPECIFIC GRASS SEED TYPE. SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE. ALL SLOPES 2:1 OR GREATER SHALL BE COVERED WITH EROSION CONTROL BLANKET AS SHOWN IN THE EROSION CONTROL BLANKET DETAIL. SEE SPECIFICATIONS FOR SEED ESTABLISHMENT REQUIREMENTS.
  - ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.



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<b>DUNKIN DONUTS</b>					
ELM SPRINGS ROAD SPRINGDALE, ARKANSAS					
<b>LANDSCAPE PLAN</b>				REV DATE 9/21/16 REV-1	SHEET NO. 7 OF 10



2/9/17  
CEI PROJECT NO. 17-001  
INITIAL DATE 9/21/16  
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**DUNKIN DONUTS**  
ELM SPRINGS ROAD  
SPRINGDALE, ARKANSAS

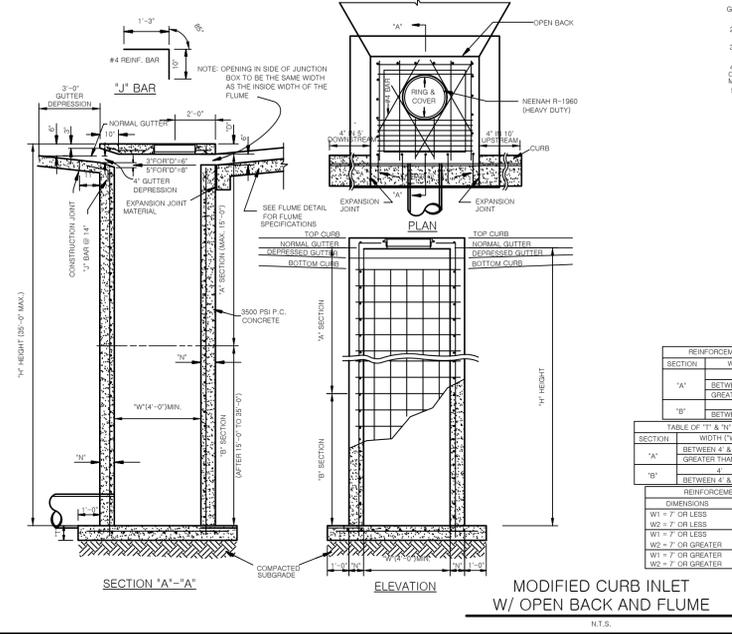
STATE OF ARKANSAS  
LICENSED PROFESSIONAL ENGINEER  
No. 14021  
NATHANIEL L. BACHELOR  
9/21/2016

REV DATE 9/21/16  
REV-1  
SHEET NO. 8 OF 10

**DETAILS SHEET I**

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GENERAL NOTES:  
 1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER  
 2. ALL #4 & #5 REINFORCING BARS TO HAVE 1-1/2" COVER, LARGER SIZES TO HAVE 2" COVER.  
 3. SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZES, LOCATIONS, AND FLOW LINES.  
 4. PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF INLET.  
 5. ALL REINFORCING BARS TO BE GRADE 60.

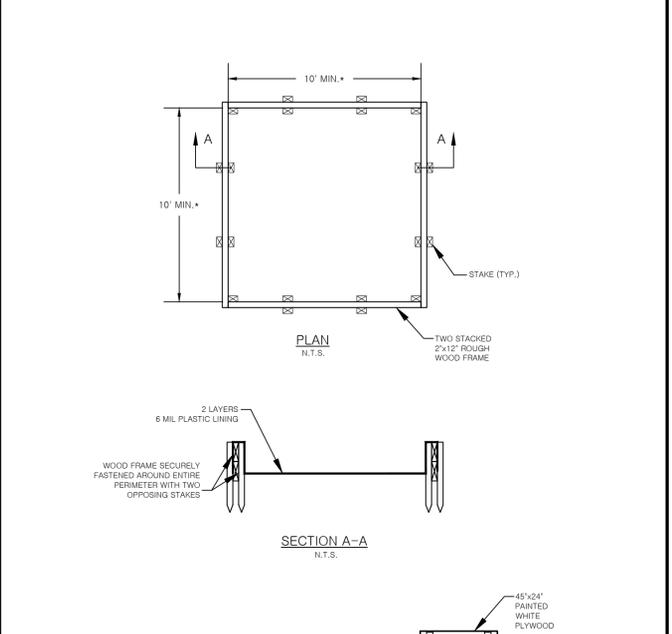
REINFORCEMENT SCHEDULE - BASE	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

TABLE OF 'W' DIMENSIONS	
PIPE SIZE	SKEW OF CROSS DRAIN
30"	30°
36"	45°
42"	60°
48"	75°
54"	90°
60"	105°
66"	120°
72"	135°
78"	150°

REINFORCEMENT SCHEDULE - WALLS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

TABLE OF 'T' & 'N' DIMENSIONS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

REINFORCEMENT SCHEDULE - TOP	
DIMENSIONS	SPECIAL PATTERN
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER



GENERAL NOTES:  
 1. DENOTES THE INTERIOR DIMENSION.  
 2. CONCRETE WASHOUT SHALL BE AT LEAST 50 FT. FROM ANY STORM SEWER INLET.  
 3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 50 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

