

**SPRINGDALE PLANNING COMMISSION
COUNCIL CHAMBERS
201 SPRING
5:00 P.M.
FEBRUARY 4, 2020
Tentative Agenda**

- I. **Pre-Meeting Activities**
 - Pledge of Allegiance
 - Invocation

- II. **Call to Order**

- III. **Roll Call**

- IV. **Approval of Minutes (January 7, 2020)**

- V. **Election of Officers**

- VI. **Public Hearing – Rezoning**
 - A. **R20-06** David Slone
Tabled by 3406 S. Thompson
Staff From MF-12 to C-5
Presented by Blew & Associates

- VII. **Public Hearing – Conditional Use**
 - A. **C20-04** Alex Griffith
Tabled per 276 Victory Lane
Staff Tandem Lot Split
Presented by Blew & Associates

 - B. **C20-0-5** Tim & Rhonda Nelson
8391 E. Brown Road
Tandem Lot Split
Presented by Tim or Rhonda Nelson

- VIII. **Large Scale Developments**
 - A. **L20-05** Emma Street Mixed Use Development
202 E. Emma Avenue
Presented by CEI

IX. Waivers

- A. W20-02 Parsley Custom Homes
7185 Sunset Ridge Circle
Waiver of sidewalk requirement
Presented by Terri Parsley**

X. Planning Director's Report

XI. Adjourn

The Springdale Planning Commission met in regular session on Tuesday, January 7, 2020 at 5:00 p.m. in Council Chambers.

Prior to the meeting being called to order, Chairman Kevin Parsley led the Pledge of Allegiance and Commission Dale Tyler gave the invocation.

The meeting was called to order at 5:00 p.m. by Chairman Kevin Parsley.

Roll call was answered by:

Roy Covert – Vice-Chairman
 James David
 Vivi Haney – Secretary
 Payton Parker
 Kevin Parsley
 Ben Peters
 Dale Tyler

Commissioners Gary Compton and Shannon Mueller were not in attendance. Others in attendance were Patsy Christie, Director, Planning and Community Development Division and Austin Thomas, Assistant Director/Planning Coordinator.

Ms. Vivi Haney moved to approve the December 3, 2019 minutes. Mr. Covert seconded the motion. By a voice vote of all ayes and no nays, the December minutes were approved by a unanimous vote.

Tabled Items

- A. L19-22 AMS Development
 3497 Wagon Wheel Road
- B20-02 Variance for deviation of Commercial Design Standards
 - A) deviation of sidewalk width from 5' to 3' in some areas
 - B) deviation of façade material
 - C) deviation of perimeter landscaping
 Presented by Harrison French

Mr. Devon Neihouse with Harrison French was present on behalf of his client to answer any questions or comments. He said they were doing an expansion to the existing AMS building with parking and utility extension. He addressed the variances first. The perimeter landscaping was addressed first. He said they were currently trying to leave some existing concrete and paved surface on the west side and since it is paved they can't plant the trees there. He said they have planted them throughout the rest of the site. The required number has been planted just not on the west side. He addressed the sidewalk width next. He said that in some areas the width will go from 5' to approximately 3' to allow for some foundation landscaping. He said the ADA function and the turning movements that are required will still be intact. He said the Commercial Design Standards regarding the exterior building. He said they are trying to match the current building while still creating a nice façade. He said that it isn't a prefabricated metal but an architecturally nice metal and it is the same as that used on the new Fire Stations. He said there are multiple variations in the roof lines and they broke up the

plane of the building so that there is undulation and articulation so it isn't typical type of building.

Mr. Parsley asked for Staff comments.

Ms. Christie asked about the type of metal.

Trey, who is with Harrison French addressed Ms. Christie's question. He said that the front façade is 46.3% metal, the right façade is 63.7% metal and the other facades are not in public view and the back façade is 80% metal and the rest is 94.9%.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote on all of the variances.

VOTE:

YES: Covert, David, Haney, Parker, Parsley, Peters, Tyler

NO: None

The variances were approved by a unanimous vote.

Ms. Haney moved to approve the Large Scale Development subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: David, Haney, Parker, Parsley, Peters, Tyler, Covert

NO: None

The large scale was approved subject to Staff comments by a unanimous vote.

- B. L19-24 Airtech Expansion
3241 W. Huntsville Avenue
- B20-04 Variance for deviation of perimeter landscaping per Chapter 56
Presented by Bates and Associates

Mr. Geoff Bates with Bates & Associates was present on behalf of his client to answer any questions or comments. Andy Lyons, the property owner, was also present.

Mr. Bates said in regards to the variance, on the east and west side there is power lines which is the major reasons they were having a problem getting the correct number of trees planted. He also said that on the east side there is a water main, again, making it difficult to get the correct number of trees per the Ordinance. He did say that on the south side it is tree covered.

Mr. Parsley asked for Staff comments.

Ms. Christie asked how many trees they were proposing to plant.

Mr. Bates approximately 20.

Mr. Peters asked if they were planning to plant trees to the southwest of the expansion.

Mr. Bates said that they were.

Ms. Haney wanted to know how many they would have been required to plant.

Mr. Lyons said that if they were to plant around the entire property, it would be about 70 trees.

Ms. Haney said the trees she saw were scrub type trees and she didn't think they were suitable.

Mr. Bates said they were not going to plant 14 trees in the two areas that he mentioned.

Ms. Haney asked if there was an alternate location that they could plant the trees.

Mr. Bates said there is not a place on the perimeter to plant the trees.

After much discussion, it was decided to plant the trees required (9) at a different location, other than the perimeter.

Ms. Christie said they can call for the vote showing a diagram showing an adequate amount of trees to be planted other than around the perimeter.

Ms. Haney called for the vote as stated by Ms. Christie.

VOTE:

YES: Haney, Parker, Parsley, Peters, Tyler, Covert, David

NO: None

The variance as stated by Ms. Christie was approved by a unanimous vote.

Ms. Haney moved to approve the large scale subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Parker, Parsley, Peters, Tyler, Covert, David, Haney

NO: None

The large scale was approved subject to Staff comments by a unanimous vote.

Ms. Christie reminded them to get a drawing into Staff.

Public Hearing – Rezoning

- A. R20-01 GT Electric Housing, LLC
NW corner of intersection of Electric Ave.
& Oriole Street
From I-2 to MF-12
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates medium density residential use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Protect the positive aspects of neighborhood character throughout the City.

Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote.

VOTE:

YES: Parsley, Peters, Tyler, Covert, David, Haney, Parker

NO: None

The rezoning was approved by a unanimous vote.

Ms. Christie stated for the recorded that Staff would prepare the Ordinance that will go to Council on Tuesday, January 28, 2020 at 6:00 p.m.

- B. L20-02 Henson Family Trust
W. side of Old Missouri Road, Approx.
1000' north of Don Tyson Parkway
From A-1 to MF-16 & C-5
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments. He said the two green squares, shown on the display adjacent to Highway 265, is for the C-5 zoning and the rear of the property, approximately 11 acres, they are requesting MF-16 zoning.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates Commercial and Regional Commercial uses.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Larger multi-family developments should be located on sites with adequate space for off-street parking, accessory structures and recreational activity and toward the edge of single-family residential areas where higher traffic generation and taller building heights can be better accommodated.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Encourage the development of light to medium-intensity commercial development along arterial streets that provide adequate setbacks and buffering to adjacent residential neighborhoods.

Mr. Parsley asked if there were those in the audience with questions or comments.

Mr. Bart Hudspeth spoke and said that he was representing approximately 8 to 10 people that were in attendance. He said that he lives on 3235 Kinnasaw Street. He said

they are objecting to the rezoning. He said he talked to a couple of real estate agents and they told him that the value of their houses would go down approximately \$30,000.00 to \$40,000.00. He said that it means their houses are worth less than what they paid for them five years ago. He said there is also a question of privacy. He said there was a study done in August that shows that through traffic is prohibited. He said that on Buckhead, traffic has been running approximately 700 cars a day in an area where there shouldn't be any through traffic. He said the average speed is 31 to 35 miles per hour when the speed limit is 25 mph. He said that the mayor indicated that there isn't any through traffic to Powell. They also have questions regarding balconies and lighting, dumpsters, safety in general. He said they don't object the property being zoned for single family dwellings but it is the multi-family dwellings that concern them.