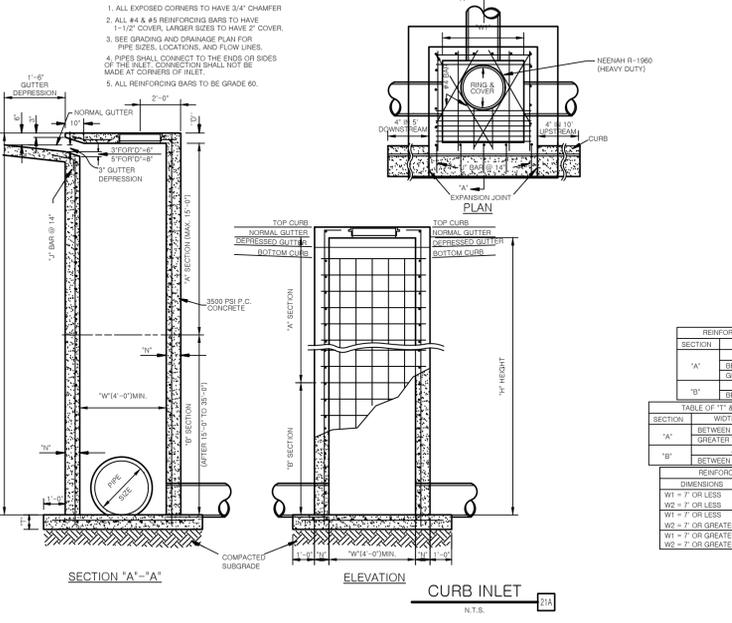
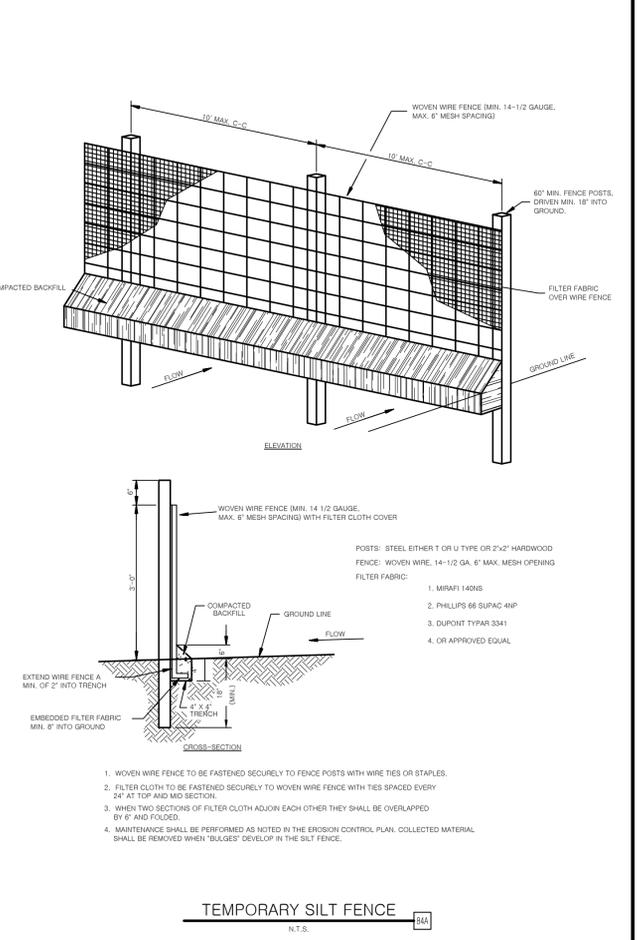
REINFORCEMENT SCHEDULE - BASE	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

TABLE OF 'W' DIMENSIONS	
PIPE SIZE	SKEW OF CROSS DRAIN
30"	30°
36"	45°
42"	60°
48"	75°
54"	90°
60"	105°
66"	120°
72"	135°
78"	150°

REINFORCEMENT SCHEDULE - WALLS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

TABLE OF 'T' & 'N' DIMENSIONS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

REINFORCEMENT SCHEDULE - TOP	
DIMENSIONS	SPECIAL PATTERN
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER



GENERAL NOTES:  
 1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER  
 2. ALL #4 & #5 REINFORCING BARS TO HAVE 1-1/2" COVER, LARGER SIZES TO HAVE 2" COVER.  
 3. SEE GRADING AND DRAINAGE PLAN FOR PIPE SIZES, LOCATIONS, AND FLOW LINES.  
 4. PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF INLET.  
 5. ALL REINFORCING BARS TO BE GRADE 60.

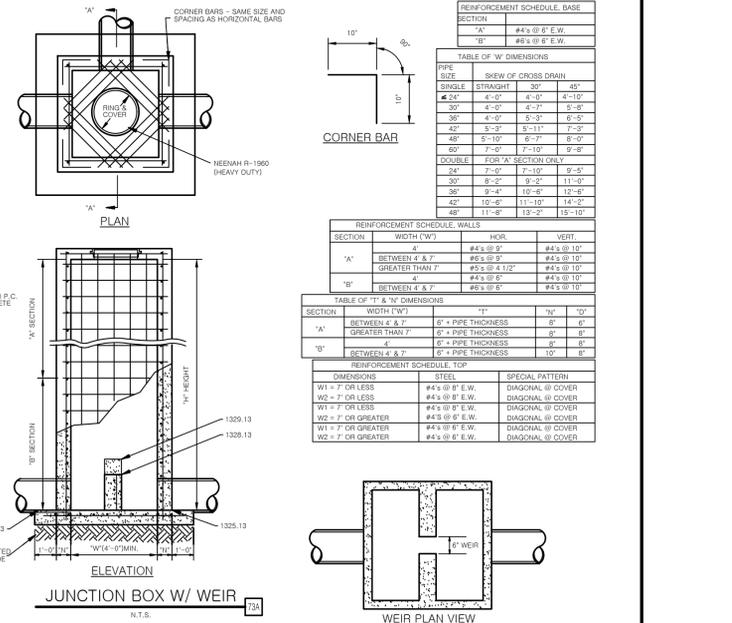
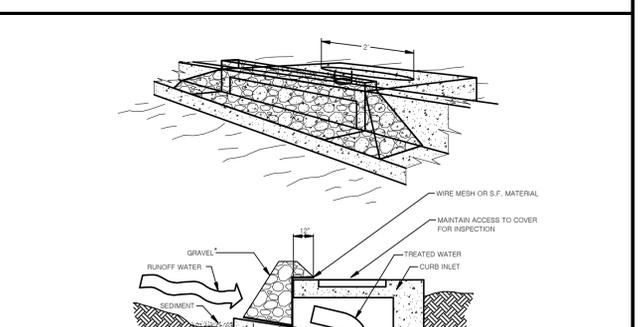
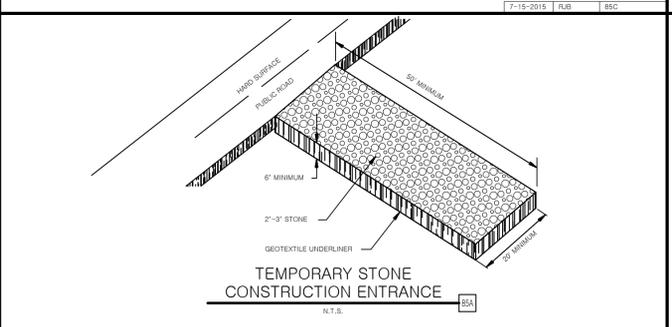
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TABLE OF 'W' DIMENSIONS	
PIPE SIZE	SKEW OF CROSS DRAIN
30"	30°
36"	45°
42"	60°
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REINFORCEMENT SCHEDULE - WALLS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

TABLE OF 'T' & 'N' DIMENSIONS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
'B'	#5 @ 8" E.W.

REINFORCEMENT SCHEDULE - TOP	
DIMENSIONS	SPECIAL PATTERN
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER



GENERAL NOTES:  
 1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER  
 2. ALL #4 & #5 REINFORCING BARS TO HAVE 1-1/2" COVER, LARGER SIZES TO HAVE 2" COVER.  
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 4. PIPES SHALL CONNECT TO THE ENDS OR SIDES OF THE INLET. CONNECTION SHALL NOT BE MADE AT CORNERS OF INLET.  
 5. ALL REINFORCING BARS TO BE GRADE 60.

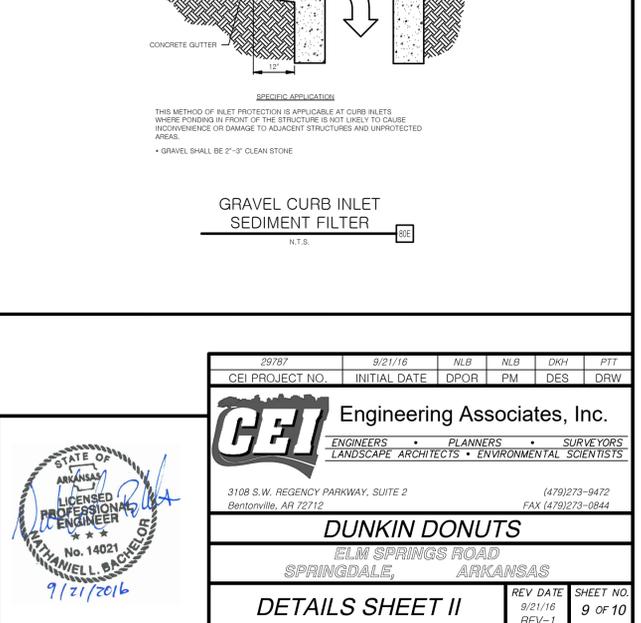
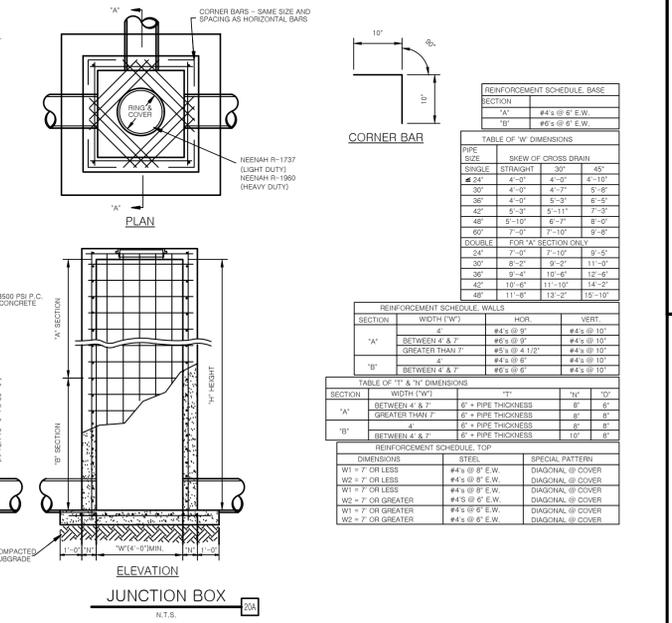
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REINFORCEMENT SCHEDULE - WALLS	
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TABLE OF 'T' & 'N' DIMENSIONS	
SECTION	WIDTH (W')
'A'	#4 @ 8" E.W.
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REINFORCEMENT SCHEDULE - TOP	
DIMENSIONS	SPECIAL PATTERN
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR LESS	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W1 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER
W2 = 7" OR GREATER	#4 @ 8" E.W. DIAGONAL @ COVER



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29/87	9/21/16	NLB	NLB	DKH	PTT
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW

**CEI** Engineering Associates, Inc.  
 ENGINEERS • PLANNERS • SURVEYORS  
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2 BENTONVILLE, AR 72712 (479)273-9472 FAX (479)273-0844