Mayor Sprouse understood Mr. Hudspeth to say that he, the mayor, indicated something about traffic on Powell. Mayor Sprouse wanted it to be on the record that he has not addressed it at any time.

Mr. Doug Potell(?) at 3213 Kinnasaw said that there are already two apartment complexes in that area. He feels the traffic will increase even more.

Mr. Tyler pointed out that the area in question for the rezoning does not show an access onto Buckhead to get to Powell.

Mr. David asked what the rationale behind the decrease in property values.

Mr. Hudspeth said they contacted a couple of realtors and that was their "ballpark" figures.

Ms. Kathy Hudspeth said she felt that multi-family is going to de-value their property.

Mr. Parker said they are just hearing the rezoning right now.

Ms. Hudspeth said that if the commission seems to know what is going in.

Mr. Parker, again, said that he doesn't know what exactly is going in.

It was pointed out that it will be addressed later in the meeting when the large scale comes up.

Ms. Christie said if this rezoning is approved, they can go to Council and voice their concern, as Council is the entity that will approve or disapprove the Ordinance.

Ms. Hudspeth said schools are right down the street and the increase in families will increase the traffic in that area.

Mr. Peters said that he was fine with the zoning adjacent to Highway 265 as C-5. He said he does have a problem with MF-16 next to SF-2. He said the biggest problem is that MF-16 has no height restriction on the building whereas an MF-12 does. He said his opinion is that this site is probably good for multi-family however; MF-16 adjacent to SF-2 is too high. He said he would like to see the density be reduced adjacent to the

west property line and the north property line to an MF-12 to reduce the building heights and protect the neighbors privacy.

Mr. Parker said that he agreed with Mr. Peters.

Ms. Christie said that the difference would be that MF-12 would not allow any structure to be any taller than 35' in the MF-12 section and the rest of it remaining MF-16 and C-5.

Mr. Appel said they are trying to create the buffer along the west and north lines with both green space and landscaping. However, they would consider reducing those areas approximately 50' from the west and north line to MF-12 from MF-16.

Ms. Christie said that they would be willing to amend their request to read to maintain the two C-5 zones along Highway 265, create an MF-12 buffer along the north and west side with a 50' buffer and the remainder would be zoned MF-16.

Mr. Appel concurred.

The rezoning request was amended to go from A-1 to C-5 on the two lots adjacent to Highway 265, MF-16 for the middle section of the property and MF-12 along the west and north sides of the property.

Mr. Covert called for the vote.

VOTE:

YES: Peters, Tyler, Covert, David, Haney, Parker, Parsley

NO: None

The rezoning as amended was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, January 28, 2020 at 6:00 p.m. in Council Chambers.

It was decided to take the next two rezonings together.

- C. R20-03 J.E. Dorman Revocable Trust
Wesley Ave. approximately 480' S. of Highway 412
From C-2 to MF-16
Presented by Engineering Services, Inc.

- D. R20-04 Pleasant Street Church of Christ
Between SW End St. & S. of Pleasant St. & approx.
650' S. of Highway 412
From SF-2 to MF-16
Presented by Engineering Services, Inc.

Mr. Daniel Butler with Engineering Services, Inc. was present for both rezonings on behalf of his client to answer any questions or comments.

Ms. Christie excused herself for a few minutes so Mr. Parsley read the Staff comments.

R20-03 The adopted Comprehensive Land Use Plan indicates commercial uses,

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Protect the positive aspects of neighborhood character throughout the City. Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Multi-family housing should be developed at a density and scale that is compatible with the surrounding neighborhood and available utilities and roadway capacity.

R20-04 The adopted Comprehensive Land Use Plan indicates commercial use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Stabilize property values and maintain the integrity of neighborhoods by protecting residential neighborhoods from non-residential influences and providing buffers between residential and non-residential uses.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Multi-family housing should be developed at a density and scale that is compatible with the surrounding neighborhood and available utilities and roadway capacity.

Larger multi-family developments should be located on sites with adequate space for off-street parking, accessory structures and recreational activity and toward the edge of single-family residential areas where higher traffic generation and taller building heights can be better accommodated.

R20-03

Mr. Parsley asked if there were those in the audience with questions or comments.

Ms. Tammy Davis said that this will be backing up to her back yard. She wanted to know how close this project would be to her and she was concerned about her privacy. She said that there are trees on the property that have been there a long time and she wanted to know what would happen to them. She wanted to know if there would be a fence to separate her property from the property to be rezoned.

Ms. Christie said the MF-16 doesn't have a height requirement whereas the MF-12 is typically three stories or approximately 35' high.

Mr. Peters said this is going forward to a large scale but he noticed that they had a yield of 11.6 units in the large scale. His question was why MF-16.

Mr. Butler said that they were looking at the incentives. He said if you go to 16 your base is 12 and if you go to 12 the base density is 8. He said they couldn't get to 12 so they went up to 16.

Mr. Peters asked what the incentives would be.

Mr. Butler said there will be additional green space and neighborhood greens and an increase in brick and there can be mixed housing types.

Mr. Brian Moore with Engineering Services said that it was the amount of property and the only way they could get the green space was to go with an MF-16 zoning. He said that Mr. Phillip Taldo will be developing this project and there will only be two story buildings, no three stories.

Mr. Peters called for the vote.

VOTE:

YES: Tyler, Covert, David, Haney, Parker, Parsley, Peters

NO: None

The rezoning was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, January 28, 2020 at 6:00 p.m. in Council Chambers.

R20-04

Mr. Parsley asked if there were questions or comments from the Commission.

Mr. Peters said that he has the same problem with this one as the one on Highway 265. He said that it is adjacent to single family on Cheatham Avenue. He said he would like to see the same sort of MF-12 for the southern part to give the adjacent property owners some privacy.

Mr. Jason Appel with Engineering Services said they will make the same offer for the 50' buffer for an MF-12 on the south side of the property and the rest of the property would be MF-16.

Ms. Christie said that they are amending their rezoning request to go from SF-2 to MF-12 along the south side of the property and MF-16 for the rest of the tract.

Ms. Haney called for the vote as amended.

VOTE:

YES: Covert, David, Haney, Parker, Parsley, Peters, Tyler

NO: None

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, January 28, 2020 in Council Chambers at 6:00 p.m.

E. R20-05 Oren & Lorene Larue; Lonnie & Barbara Dickard & Mary Ruth Wilhite
NW of intersection of Gene George Blvd. & Dearing Road
Presented by Crafton Tull

Mr. Thomas Hennelly with Crafton Tull was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates commercial use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval: with the Development plan and site plan attached.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

Multi-family housing should be developed at a density and scale that is compatible with the surrounding neighborhood and available utilities and roadway capacity.

Larger multi-family developments should be located on sites with adequate space for off-street parking, accessory structures and recreational activity and toward the edge of single-family residential areas where higher traffic generation and taller building heights can be better accommodated.

**PLANNED UNIT DEVELOPMENT
DEVELOPMENT PLAN**

NOTE: The approved final development plan shall be binding on all subsequent owners of the land until revised or repealed as authorized in Chapter 130 of the Springdale Code of Ordinances.

1. General Project Information

A. Project Name: PURE Springdale

B. Location: Gene George Blvd, Springdale, AR 72762 (at the northwest corner of Gene George Blvd and Dearing Rd) .

C. Ownership:

Parcel 815-30842-500	Oren Jr. and Lorene Larue Physical/Mailing Address: 3384 Gene George Blvd Springdale, AR 72762
Parcel 815-30841-000	Oren Jr. and Lorene Larue Physical/Mailing Address: 3384 Gene George Blvd Springdale, AR 72762
Parcel 815-30842-000	Mary Ruth Wilhite Physical Address: 3446 Gene George Blvd Springdale, AR 72762 Mailing Address: 1752 Stokenbury Rd Elkins, AR 72727
Parcel 815-30843-000	Lonnie and Barbara Dickard Physical/Mailing Address: 3494 Gene George Blvd Springdale, AR 72762
Parcel 815-30844-000	Lonnie and Barbara Dickard Physical/Mailing Address: 3494 Gene George Blvd Springdale, AR 72762
Parcel 815-30842-400	Lonnie and Barbara Dickard Physical/Mailing Address: 3494 Gene George Blvd Springdale, AR 72762
Parcel 815-30848-000	Lonnie and Barbara Dickard Physical Address: 5738 Dearing Rd Springdale, AR 72762 Physical/Mailing Address: 3494 Gene George Blvd Springdale, AR 72762

D. Developer: ERC Holdings, LLC

E. Civil Engineer & Land Surveyor: Crafton, Tull & Associates, Inc.

F. Size: 13.71 acres

G. Staging: This will be a two phased development. The high density residential portion of the site will be constructed in the first phase. The commercial portion of the site along Gene George Blvd will be constructed with the second phase. A phase line is shown on the site plan submitted with this PUD.

2. Development Strategy:

This mixed-use development will serve the community in enhancing social connectivity between the residents of PURE Springdale and the surrounding amenities. Internal sidewalks from all buildings and perimeter walking trails will maximize social and community interaction. This development will have direct access to the City of Springdale Trail system, via Gene George Blvd. and will provide bike racks for residents, further promoting the use of biking for transportation. Commercial buildings along Gene George as well as a café area in one of the residential buildings will provide food and shopping opportunities for the residents and public. The property has multiple open space locations with amenities for all residents that promote relaxation, recreation, and social activity.

3. Permitted Uses

- Unit 1: Citywide Public Uses By Right
- Unit 12: High Density Residential
- Unit 16: Offices Studios and Related Services
- Unit 17: Eating Places
- Unit 18: Hotel, Motel and Entertainment Facilities
- Unit 19: Neighborhood Shopping Goods
- Unit 27: Parking Lot

4. Site Development Requirements

A. Density, Bulk, Area and Yard Requirements

Density –

Total Developed Area	<u>13.13</u>	acres
Total Common Area	<u>2.91</u>	acres
Impervious Area	<u>312,760.8</u> (sq. ft.)	<u>7.18</u> acres
Open Space	<u>259,178.6</u> (sq. ft.)	<u>5.95</u> acres
Total Space	<u>571,939.4</u> (sq. ft.)	<u>13.13</u> acres

Setbacks – Front: 0'-30' Build To Zone
 Interior Side: 8'
 Exterior Side: 0'-30' Build To Zone
 Rear: 20'

B. Building Types – Elevations as attached:

Setbacks – As shown on attached site plan

C. Parking

Total Parking Spaces Required – 466 stalls
 Total Parking Spaces Provided – 389 stalls

D. Amenities Provided (locations shown on site plan):

Walking Trail, Dog Park, Benches, Outdoor Cooking Areas, Trees, Lawn, Café (building 5), Swimming Pool, Fitness Center (Building 5), Planting Beds (various locations on site) and Raised Bed Garden (various locations on site).

E. Exterior Building Materials:

Exterior Building Materials will be as follows:

Walls: Stone Veneer
 Lapped Fiber Cement (or LP Smart Side)
 Board and Batten Fiber Cement (of LP Smart Side)
 Brick Veneer

Roofing: Architectural Shingles, color to be Weathered Wood, Slate, or Terra Cotta.
 Corrugated Metal Roofing at Awnings and Canopies. Color to be galvanized, gray, or black

Details: Painted steel brackets, balconies, and awnings
Cedar or Cypress Timbers

Windows: Vinyl Windows. Colors to be white or clay

Exterior Doors: Fiberglass Doors, painted

5. Property Management:

- A. Property to remain in single ownership with all common areas to be maintained by the owner or through an agreement with a management company.
- B. Garages to be used for the parking of the vehicles and shall not be used as storage units or living. Parking on the grass is prohibited.
- C. The development will be accessed from Gene George Blvd and Dearing Rd. Drives shall be labeled as private drives. Sidewalks shall be constructed on all common areas as shown on the site plan.
- D. Privacy fences are not being proposed. No chain link type fence will be allowed.
- E. Service lines for all public or quasi-public utilities shall be located underground.
- F. Landscaping will meet or exceed requirements set forth within the Springdale Code of Ordinances Chapter 130 Article 12 Section 2.5 for the Ballpark Area/Southwest Springdale Overlay District.

6. Miscellaneous Requirements

- A. The number of parking stalls proposed is to provide a minimum of 1 stall per bedroom. The total number of bedrooms with this development will be 305. Total number of parking stalls provided will be 389 stalls. Based on the experience the developer has with this type of development, we feel this amount will be adequate to accommodate the high density residential and the commercial areas shown. With the lower parking count, the development can provide additional common space, greenspace, amenities and increased security by eliminating empty parking areas.
- B. Sidewalks leading from each building to through the site to Gene George will promote connectivity/walkability between the development and nearby community/attractions. Planned landscaping will add to the aesthetic pleasure of the streets within and adjacent to the development.
- C. Absence of privacy fencing will promote connectivity to surrounding communities. Lighting and landscaping will promote security and surveillance.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote.

VOTE:

YES: David, Haney, Parker, Parsley, Peters, Tyler, Covert

NO: None

The rezoning was approved by a unanimous vote.

Ms. Christie stated for the record that Staff will prepare the Ordinance that will go to Council on Tuesday, January 28, 2020 at 6:00 p.m. in Council Chambers.

Public Hearing – Conditional Use

- A. C20-01 McLeod & Smyth Racing, LLC
3885 Elm Springs Road
Use Unit 41 (Automobile Sales) in C-2
 Presented by James A. Smyth

Mr. Smyth was present to answer any questions or comments. He that he would like to have small boutique car sales at this location. He further stated that this is the location for his concrete services which will continue. He said he wanted to use a portion of the front lot to display a small number of cars.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Acceptable Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

Acceptable Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

Acceptable Refuse and service areas, with particular reference to the item in 1 and 2 above.

Acceptable Utilities, with reference to locations, availability and compatibility.

N/A Screening and buffering with reference to type, dimension and character.

**Unknown/
not shown
On site plan** Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.

Acceptable Yard requirements and other open space requirements.

Acceptable The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.

N/A Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.

Acceptable General compatibility with adjacent properties and other property in the general district. **Restricted to 4 spaces along Elm Springs Road**

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Tyler asked what kind of cars would be sold.

Mr. Smyth said that they are sport cars and high end exotics.

Ms. Haney called for the vote.

VOTE:

YES: Haney, Parker, Parsley, Peters, Tyler, Covert, David

NO: None

The conditional use was approved by a unanimous vote with the restriction that there will only be four spaces along Elm Springs Road.

Ms. Christie stated for the record that Staff would prepare the Resolution that will go to Council on Tuesday, January 28 at 6:00 p.m. in Council Chambers.

B. C20-02 Soon's Alterations
4007 Holt Avenue
Use Unit 28 (Home Occupation)in SF-2
Presented by Min Yom

Mr. Min Yom was present on behalf of his wife to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

- Acceptable** Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

- Acceptable** Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

- Acceptable** Refuse and service areas, with particular reference to the item in 1 and 2 above.

- Acceptable** Utilities, with reference to locations, availability and compatibility.

- N/A** Screening and buffering with reference to type, dimension and character.

- N/A** Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.

- Acceptable** Yard requirements and other open space requirements.

- Acceptable** The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.

- N/A** Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.

- Acceptable** General compatibility with adjacent properties and other property in the general district: **with the following conditions**
 - 1. No alteration of the outside appearance of the residential structure or provision of a separate outside entrance for the business areas of the residential structure.**

 - 2. No outside storage of materials required for the operation of the business.**

 - 3. Operated only by the resident members of the household and shall not have any employees, concessionaires or any other form of operator or helper whether such business is conducted on the premises or off the premises.**

 - 4. Requires the use of an area no greater than thirty (30) percent of the total heated living space of the residential structure.**

- 5. **Generates no traffic, parking, and sewage or water use in excess of what is normal in the residential neighborhood.**
- 6. **Will not produce any fumes, odors, noise or any other offensive effects that are not normal to residential activity.**
- 7. **Will not involve accessory buildings.**
- 8. **Stock in trade shall not exceed ten (10) percent of the floor area of the accessory use.**

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote.

VOTE:

YES: Parker, Parsley, Peters, Tyler, Covert, David, Haney

NO: None

The conditional use was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution that will go to Council on Tuesday, January 28 at 6:00 p.m. in Council Chambers.

C. C20-03 Chong Tan
2305 S. Thompson Street
Use Unit 42 (Automobile Sales) in C-2
 Presented by Chong Tan

Mr. Tan was present to answer any questions or comments regarding his request.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Acceptable Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

Acceptable Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

Acceptable Refuse and service areas, with particular reference to the item in 1 and 2 above.