**DUNKIN DONUTS**  
 ELM SPRINGS ROAD  
 SPRINGDALE, ARKANSAS

DETAILS SHEET II REV DATE 9/21/16 REV-1 SHEET NO. 9 OF 10



**PROJECT INFORMATION**

ENGINEER	KEVIN PARKER
PRODUCT MANAGER	KEVIN PARKER@ADS-PIPE.COM
DESIGNER	DANNY PRACKO
ADD SALES REP	778-929-7799
SALES REP	DANNY.PRACKO@ADS-PIPE.COM
PROJECT NO.	15072

**ADVANCED DRAINAGE SYSTEMS, INC.**

**DUNKIN' DONUTS**  
SPRINGDALE, AR

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**STORMWATER CHAMBER SPECIFICATIONS**

- CHAMBERS SHALL BE STORMTECH SC-740, SC-310, OR APPROXIMATE EQUAL.
- CHAMBERS SHALL BE MANUFACTURED FROM VIRGIN POLYPROPYLENE OR POLYETHYLENE RESINS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS UNOBTURATED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPED FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION (60-DAY) DEAD AND LIVE LOAD, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCE.
- CHAMBERS SHALL MEET ASTM F2922 (POLYETHYLENE) OR ASTM F2924 (POLYPROPYLENE), "STANDARD SPECIFICATION FOR THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- CHAMBERS SHALL BE DESIGNED AND ALLOWABLE LOADS DETERMINED IN ACCORDANCE WITH ASTM F2922, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL, BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
  - A STRUCTURAL EVALUATION MADE BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.5 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2922 AND AASHTO FOR THERMOPLASTIC PIPE.
  - A STRUCTURAL EVALUATION MADE BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 20-YEAR CRISP MODULUS DATA SPECIFIED IN ASTM F2922 OR ASTM F2924 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO VERIFY LONG-TERM PERFORMANCE.
  - STRUCTURAL CROSS SECTION DETAIL ON AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**PROPOSED LAYOUT**

15' STORMTECH SC-740 CHAMBERS  
 (15) STORMTECH SC-740 END CAPS  
 INSTALLED WITH COVER STONE AT BASE STONE. 4PL STONE VOID  
 INSTALLED SYSTEM VOLUME: 14175 OF PERIMETER STONE INCLUDED  
 AREA OF SYSTEM 437 FT<sup>2</sup>  
 PERIMETER OF SYSTEM 489 FT

**PROPOSED ELEVATIONS**

MINIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/PAVEMENT):	128.13
MINIMUM ALLOWABLE GRADE (UNPAVED) WITH TRAFFIC:	128.03
MINIMUM ALLOWABLE GRADE (UNPAVED) NO TRAFFIC:	127.93
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	127.83
MINIMUM ALLOWABLE GRADE (TOP OF ROAD CONCRETE PAVEMENT):	128.63
TOP OF STONE:	128.63
TOP OF CHAMBER:	128.13
1" TOP MANHOLE INVERT:	128.13
1" TOP MANHOLE INVERT:	128.76
24" SOLID END CAP INVERT:	128.84
UNDERDRAIN INVERT:	128.13
BOTTOM OF STONE:	128.13

**NOTES**

- MANHOLE SIZE TO BE DETERMINED BY SITE DESIGN ENGINEER. SEE TECH SHEET #1 FOR MANHOLE SIZING GUIDANCE.
- FOR THE ADAPTATION OF THIS CHAMBER SYSTEM TO SPECIFIC SITE AND DESIGN CONSTRAINTS, IT MAY BE NECESSARY TO CUT AND GRAVE AVAILABLE PIPE TO STANDARD MANHOLE COMPONENTS IN THE FIELD.
- THE SITE DESIGN ENGINEER MUST VERIFY THE PROXIMITY OF THE CHAMBERS TO THE SLOPE AND CONSIDER EFFECTS OF POSSIBLE SLURRIED SOILS TO THE SLOPE'S INTEGRITY.

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
<b>FINAL FILL:</b> FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PREVENT SUBSAGRE MAY BE PART OF THE 'D' LAYER.	ANY SOLID ROCK MATERIAL, NATIVE SOILS, OR PIPE ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBSAGRE REQUIREMENTS.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGEST MATERIAL AND COMPACTION REQUIREMENTS.
<b>INITIAL FILL:</b> FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDED STONE LAYER TO THE 'D' LAYER ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAYMENT SUBSAGRE MAY BE PART OF THE 'C' LAYER.	GRANULAR WELL-GRADED SOLID/ROCK/AGGREGATE MIXTURES, <math>C_{u,50}</math> FINES OR PROCESSED AGGREGATE.	AASHTO M20<sup>1</sup> A-1, A-2, A-3, A-4, A-5 OR AASHTO M21<sup>1</sup> 3, 3S, 4, 4S, 4E, 5, 6, 6E, 7, 7S, 8, 8S, 9, 10	REGION COMPACTORS AFTER 1" 100-mm DEPTH OF MATERIAL OVER THE CHAMBERS IS REACHED. CONTACT ADDITIONAL LAYERS 4" 150-mm MAX. LIFT TO A MIN. 95% PROCTOR DENSITY FOR WELL-GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLL TO 100% RELATIVE FORCE NOT TO EXCEED 30,000 LB/IN. (98 kN).
<b>EMBEDMENT STONE:</b> FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE UP TO THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE.	AASHTO M21<sup>1</sup> 3, 3S, 4, 4E, 5, 6, 6E, 7, 7S, 8, 8S, 9, 10	NO COMPACTION REQUIRED.
<b>FOUNDATION STONE:</b> FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBERS.	CLEAN, CRUSHED, ANGULAR STONE.	AASHTO M21<sup>1</sup> 3, 3S, 4, 4E, 5, 6, 6E, 7, 7S, 8, 8S, 9, 10	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. 1"

**PLEASE NOTE:**

- THE LATEST AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR FOR EXAMPLE. A SPECIFICATION FOR THE STONE SHOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M21) STONE".
- STORMTECH CHAMBER REQUIREMENTS ARE MET FOR 'D' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 4" (100 mm) MAX LIFTS USING TWO FULL COVERSAGES WITH A VIBRATORY COMPACTOR. WHERE INITIAL STRATIFIES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT FOR SPECIAL LOAD DESIGN. CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

**NOTES:**

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2922 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2924 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2922 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDEDMENT, AND FILL MATERIAL.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPE EXCAVATION WALLS.
- ONE LAYER OF 18" (457 mm) OR THICKER, ANGULAR MATERIAL CAN BE USED AS LAYER 'D' UP TO THE FINISHED GRADE. MOST PAYMENT SUBSAGRE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**SC-740 ISOLATOR ROW DETAIL**

**INSPECTION & MAINTENANCE**

STEP 1: INSPECT ISOLATOR ROW FOR SEDIMENT

- INSPECTION PORTS (IF PRESENT)
- REMOVABLE OR NON-REMOVABLE GRISS
- REMOVE AND CLEAN FLEXFORM FILTER IF INSTALLED
- USING A PLUMB LINE AND STATION ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- IF SEDIMENT IS AT OR ABOVE 1" (25 mm) PROCEED TO STEP 1. IF NOT, PROCEED TO STEP 2
- COVER CHAMBERS INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- IF SEDIMENT IS AT OR ABOVE 1" (25 mm) PROCEED TO STEP 1. IF NOT, PROCEED TO STEP 2
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
- USING A PLUMB LINE, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
- MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF INTERNAL MANHOLE
- IF SEDIMENT IS AT OR ABOVE 1" (25 mm) PROCEED TO STEP 1. IF NOT, PROCEED TO STEP 2

STEP 2: CLEAN OUT ISOLATOR ROW USING THE JETTING PROCESS

- A RIGID COLLECTOR CLEANING NOZZLE WITH REAR FACING SPREAD OF 40° (1.1 m) OR MORE IS PREFERRED
- WATER FLOW MUST BE AT LEAST 100 GPM (3.8 LPM) WITH HIGH-LOW WATER IS CLEAN
- VACUUM STRUCTURE SWAMP AS REQUIRED

STEP 3: REPLACE ALL COVERS, GRATES, FILTERS, AND LOGS. RECORD OBSERVATIONS AND ACTIONS.

STEP 4: INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION, AFTER THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT TESTING AND VACUATING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

**NYLOPLAST DRAIN BASIN**

**SC-740 TECHNICAL SPECIFICATION**

**PART #**

PART #	STUB	A	B	C
SCHNEIDER SC-310/SC-310P	8" (203 mm)	10.8" (275 mm)	18.8" (478 mm)	8.5" (216 mm)
SCHNEIDER SC-310/SC-310P	12" (305 mm)	12.2" (310 mm)	18.8" (478 mm)	8.5" (216 mm)
SCHNEIDER SC-310/SC-310P	15" (381 mm)	13.4" (340 mm)	14.8" (376 mm)	8.5" (216 mm)
SCHNEIDER SC-310/SC-310P	18" (457 mm)	14.7" (373 mm)	12.8" (325 mm)	8.5" (216 mm)
SCHNEIDER SC-310/SC-310P	24" (610 mm)	18" (457 mm)	8.2" (208 mm)	1.2" (30 mm)
SCHNEIDER SC-310/SC-310P	30" (762 mm)	19" (483 mm)	8.2" (208 mm)	1.2" (30 mm)
SCHNEIDER SC-310/SC-310P	36" (914 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)
SCHNEIDER SC-310/SC-310P	42" (1067 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)
SCHNEIDER SC-310/SC-310P	48" (1219 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)
SCHNEIDER SC-310/SC-310P	54" (1372 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)

**NORMAL CHAMBER SPECIFICATIONS**

SIZE	W	H	W	H
8" (203 mm)	10.8" (275 mm)	10.8" (275 mm)	18.8" (478 mm)	8.5" (216 mm)
12" (305 mm)	12.2" (310 mm)	12.2" (310 mm)	18.8" (478 mm)	8.5" (216 mm)
15" (381 mm)	13.4" (340 mm)	13.4" (340 mm)	14.8" (376 mm)	8.5" (216 mm)
18" (457 mm)	14.7" (373 mm)	14.7" (373 mm)	12.8" (325 mm)	8.5" (216 mm)
24" (610 mm)	18" (457 mm)	18" (457 mm)	8.2" (208 mm)	1.2" (30 mm)
30" (762 mm)	19" (483 mm)	19" (483 mm)	8.2" (208 mm)	1.2" (30 mm)
36" (914 mm)	18.8" (478 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)
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48" (1219 mm)	18.8" (478 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)
54" (1372 mm)	18.8" (478 mm)	18.8" (478 mm)	8.2" (208 mm)	1.2" (30 mm)

**NOTES**

- 18" (457 mm) GRATE/SOLID COVERS SHALL BE DUCTILE IRON FOR ASTM A536 GRADE 60-60-60.
- 12" (305 mm) GRATE/SOLID COVERS SHALL BE DUCTILE IRON FOR ASTM A536 GRADE 70-50-70.
- DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS.
- DRAINAGE CONNECTIONS TO CHAMBERS SHALL CONFORM TO ASTM F2922.
- FOR CORRUGATED PIPE AND A HANDED DUAL WALLS 30" (762 mm) PVC.
- FOR COMPLETE DESIGN AND PRODUCT INFORMATION: WWW.NYLOPLAST.COM
- TO ORDER CALL: 800-421-4718