Acceptable Utilities, with reference to locations, availability and compatibility.

N/A Screening and buffering with reference to type, dimension and character.

Acceptable Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district. **Existing sign to be used**

Acceptable Yard requirements and other open space requirements.

Acceptable The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.

N/A Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.

Acceptable General compatibility with adjacent properties and other property in the general district.

Ms. Christie asked how many vehicles he plans to have on his lot at one time.

Mr. Tan said probably fifteen cars.

Ms. Christie asked if he would be willing to not exceed fifteen cars on the lot at one time.

Mr. Tan agreed to no more than fifteen cars at any time.

Mr. Parsley asked if there were those in the audience with questions or comments.

Ms. Charlotte Kaufman said she had the property behind Mr. Tan's property. She further stated that there is an easement between Thompson Street to her property. She wanted to make sure that it would not be blocked by any of Mr. Tan's vehicles.

Ms. Christie asked if they had a filed copy of the easement.

She provided a copy of the easement.

Mr. Tan said that he understands there is an easement and he will not be blocking it.

Mr. Covert called for the vote

VOTE:

YES: Parsley, Peters, Tyler, Covert, David, Haney, Parker

NO: None

The conditional use was approved with the condition that there will be no more than fifteen cars parked for sale at any given time.

Ms. Christie stated for the record that Staff will prepare the Resolution that will go to Council on Tuesday, January 28, 2020 at 6:00 p.m. in Council Chambers.

Preliminary Plats, Replats, & Final Plats

- A. RP20-01 Tract 3 R.L. Hayes Subdivision
N. side of E. Emma Ave., between Monitor Rd.
Kawneer Drive
 Presented by Patsy Christie

Ms. Christie said that this is a situation that a tract was split off and sold to Nanomech by the Public Facilities Board with the understanding that if they didn't use it within a specified amount of time it would go back to the City of Springdale. She further stated that Nanomech is going through bankruptcy and the Public Facility Board wants to take that piece of property back. It needs to be filed so that it can be filed with the Bankruptcy Court.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney moved to approve the replat subject to Ms. Christie's comments. Mr. Peters seconded the motion.

VOTE:

YES: Peters, Tyler, Covert, David, Haney, Parker, Parsley

NO: None

Ms. Christie said that it would go to Council on Tuesday, January 14, 2020 at 6:00 p.m. in Council Chambers.

Large Scale Developments

- A. L20-01 Clayton Street Business Park
N. side of 412 West, East side of Clayton
 Presented by Engineering Services, Inc.

Mr. Daniel Butler with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments. He said they are proposing two 12,000 square feet commercial buildings, with 28 parking spaces.

Mr. Parsley asked for Staff comments.

Ms. Christie said that these are stand-alone large scale developments for this property because the final plat for the commercial subdivision has been approved because not all of the improvements have been done.

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-01. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Landscaping Comments

1. Provide perimeter landscaping per chapter 56.

Commercial Design Standard Comments:

1. Provide material specs and calculations for provided architectural elevations. As submitted there is no reference scale.
2. Are there garage doors on the front façade?
3. Building façades shall include a repeating pattern that shall include no less than three (3) of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
 - o Color change
 - o Texture change
 - o Material module change
 - o Expressions of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib.
4. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan.
5. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
 - o Smooth-faced concrete block
 - o Tilt-up concrete panels
 - o Pre-fabricated steel panels
6. Each principal building on a site shall have clearly defined, highly visible customer entrances featuring any three (3) of the following:
 - o Canopies or porticos
 - o Overhangs
 - o Recesses/projections
 - o Arcades

- o Raised corniced parapets over the door
 - o Peaked roof forms
 - o Arches
 - o Outdoor patios
 - o Display windows
 - o Architectural details such as tile work and moldings which are integrated into the building structure and design
 - o Integral planters or wing walls that incorporate landscaped areas and/or places for sitting
- As shown
7. Submitted lighting plan does not indicate foot candles within parking lot areas, please correct.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1** - The Grading Plan & SWPPP and Specifications shall be prepared by the Engineer of Record, who is a licensed professional engineer of the State of Arkansas.
 - o Requires a 1"=200' minimum scale 2-foot contour map.
 - o Show existing and proposed contours.

Sheet Title should reflect that it is the grading plan.

2. Chapter 106 – Stormwater Drainage

- **106.5.3**** - A concrete trickle channel with a minimum width of 4 feet and a minimum slope of 0.40% shall be required for all detention ponds other than permanent lakes.
-
- **106.5.4.10**** - **Drainage Easement needed**
 - o **Minimum 20' easement required around 100-year flood pool**
- **106.5.4.11.1**** - **A General Note is needed on the Site Plan stating that "A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department."**
<http://www.springdalear.gov/DocumentCenter/Home/View/3315>

3. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

4. Chapter 110 – Streets, Sidewalks and Other Public Places

(Ord. No. 3258, § 1, 11-12-02)

- **110.31** - Sidewalks are required one-foot (1') inside the right-of-way line.
- **110.54** - All crossings under roadways by open cut must be backfilled with flowable fill.
- **110.111** - The developer is required to improve the abutting street to the City of Springdale standards and in accordance with the Master Street Plan, including constructing sidewalks, curb and gutter, pave or widen the existing street, or install or construct drainage facilities.

5. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - ~~▪ Label all lights as Proposed or Existing~~
 - Show the direction of the mast arm
 - Show the size and type of lights based on the location and classification of the street
 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

6. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.9** Entrance/Exit Drives
 - o Need to note that modified curb is required at the drives and a modified curb detail.
- **130.7.6.1** ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

7. Chapter 50 – Floods

(Ord. No. 4110, § 1, 9-11-07)

- **Need to submit a floodplain development application at the time of resubmittal. See Applications & Forms / Floodplain at <http://www.springdalear.gov/298/Forms-Documents>**

8. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas

Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

- Construct-ability Review – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Ms. Christie further stated that there were no variances were applied for; therefore the Commercial Design Standards must be met.

Mr. Parsley asked if there were those in the audience with questions or comments.

Mr. Ed Stith with the Buildings Department, because the final plat hasn't been approved they need to be aware that both buildings have to be sprinkled.

Mr. Brian Moore with Engineering Services, Inc. stated for the record that they would not be back with any variances for this project.

Ms. Haney moved to approve the large scale development subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Tyler, Covert, David, Haney, Parker, Parsley, Peters

NO: None

The large scale development was approved subject to Staff comments by a unanimous vote.

- B. L20-02 Springdale Fire Department
SE corner of Carrie Smith Road & Ball Street
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by

electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).

4. This development has been given the number L20-02. This number should be placed on the plans and all future correspondence and plats pertaining to this development. (standard comment)

Engineering Comments

1. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220 , § 1, 10-24-17)

- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

2. Chapter 110 – Streets, Sidewalks and Other Public Places

(Ord. No. 3258, § 1, 11-12-02)

- **110.111** - The developer is required to improve the abutting street to the City of Springdale standards and in accordance with the Master Street Plan, including constructing sidewalks, curb and gutter, pave or widen the existing street, or install or construct drainage facilities.

If improvements are planned with another project, please reference the project number.

3. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - Label all lights as Proposed or Existing
 - Show the direction of the mast arm
 - Show the size and type of lights based on the location and classification of the street
 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

- **If improvements are planned with another project, please reference the project number.**

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

5. **Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Mr. Parsley asked if there were those in the audience with questions or comments.

Mr. Michael Kirkland asked if the doors were going to be on Downum Road, and will they come out on Ball Road or the other direction.

Mr. Appel said that the main exit is to the north onto Carrie Smith. He said that the entrance will be on Ball but will leave on Carrie Smith.

Mr. Kirkland asked if they were going to activate the sirens immediately or wait until they are down the road.

Chief Mike Irwin said that typically there's not that much traffic out there so they will wait until they get into traffic; however, if there is traffic when they get the call the sirens will be activated.

Ms. Teresa Kirkland asked if they can use this fire department as they are not in the City Limits of Springdale but in Elm Springs.

Chief Irwin said that they could petition Springdale to be annexed in otherwise; they are in the Cave Springs jurisdiction.

Ms. Haney moved to approve the large scale development subject to Staff comments. Mr. Covert seconded the motion.