**UNDERDRAIN DETAIL**

**NOTES**

- NUMBER AND SIZE OF UNDERDRAINS PER SITE DESIGN ENGINEER
- 1" (25 mm) TOP FOR SC-310, SC-310P SYSTEMS
- 1" (25 mm) TOP FOR SC-740, SC-740P, MC-3000 & MC-4000 SYSTEMS

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B16-58

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Jason + Terri Beyer

Applicant's Mailing Address: 479-203-6015  
7359 Blackburn Ave 479-886-4991  
 Street Address or P.O. Box Telephone Number  
Springdale AR 72762  
 City, State & Zip Code

Property Owner's Name  
(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:  
(If different from Applicant): \_\_\_\_\_

\_\_\_\_\_  
 Street Address or P.O. Box Telephone Number  
 \_\_\_\_\_  
 City, State & Zip Code

Address of Variance Request: 7359 Blackburn Ave

Zoning District: SF2

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor

or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: 30' Side: 8' Back: 20'  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 30' Side: 8' Back: 10'  
(if granted what the setback would be)

Variance: Front: 0 Side: 0 Back: 10'  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

We are wanting to install an inground  
14' x 30' pool within the 20ft rear setback. We are  
requesting 10ft<sup>reduction</sup>. AT the current rear setback, There is  
not enough room. We would like the rear setback to be  
reduced from 20ft to 10ft.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The 20ft rear setback on the property does not allow for enough room to install an inground 14x30' pool. If the rear setback was 10ft, there would be ample room for a pool

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

My wife has a neurological disease that affects balance and muscle movements. Having a pool would greatly help for continual exercise that would reduce her fall risk. This ordinance hinders myself in providing a method that would help her ~~exercise~~ exercise + provide family fun.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

My wife was diagnosed with this disease and our community pool has been closed for two years. This pool would help for the well being of my wife and my children.





**Senior Health Clinic**  
**Washington Regional**

8/18/16

To whom it may concern,

My patient, Kerri Beyer, has a neurological disease that is associated with balance, muscle movement deficits, fall risk. I feel that a pool would allow for continued exercise and activity with a reduction in fall risk.

Sincerely,

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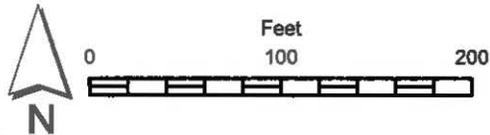
Alan Diamond, D.O.  
Director of the Movement Disorders Clinic



Public hearing sign posted: 9/23/2016

Public hearing sign posted by: CS

**S** Public Hearing Sign Location



**FILE NO. B16-58**  
**APPLICANT: JASON & KERRI BEYER**  
**VARIANCE REQUEST: BUILDING SETBACKS**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
**PLANNING COMMISSION MEETING**  
**OCTOBER 4TH, 2016**

P148

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # BK-59

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Kevin Walker

Applicant's Mailing Address:

2529 Mcray  
Street Address or P.O. Box  
Springdale, AR 72762  
City, State & Zip Code

479-601-4839  
Telephone Number

Property Owner's Name  
(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:  
(If different from Applicant):

Same  
Street Address or P.O. Box  
\_\_\_\_\_  
City, State & Zip Code

\_\_\_\_\_  
Telephone Number

Address of Variance Request: 2529 Mcray

Zoning District: SF-2

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required:      Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested:      Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance:      Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.*

*Driveway expansion*

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**The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

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2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

There are other U shaped drive ways in  
the area on the same side as the front  
door. P.S with other houses with split driveways

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

We had the right to order the building permit  
to do the drive way as designed as what we  
are requesting now but do to lack of funds  
and waiting on insurance company to fully pay off  
they closed out the construction permit.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

**I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.**

  
 \_\_\_\_\_  
 Applicant Signature\*

  
 \_\_\_\_\_  
 Property Owner Signature\*  
 (If different from Applicant)

\_\_\_\_\_  
 Applicant Signature\*

\_\_\_\_\_  
 Property Owner Signature\*  
 (If different from Applicant)

*\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas            )  
   ) ss.  
 County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 6<sup>th</sup> day of September, 2016.

OMAR MORALES PEREZ  
 Notary Public - Arkansas  
 Washington County  
 Commission # 12694867  
 Commission EXP. 07/02/2025

  
 \_\_\_\_\_  
 Notary Public



Thursday, September 1, 2016

To whom it may concern,

We are trying to do a drive way expansion. I'm needing to change my drive way into an U/S shape for safety reasons. If you have any questions or concerns feel free to call me. If you could help us get this approved through the planning commission it would be greatly appreciated.

Thank You,

  
Kevin Walker

479-601-4839

2529 McRay Avenue

Springdale, AR 72762

*P.S. If you<sup>are</sup> not the property owner  
Please Forward to them promptly  
Thank you*

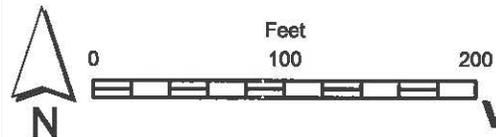




Public hearing sign posted: 9/23/ 2016

Public hearing sign posted by: CS

 Public Hearing Sign Location



**FILE NO. B16-59**  
**APPLICANT: KEVIN WALKER**  
**VARIANCE REQUEST: DRIVEWAY REQUIREMENTS**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
**PLANNING COMMISSION MEETING**  
**OCTOBER 4TH, 2016**

**Staff Use Only**

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # BK60

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Roger Bahena

Applicant's Mailing Address:

1463 Tumbleweed Dr.

Street Address or P.O. Box

479-856-4080

Telephone Number

Springdale, Ar 72764

City, State & Zip Code

Property Owner's Name

(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:

(If different from Applicant): \_\_\_\_\_

\_\_\_\_\_  
Street Address or P.O. Box

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
City, State & Zip Code

Address of Variance Request: 1463 Tumbleweed Dr.

Zoning District: MF-4

**The following information should be attached to this application:**

1. **\$75.00 Fee**
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. \* Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: 25' Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 0'/11' Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance: Front: 25'/14' Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

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The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The shed is built on a corner lot. There are gas lines and a water meter toward the back of the yard.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

The city of Springdale is not allowing me to have my shed in the bigger part of my property. The shed is too big to have at the back of my yard. Moving it forward would obstruct the entrance and pathway of my lawn.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

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4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

**I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.**

[Signature]  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

[Signature]  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas            )  
  ) ss.  
County of Washington)

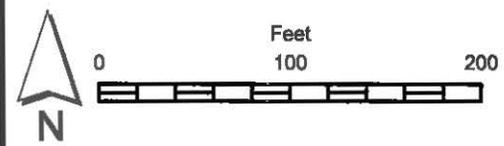
SUBSCRIBED AND SWORN TO before me, a Notary Public, this 8<sup>th</sup> day of September, 2016.

[Signature]  
Notary Public

OFFICIAL SEAL  
JUDY A. LEYBA  
NOTARY PUBLIC - ARKANSAS  
WASHINGTON COUNTY  
COMMISSION # 12400019  
COMMISSION EXP. 08/15/2024



Public hearing sign posted: 9/23/2016  
Public hearing sign posted by: CS  
**S** Public Hearing Sign Location



**FILE NO. B16-60**  
**APPLICANT: ROGER BAHENA**  
**VARIANCE REQUEST: BUILDING SETBACK**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
PLANNING COMMISSION MEETING  
OCTOBER 4TH, 2016

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File #

BK-C

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Keith & Susan Bell

Applicant's Mailing Address:

5018 Bobmills Rd 479-445-7993  
 Street Address or P.O. Box Telephone Number  
Springdale, AR  
 City, State & Zip Code 72762

Property Owner's Name (If different from Applicant): SAME

Property Owner's Mailing Address: (If different from Applicant):

5018 Bobmills Rd 479-751-0312  
 Street Address or P.O. Box Telephone Number  
Springdale AR 72762  
 City, State & Zip Code

Address of Variance Request: address Pending

Zoning District: A-1

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(If granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. Any attachments must be labeled as "Exhibit A, B, C" etc.

would like to request that paving of driveway be put off until after house is built and request Asphalt instead of concreat due to it being a private drive

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

with building big trucks will be driving over the surface. Do not want to pave and then trucks destroy it

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

The drive is used only by one other house parents of Susan

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

The Johnson's deeded over 2 1/2 acres to The Bell's to build a house

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Karl Bell  
Applicant Signature\*

Dwain Bell  
Applicant Signature\*

William Johnson  
Property Owner Signature\*  
(If different from Applicant)

Noah Johnson  
Property Owner Signature\*  
(If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas            )  
  ) ss.  
County of WASHINGTON )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 13 day of SEPTEMBER, 20 16.

**GENE E. BUESCHER**  
**NOTARY PUBLIC**  
**WASHINGTON COUNTY, AR**  
**COMM. EXP. NOV. 1, 2024**  
**COMMISSION NO. 12401405**

Gene E Buescher  
Notary Public



Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B1662

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Gordon Whitbeck

Applicant's Mailing Address:

542 Elk Drive  
Street Address or P.O. Box  
Springdale, AR 72762  
City, State & Zip Code

479-756-1063  
Telephone Number

Property Owner's Name  
(If different from Applicant): Whitbeck Investments

Property Owner's Mailing Address:  
(If different from Applicant):

542 Elk Drive  
Street Address or P.O. Box  
Springdale, AR 72762  
City, State & Zip Code

479-756-1063  
Telephone Number

Address of Variance Request: 441 Kawneer Drive

Zoning District: I-3

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.***

"Along Huntsville Avenue on the north side of the property the building setback and utility easement is 30 ft in width. The design of the building includes a wing wall extending from the north side of the building 16 ft to the north. This end of this wing wall extends approximately 6 ft into the 30 ft building setback. We request that a variance be granted to allow the wing wall as designed and understand that if at any time in the future access is required in that specific portion of the setback we will be responsible for the removal and replacement of that portion of the wing wall. Please refer to exhibits A and B."

*The Planning Board or Authority shall, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also find that all of the following:*

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The location of the building was determined by the requirements of the facility in terms of size, accessibility, and parking. As a result, the building was placed within 10 ft of the north building setback and the wing wall, which was designed to enhance the visual appearance of the building and aid in screening mechanical equipment from view along Huntsville Avenue, extends approximately 6 ft into the building setback and covers approximately 12 sf of area.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

The utilities along Huntsville Avenue occur near the north side of the setback/easement. The strict application of the setback/easement in this specific instance, affecting only a very small portion of the easement, would create an unbalanced appearance to the building (there is a matching wing wall to the south) and reduce the screening capability of the wall with respect to the mechanical equipment.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

The circumstances involved are the result of numerous items, including accessing the property from Kawneer Drive and the requirements of the facility itself in terms of size, accessibility, and parking. The wing walls were included in the design to enhance the overall appearance of the facility and to aid in screening mechanical equipment on the north side and service areas on the south side.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

  
 Applicant Signature\*

\_\_\_\_\_  
 Property Owner Signature\*  
 (If different from Applicant)

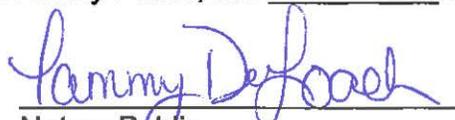
\_\_\_\_\_  
 Applicant Signature\*

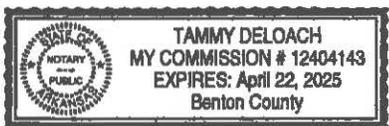
\_\_\_\_\_  
 Property Owner Signature\*  
 (If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas )  
 ) ss.  
 County of Washington )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 14<sup>th</sup> day of September, 2016.