VOTE:

YES: Covert, David, Haney, Parker, Parsley, Peters, Tyler

NO: None

The large scale was approved subject to Staff comments by a unanimous vote.

- C. L20-03 Dorman Townhomes
NE corner of S. West End & Wesley
- B20-06 Variance for deviation of Multi-family Design Standards (Secondary access)
- B20-06 Variance for deviation of parking requirements Presented by Engineering Services

Mr. Daniel Butler and Mr. Jason Appel with Engineering Services, Inc., were present to answer any questions or comments. Mr. Butler said that they are proposing townhomes. They have twelve buildings that will be five unit buildings and two stories and one building that will be a six unit building; the total will be sixty-six units. He said the on the parking requirement, they are requesting two parking spaces per unit and a variance not to have to do the second access. They have a fire access and it will only be for emergencies and it will be gated with a Knox Box.

Mr. Parsley asked for Staff comments.

Ms. Christie wanted to talk about the variances first. She wanted to know why they felt like they only need two parking spaces per unit.

Mr. Butler said they were limited on the site as far the amount of area that they have. He said that at the moment they have 20.4% greenspace and they are required to have 20% and there is the detention area. They have two large park areas which will have playgrounds and a picnic table on each one. He said they were only twenty six spaces under the required parking.

Mr. Appel said that they had made and was granted the same request for the townhomes on Oriole and also on the Har-Ber townhomes. These townhomes are all two bedroom units.

Ms. Christie said they meet the fire code requirement with an emergency access only across the parking lot. Staff has to have an actual access easement across through there and they must know that it is being maintained as an access easement. She said the other requirement for a through access drive as part of the multi-family design standards. The design standards state that multi-family developments greater than five acres shall include a minimum of one through access drive which typically shows to be a private drive but maybe a dedicated street with sidewalks and landscape planting strips between the sidewalk and curb. Through access drives shall be continuous through the site, connection to a perimeter public street on either side. The design of all through access drives shall be consistent with an align with a residential drive of through access drives in adjacent or existing plan development sites. This is what the variance for secondary access is for. It isn't a fire code variance, but a multi-family design standard variance.

Ms. Christie asked again the size of the area.

Mr. Appel said that it is just over 5.1 acres. He further stated that they have a little different scenario where they have an existing road right of way that they are trying to improve around.

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-03. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Multi-Family Design Comments

1. Parking shall be provided in accordance with Article 7, Chapter 130 of the Springdale Code of Ordinances. Note. Parking requirements as outline in Article 7 are as follows: 3 parking spaces per dwelling unit for the first 20 dwelling units; 2.25 spaces per dwelling unit for the next 50 dwelling units, and 1.75 spaces per dwelling unit for each dwelling unit over 70 dwelling units. (Variance Item)
2. Multi-family developments greater than five (5) acres shall include a minimum of one (1) "through-access drive," which typically shall be a private drive but may be a dedicated street, with sidewalks and landscaped planting strips between the sidewalk and curb. The through-access drive shall be continuous through the site, and connect to a perimeter public street on either end. The design of all through-access drives shall be consistent with, and aligned with, residential drives of through-access drives in adjacent existing or planned development sites. (Variance Item)
3. Provide drawing indicating areas being used to satisfy common space requirements. Required totals should be visually indicated on the site plan for phases (1, 2) respectively.
4. Provide additional connections to parking areas from sidewalks abutting front entries if utilizing a greenspace buffer. Only shown connections or landings from the parking areas are ADA access ramps.
5. Provide material specs to accompany provided elevations.
6. Mechanical/utility screening shall be an integral part of the building structure and architecture and not give the appearance of being "tacked on" to the exterior surfaces. No screening appears to be shown for utility meters or HVAC systems, please provide details.
7. Connection Markings – each point at which the on-site pedestrian walkway system must cross a parking lot or internal street or driveway to make a required connection shall be clearly marked through the use of change of paving materials, height, or distinctive colors. Provide details.

Engineering Comments

1. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

2. Chapter 110 – Streets, Sidewalks and Other Public Places

(Ord. No. 3258, § 1, 11-12-02)

- **110.54** - All crossings under roadways by open cut must be backfilled with flowable fill.

3. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
- o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - ~~▪ Label all lights as Proposed or Existing~~
 - Show the direction of the mast arm
 - ~~▪ Show the size and type of lights based on the location and classification of the street~~
 - ~~▪ Add note to determine if the light is designed for area parking lot lights or as a street illuminator~~
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.

- o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

o

5. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being

proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Mr. Parsley asked if there were those in the audience with questions or comments.

Ms. Tammy Davis was concerned that she was losing all her green space to the north and northwest. She questioned where the emergency exit will be.

Ms. Christie said it would across from the church.

She was concerned about the trees that are already in existence especially the one that is to the north and east of the cul-de-sac. She said it is huge and she would hate to see it cut down. She asked if they were trying at all to save the trees.

Mr. Phillip Taldo, who is the developer, spoke. He said that they don't intend to take any trees down that they don't need to for building, parking lot or utilities. He said they would save every tree that they can save.

Ms. Haney asked about the deviation of the parking requirements. She wanted to know if the limit of two parking spaces per unit will be in the leases.

Mr. Appel said that it would be.

Mr. Taldo said that they put in the lease that the renter cannot have more than two vehicles.

Ms. Haney called for the vote on both of the variances.

VOTE:

YES: David, Haney, Parker, Parsley, Peters, Tyler, Covert

NO: None

The variances were approved by a unanimous vote.

Ms. Haney moved to approve the large scale subject to Staff comments. Mr. Covert seconded the motion.

VOTE:

YES: Haney, Parker, Parsley, Peters, Tyler, Covert, David

NO: None

The large scale development was approved subject to Staff comments by a unanimous vote.

- D. L20-04 Old Missouri Apartments
W. side of Old Missouri Road, N. of DTP
W. of Spring Creek
Presented by Engineering Services, Inc.

Mr. Daniel Butler with Engineering Services, Inc. was present on behalf of his client to answer any questions or comments. He said there will be fourteen different buildings; four of which will be one bedroom units, six will be two bedroom units and four will be three bedroom units for a total of 168 units with 15.72 units per acre. This project will also have a club house, a pool and cabana and tenant storage. They will be three story buildings. They have more green space than what is required.

Mr. Parsley asked for Staff comments.

Ms. Christie said that with the changes they made in the zoning request, they can meet all that was stated with those units. They will be losing four units.

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-04. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)
5. Provide details for opaque screening where shown.

Multi-Family Design Comments

1. Provide drawing indicating areas being used to satisfy common space requirements. Areas should be visually indicated on the site plan. If density incentives based on increased common space are being utilized these areas will need to meet all requirements set forth for common space within the multi-family design standards.
2. Developments with 100 dwelling units shall provide a second primary access into the development.
3. Multi-family developments greater than five (5) acres shall include a minimum of one (1) "through-access drive," which typically shall be a private drive but may be a dedicated street, with sidewalks and landscaped planting strips between the sidewalk and curb. The through-access drive shall be continuous through the

site, and connect to a perimeter public street on either end. The design of all through-access drives shall be consistent with, and aligned with, residential drives of through-access drives in adjacent existing or planned development sites.

4. Provide additional connections and landings for pedestrian connectivity if utilizing a greenspace buffer for sidewalks abutting parking areas. As shown if a vehicle is parked in front of the connections it cannot be accessed in many locations, these should ideally be centered on stall lines for ease of access.
5. Connection Markings – each point at which the on-site pedestrian walkway system must cross a parking lot or internal street or driveway to make a required connection shall be clearly marked through the use of change of paving materials, height, or distinctive colors. Provide details.
6. Provide material specs to accompany provided elevations.
7. Mechanical/utility screening shall be an integral part of the building structure and architecture and not give the appearance of being “tacked on” to the exterior surfaces. Provide details for HVAC screening.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1** - The Grading Plan & SWPPP and Specifications shall be prepared by the Engineer of Record, who is a licensed professional engineer of the State of Arkansas.
 - o ~~Requires a 1"=200' minimum scale 2-foot contour map.~~
 - o ~~Show existing and proposed contours.~~

2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
 - o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

- **107.3** - The following note is required as a General Note on the Site Plan:

"Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:

- a) development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
- b) the disturbed soil area is observed to have 80% grass coverage and 100% stability, and

- c) No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
- d) Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
- e) all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site."

3. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- ~~112.4~~ - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - ~~▪ Label all lights as Proposed or Existing~~
 - Show the direction of the mast arm
 - Show the size and type of lights based on the location and classification of the street
 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- ~~130.7.6.1~~ ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

5. Other:

- ~~Permitting~~ - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- ~~Construct-ability Review~~ – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney moved to approve the large scale subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Parker, Parsley, Peters, Tyler, Covert, David Haney

NO: None

The large scale was approved subject to Staff comments by a unanimous vote.

Board of Adjustment

- A. B20-01 Joe Szadziewicz
247 Santa Teresa
 Variance for deviation of rear setback from 20' to 10'
 Presented by Joe Szadziewicz

Mr. Szadziewicz was present to answer any questions or comments. He said they wanted to install a swimming pool.

Ms. Christie asked if there was a utility easement in the rear.

Mr. Szadziewicz said it was. He said he isn't encroaching on the easement.

Mr. Parsley asked for Staff comments.

Ms. Christie said Staff had received a couple of letters regarding the variance.

To whom it may concern:

We recently received a letter notifying us that the neighbor behind us (247 Santa Teresa) was requesting variance reduction to 10ft from rear property line (vs. required 20ft variance as is code). We live at 246 Viale Benedetto and therefore share our back property line with the requesting property. We cannot make it to the specified hearing (1/3/20) listed in the certified letter, and am therefore sending this note to state concerns/feedback.

We do not want to impede the property owners plan to build a pool but have the following concerns/requests:

1. Overflow from the pool area be directed toward front of their property, so that it does not flow into our property causing flooding/standing water.
2. That any/all raised property (due to pool or landscaping) also be planned so that it does not cause drainage onto our property.
3. Any additional above ground lighting is not directed toward our home.

Thank you,
Don McAllister

Don McAllister
Director of Advisory Services/Sales Capabilities
Email: don.mcallister@clorox.com
C: 479-381-9585

From: Matthew Lindsey [<mailto:matthew.lindsey@bayer.com>]
Sent: Sunday, January 05, 2020 10:02 PM
To: pchristie@springdalear.gov
Cc: nataliejolindsey@aol.com
Subject: Notice of Hearing Letter // 247 Santa Teresa

To Whom It May Concern:

I received notification that there was an attempt to notify me via registered mail of a request for variance for my neighbor's property. While I have not officially ever received the notification, I did speak with my neighbor about his plans to construct a pool and the subsequent request for variance allowing for construction from 20ft to 10ft from my property. I was not aware of the date of the meeting since I never received the letter, but wanted to reach out to confirm my concerns which I have discussed and clarified with my neighbor.

- 1) Accommodation for drainage and discharge for the pool should flow to the front of his property (flowing West), directly towards the storm drain. I have installed French drains to prevent run-off from rain but it would not be adequate for a large flow of water. I was assured that this was the plan where grading and discharge lines would contain water flow on the South side of the property, flowing to the street and storm drain.
- 2) I was also concerned that pool pump would be placed on the North side of the house, next to our shared fence, which would create additional noise. Was told that the pump and heating system would be placed on the South side of the house where there was a preexisting space.

I do not wish to impede with the request but wanted to document my concerns and subsequent explanations and agreement with my neighbor.

Thanks
Matthew Lindsey
271 Santa Teresa, Springdale, AR 72762

Freundliche Grüße / Best regards,

Matthew Lindsey

Senior Director, Integrated Customer Logistics



Bayer U.S. LLC
Customer Logistics, North America, Consumer Health
3930 Edison Lakes Parkway
Mishawaka, IN 465445
United States
Tel: +1 479 419-0310
E-mail: matthew.lindsey@bayer.com
Web: <http://www.bayer.us>

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Peters suggested taking a notch out for the pool as shown on the drawing with eight feet off one line and thirty one feet on the other.

Mr. Covert called for the vote as amended.

VOTE:

YES: Parsley, Peters, Tyler, Covert, David, Haney, Parker

NO: None

The variance was approved as amended by a unanimous vote.

- B. B20-02 Advanced Monitoring Services
3497 Wagon Wheel Road
Variance for deviation of Commercial Design Standards
 - A) deviation of sidewalk width from 5' to 3' in some areas
 - B) deviation of façade material
 - C) deviation of perimeter landscaping
 Presented by Harrison French

These variances were approved in conjunction with the large scale development.

- C. B20-03 Landmarc Custom Homes, Inc.
2914 N. 56th Street
Variance for deviation of an offsite sign
Presented by Greg Taylor

Mr. Greg Taylor was present to answer any questions or comments. He said the sign is for a new residential subdivision being built next to the park. He said the sign will be 4' X 4'. He further stated that it is a temporary sign and that they have an agreement with the land owner up to four years which should take them through the development and then it will be removed.

Mr. Parsley asked for Staff comments.

Ms. Christie said they were asking for a 4' x 4' off site sign for up to four years.

Mr. Taylor said that it is a steel frame and felt it would look better than the sled signs that they normally use.

Mr. Parsley asked if there were those in the audience with questions or comments.

Ms. Stephanie Yumang voiced her concern that it was being placed at what she considers a terrible intersection. She said that per the Ordinance that the Commission could deny the request if the sign is obstructing vision. She was also concerned about the fire hydrant at this location.

Mr. Taylor said that they hired Engineering Services, Inc. to make sure that they were out of any of the right of ways for 56th Street and for County Line Road. They also had all the utilities marked so that they are outside any of the utility easements. He said they are not in any line of site, the setback is good and not on any utility easements. He reiterated that it was just for a period of four years. He said that basically it is a directional sign for the new subdivision.

Ms. Haney said her two concerns are the sight triangle and there have been signs that the Commission has not approved in the past.

Mr. Covert called for the vote.

VOTE:

YES: Peters, Tyler, Covert, David, Parker, Parsley

NO: Haney

The variance request was approved by a vote of six yes and one no.

- D. B20-04 AC Properties
3241 W. Huntsville Ave.
 Variance for deviation of perimeter landscaping per Chapter 56.
 Presented by Bates and Associates

This was approved in conjunction with the large scale development.

- E. B20-05 Marcy Chavez
2172 N. Thompson
 Variance for payment in-lieu of required street improvements
 Presented by Bates and Associates

Mr. Jake Davis (?) with Bates and Associates was present on behalf of his client to answer any questions or comments. He said they are requesting a variance for street improvement and proposing a fee in-lieu of due to extreme elevation between the driveway and where the sidewalk would be and the lack of existing sidewalks.

Ms. Christie asked if they were asking for just payment in-lieu of just the sidewalk.

Mr. Davis said for the street, curb and gutter and sidewalks.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Ms. Haney called for the vote.

VOTE:

YES: Tyler, Covert, David, Haney, Parker, Parsley, Peters

NO: None

The variance request with payment in-lieu of was approved by a unanimous vote.

- F. B20-06 J.E. Dorman Revocable Trust
 - A) Variance for deviation of secondary access
 - B) Variance for deviation of parking requirement

Presented by Engineering Services, Inc.

These variances were approved in conjunction with the large scale development.

Waivers

- A. W20-01 Kyle Sargent
 - 3198 Old Missouri Road
 - Waiver of drainage requirements

Presented by Kyle Sargent

This request was tabled per Staff.

Planning Director's Report

Ms. Christie gave her report. She said Staff has hired a new Senior Planner who will start Monday. She said Council action taken in December was:

Bob Bonds waiver was approved.

Conditional Uses were approved.

The rezoning south of Willie George Park from SF-2 to MF-4 was denied.

The other rezonings were approved.

The two that were overturned by Council were approved.

The conditional use was set for the mobile home in the Zion Road area.

The City Council approved a new Ordinance to implement the small wireless per Act 99 in 2019.

They also approved the demolition of a structure.

The 2020 budget was approved.

She further stated that there are two Commissioners that will be up for re-appointment or replacement. They are Vivi Haney and Payton Parker. Their term goes to 1-31-2020.

The Christmas Party will be Wednesday, at 6:00 p.m. at the Outback.

The next work session will be January 21, at 5:30. She wants to go over the 2020 work plan for the Commission and work on the Master Street Plan.

There being no further business, the meeting was adjourned at 7:40 p.m.