  
 Notary Public



Huntsville Avenue



↙ parking ↘

↙ building ↘

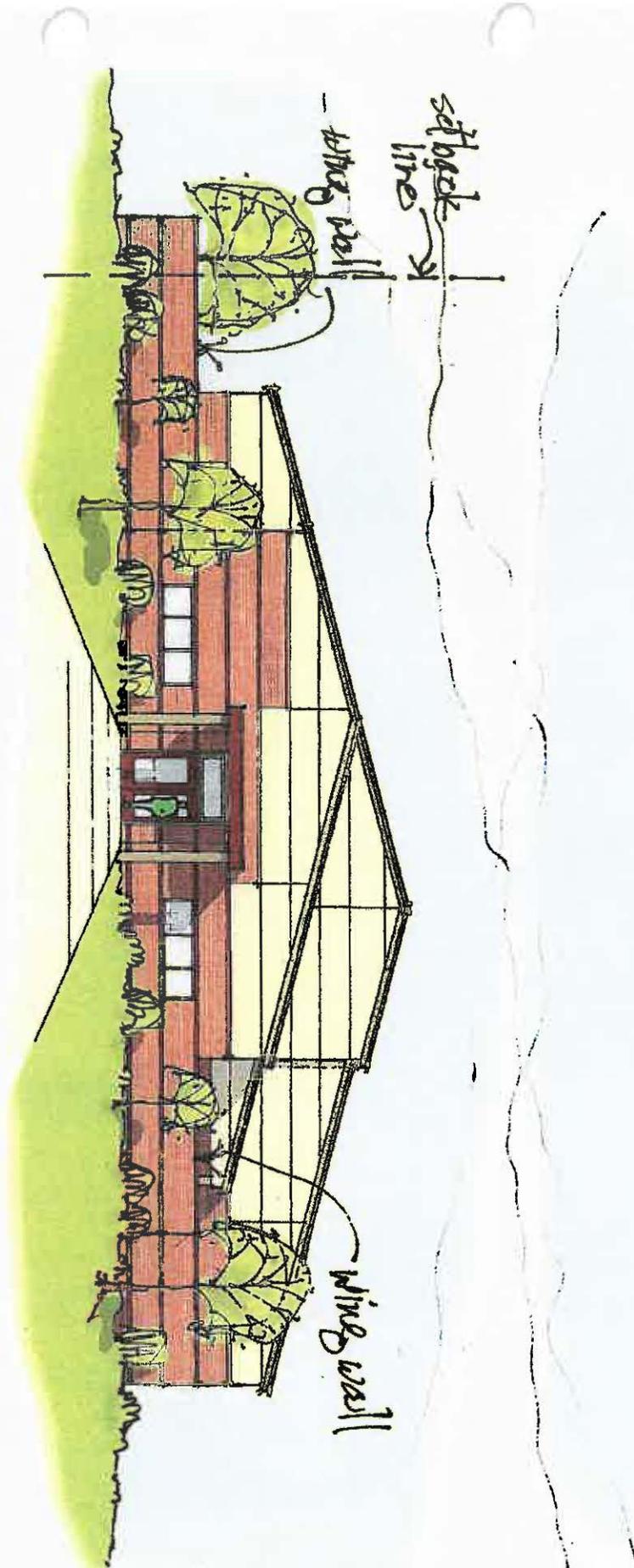
↙ monument sign ↘  
2' 0"  
2' 0"  
2' 0"

30' 6" 1/2" setback

10'  
6'  
↙ wing wall ↘

↙ wing wall ↘

EXHIBIT A - plan 1/4 20'-0"  
WHITBECK L&S



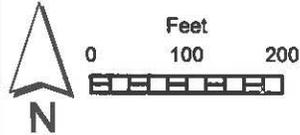
**Whitbeck Labs**

Stoughton Rogers Architecture, LLC  
Front Elevation Sketch 03/03/15

EXHIBIT B - elevation  
no scale



Public hearing sign posted: 9/23/ 2016  
Public hearing sign posted by: CS  
**S** Public Hearing Sign Location



**FILE NO. B16-62**  
**APPLICANT: GORDON WHITBECK**  
**VARIANCE REQUEST: BUILDING SETBACK**

*CITY OF SPRINGDALE*  
*PLANNING OFFICE*  
PLANNING COMMISSION MEETING  
OCTOBER 4TH, 2016

PI172



**CEI Engineering Associates, Inc.**

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2  
Bentonville, AR 72712  
(479) 273-9472 Fax (479) 273-0844  
www.ceieng.com

September 21, 2016

Springdale Planning Commission  
City of Springdale  
201 Spring Street  
Springdale, AR 72764

Dear Members of the Springdale Planning Commission,

On behalf of Elm Springs Center, LLC; CEI respectfully requests a waiver of the subdivision requirements restricting lot splits to one per property. The owner of this land has previously split the property for sale and development of the adjacent Whataburger restaurant. This proposed split will result in the creation of an additional lot for sale and development of a Dunkin Donuts. A large scale development plan has been submitted for this project and is contingent on creation of the proposed lot.

Thank you for your consideration of this request.

Nate Bachelor, PE  
Project Manager

  
*Providing Consolidated Land Development Services*

Office locations:  
CALIFORNIA ■ TEXAS ■ ARKANSAS ■ MINNESOTA ■ PENNSYLVANIA