Kevin Parsley, Parsley

Vivi Haney, Secretary

**Patsy Christie, Director
Planning and Community Development Division**

Debbie Pounders, Recording Secretary

APPLICATION FOR CONDITIONAL USE
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Rhonda Nelson / Timothy Nelson
Address: PO Box 88
Cane Springs, AR 72718
Phone: 479-466-4620 Profit: Non-Profit

2. Property Location (street address or layman's description):
8391 E Brown Rd
Springdale, AR 72762

3. Record Title Holder of Property: Kilpatrick Living Trust
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested SF-1 in A-1 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:
We will be tract splitting 2 +/- acres from
a 31.89 acre +/- tract which is currently zoned A-1

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?
The Conditional use permit will not have any adverse effect, it will fit in with the surrounding properties.

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

Kipatua Living Trust
William F. Kipatua, trustee

Tom Nelson
Ahonda Nelson

Date: 1-15-2020

Date: 1-15-2020

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

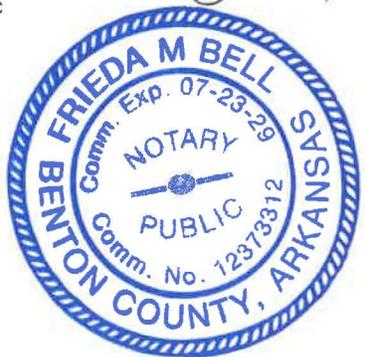
Ahonda Nelson
Kipatua Living Trust, William F. Kipatua trustee

State of Arkansas)
County of Beaton) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 15th day of January, 2020.

Frieda M Bell
Notary Public

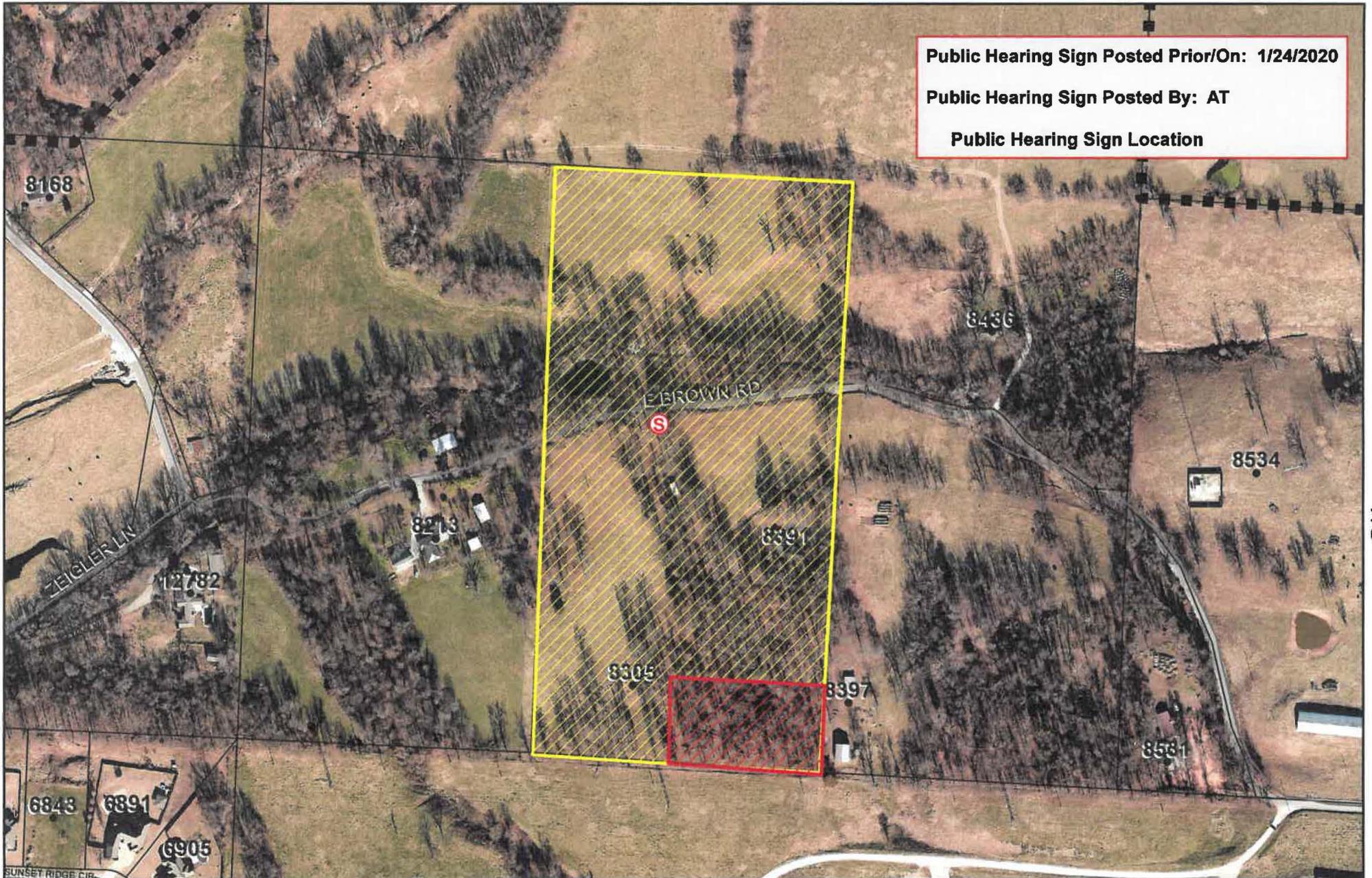
My commission expires: 7-23-2029



Public Hearing Sign Posted Prior/On: 1/24/2020

Public Hearing Sign Posted By: AT

Public Hearing Sign Location



P 44



0 60 120 240 360 480
Feet
For Location Reference Only

FILE NO. C20-05
APPLICANT: Tim & Rhonda Nelson
REQUEST: Conditional Use - Tandem Lot Split

PLANNING COMMISSION MEETING
February 4, 2020

Memo

To: Planning Commission
From: Staff
Date: February 4, 2020
RE: L20-05 Large Scale Development Emma Street Mixed Use
Development

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-05. This number should be placed on the plans and all future correspondence and plats pertaining to this development. (standard comment)
5. Provide additional pedestrian lighting specs for parking lot and building prior to final approval.
6. Provide sidewalk along Johnson Ave or formally request a waiver/payment in lieu through this office.
7. Provide completion of sidewalk at far Northwest corner of the lot along Commercial. We would like coordinate a possible pedestrian access with the adjacent property owner.
8. Please provide proposed screening details for transformers, staff will coordinate with SWEPCO directly in regards to placement within easement.

Downtown Form-Based Code

1. Provide updated elevations and site plan reflecting increased facade placement at the 0' build to line per NC1 district requirements as discussed with the architect.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

- FFE of building on the west side needs to be at least 2' above the BFE since it's in a flood zone

2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- **107.3.D.c** - A grading and drainage plan is required for all developments showing that each lot drains to the street right-of-way, a dedicated drainage easement with improvements, or an existing drainage way without flowing across a neighboring lot. No drainage from roof drains, landscaping, or lot runoff may be directed or diverted onto neighboring properties.
-

3. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - Label all lights as Proposed or Existing
 - Show the direction of the mast arm
 - Show the size and type of lights based on the location and classification of the street
 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

5. Chapter 50 – Floods

(Ord. No. 4110, § 1, 9-11-07)

- From elevations provided, it looks like the west building will undergo substantial renovation and development, this will require a floodplain development permit, please submit Section I of application to Springdale Engineering
<http://www.springdalear.gov/DocumentCenter/View/440/Floodplain-Development-Permit-Application-PDF>

6. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

ARCHITECT/LANDSCAPE ARCHITECT OF RECORD

ROSS BARNEY ARCHITECTS
 10 W. HUBBARD ST.
 CHICAGO, IL 60654
 P: 312.832.0600
 F: 312.832.0601

ASSOCIATE ARCHITECT

POLK STANLEY WILCOX ARCHITECTS
 509 W. SPRING ST.
 FAYETTEVILLE, AR 72701
 479.444.0473

CIVIL ENGINEER

CEI ENGINEERING ASSOCIATES, INC.
 3108 SW REGENCY PKWY, SUITE 2
 BENTONVILLE, AR 72712
 P: 479.273.9472

STRUCTURAL ENGINEER

GOODFRIEND MAGRUDER STRUCTURE, LLC
 53 W. JACKSON BLVD., STE 340
 CHICAGO, IL 60604
 P: 312.265.2645

MEP ENGINEER

IMEG CORP.
 231 S. LASALLE ST.
 CHICAGO, IL 60604
 P: 312.931.3701

SPRINGDALE MIXED-USE

**200 EAST EMMA AVENUE
 SPRINGDALE, ARKANSAS 72764**

**r_bar PROJECT NUMBER: 1862.00
 CITY PROJECT NO. L20-05**

**ISSUED FOR
 LARGE SCALE DEVELOPMENT
 REVIEW
 12.30.2019**

DRAWING INDEX		
Sheet Number	Sheet Name	Sheet Issue Date
G-001	COVER SHEET	12/30/19
C-000	CIVIL COVER SHEET	12/30/19
C-100	DEMOLITION PLAN	12/30/19
C-200	SITE PLAN	12/30/19
C-300	GRADING PLAN	12/30/19
C-301	EROSION CONTROL PLAN	12/30/19
C-302	EROSION CONTROL NOTES	12/30/19
C-500	UTILITY PLAN	12/30/19
C-501	UTILITY ENLARGEMENT & PROFILE	12/30/19
C-600	DETAIL SHEET 1	12/30/19
C-610	DETAIL SHEET 2	12/30/19
C-620	DETAIL SHEET 3	12/30/19
C-630	DETAIL SHEET 4	12/30/19
C-640	DETAIL SHEET 5	12/30/19
L-100	LANDSCAPE PLAN	12/30/19
A-200	ELEVATIONS	12/30/19
A-201	ELEVATIONS	12/30/19

**SPRINGDALE MIXED-USE
 SPRINGDALE DOWNTOWN, LLC**

STRUCTURAL ENGINEER
 GOODFRIEND MAGRUDER STRUCTURE LLC
 53 WEST JACKSON BLVD, SUITE 340
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 509 W. SPRING ST.
 FAYETTEVILLE, AR 72701
 479.444.0473

SEAL:



RENDERING OF SOUTH ELEVATION ON EMMA AVENUE



LOCATION MAP



NO.	DATE	ISSUE
1	12.30.2019	Large Scale Development Review
2	01.23.2020	Large Scale Development Review Second Submittal

1862.00

RBA PROJECT NUMBER

COVER SHEET

SHEET NAME

SHEET NUMBER

LARGE SCALE DEVELOPMENT PLANS

SPRINGDALE MIXED-USE

200 E. EMMA AVENUE

SPRINGDALE, AR 72764

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PARKWAY, SUITE 2
BENTONVILLE, AR 72712
(479) 273-9472
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. WETLANDS NOTE: ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. RESIDENT ENGINEERING SERVICES: WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

CITY PROJECT# L20-05

CURRENT ZONING	NC-1
PROPOSED ZONING	NC-1
CONSTRUCTION TYPE	III-B
SPRINKLERED	YES



Vicinity Map

Not to Scale
Latitude: 36°11'07"
Longitude: 94°07'47"

CEI CONTACT:

NATE BACHELOR, P.E.
PROJECT MANAGER
PHONE: (479) 273-9472
NBACHELOR@CEIENG.COM

CLIENT CONTACT:

NAME: YUME RUJZINSKI
COMPANY: BLUE CRANE
EMAIL: YRUJZINSKI@BLUECRANE.US
PHONE: (479) 431-2222

TOM BURRY, P.E.
CONSTRUCTION ENGINEER
PHONE: (479) 273-9472
CELL: (479) 866-7019
TBURRY@CEIENG.COM



Know what's below.
Call before you dig.



ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS
3108 S.W. REGENCY PARKWAY, SUITE 2 (479)273-9472
Bentonville, AR 72712 FAX (479)273-0844



PLAN INDEX:

- C-000 COVER SHEET
- C-100 DEMOLITION PLAN
- C-200 SITE PLAN
- C-300 GRADING PLAN
- C-301 EROSION CONTROL PLAN
- C-302 EROSION CONTROL NOTES
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- C-510 UTILITY ENLARGEMENT & PROFILE
- C-600 DETAIL SHEET 1
- C-610 DETAIL SHEET 2
- C-620 DETAIL SHEET 3
- C-630 DETAIL SHEET 4
- C-640 DETAIL SHEET 5

ASSOCIATED PLANS:

- 1. SURVEY

RESOURCE LIST:

PLANNING DEPARTMENT
CITY OF SPRINGDALE
AUSTIN THOMAS
201 SPRING STREET
SPRINGDALE, AR 72764
PHONE: (479)750-8577

FIRE PREVENTION
CITY OF SPRINGDALE
BLAKE HOLT
417 S. HOLCOMB
SPRINGDALE, AR 72756
PHONE: (479) 751-4510

WATER UTILITIES
CITY OF SPRINGDALE
RICK PUVIRENTI
P.O. BOX 769
SPRINGDALE, AR 72765
PHONE: (479) 927-4178

SANITARY SEWER UTILITIES
CITY OF SPRINGDALE
MIKE IMES
P.O. BOX 769
SPRINGDALE, AR 72765
PHONE: (479) 927-4178
MIMES@SPRINGDALEWATER.COM

STORM SEWER
CITY OF SPRINGDALE
201 SPRING STREET
SPRINGDALE, AR 72764
PHONE: (479) 750-8558

SIGNAGE/BUILDING
CITY OF SPRINGDALE
MIKE CHAMLEE
201 SPRING STREET
SPRINGDALE, AR 72764
PHONE: (479) 750-8154

ELECTRIC UTILITIES
AEP SWPCO
CHRIS ANDREOLLI
415 STRIBLING
ROGERS, AR 72756
PHONE: (479) 973-2134
CLANDREOLLI@AEP.COM

NATURAL GAS
BLACK HILLS ENERGY
JOSHUA KNIGHT
1301 FEDERAL WAY
LOWELL, AR 72745
PHONE: (479) 333-7005

TELEPHONE
AT&T
LAINE RHODES
SCOTT SEAMAN
627 WHITE ROAD
SPRINGDALE, AR 72766
PHONE: (479) 442-1367

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COX COMMUNICATIONS
KIP SMITH
4901 S. 48TH STREET
SPRINGDALE, AR 72762
PHONE: (479) 717-3796

31285	L20-05	NLB	NLB	DKH	ALH
CEI PROJECT NO.	CITY PROJECT NO.	DPOR	PM	DES	DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2 (479)273-9472
Bentonville, AR 72712 FAX (479)273-0844

SPRINGDALE MULTI-USE
SPRINGDALE DOWNTOWN, LLC

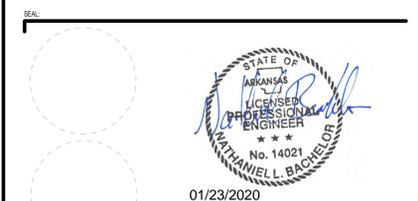
200 E. EMMA AVENUE
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53 WEST JACKSON BLVD, SUITE 340
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ASSOCIATE ARCHITECT
POLK STANLEY WILCOX ARCHITECTS
509 W. SPRING ST.
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479.444.0473



NO. DATE REVISION

1862.00
RBA PROJECT NUMBER

COVER SHEET
SHEET NAME

SHEET NUMBER

C-000

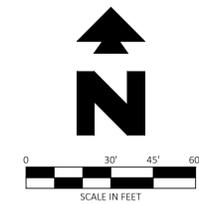
Arkansas * California * Minnesota * Pennsylvania * Texas

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SITE BENCHMARK

BENCHMARK #1: A MAG NAIL IN THE EAST R.O.W. OF SPRING ST. AT THE INTERSECTION OF SPRING ST. AND E EMMA AVE. BEING APPROXIMATELY 26' SOUTHWEST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING 7' WEST OF A SEWER MANHOLE. ELEVATION: 1313.83'

BENCHMARK #2: A MAG NAIL IN THE WEST R.O.W. OF SPRING ST. BEING APPROXIMATELY 44' WEST OF FOUND MAG NAIL AT THE NORTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING APPROXIMATELY 25' WEST FROM A SEWER MANHOLE IN THE R.O.W. OF SPRING ST. ELEVATION: 1314.35'



811

**Know what's below.
Call before you dig.**

NOTE: SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

EXISTING LEGEND

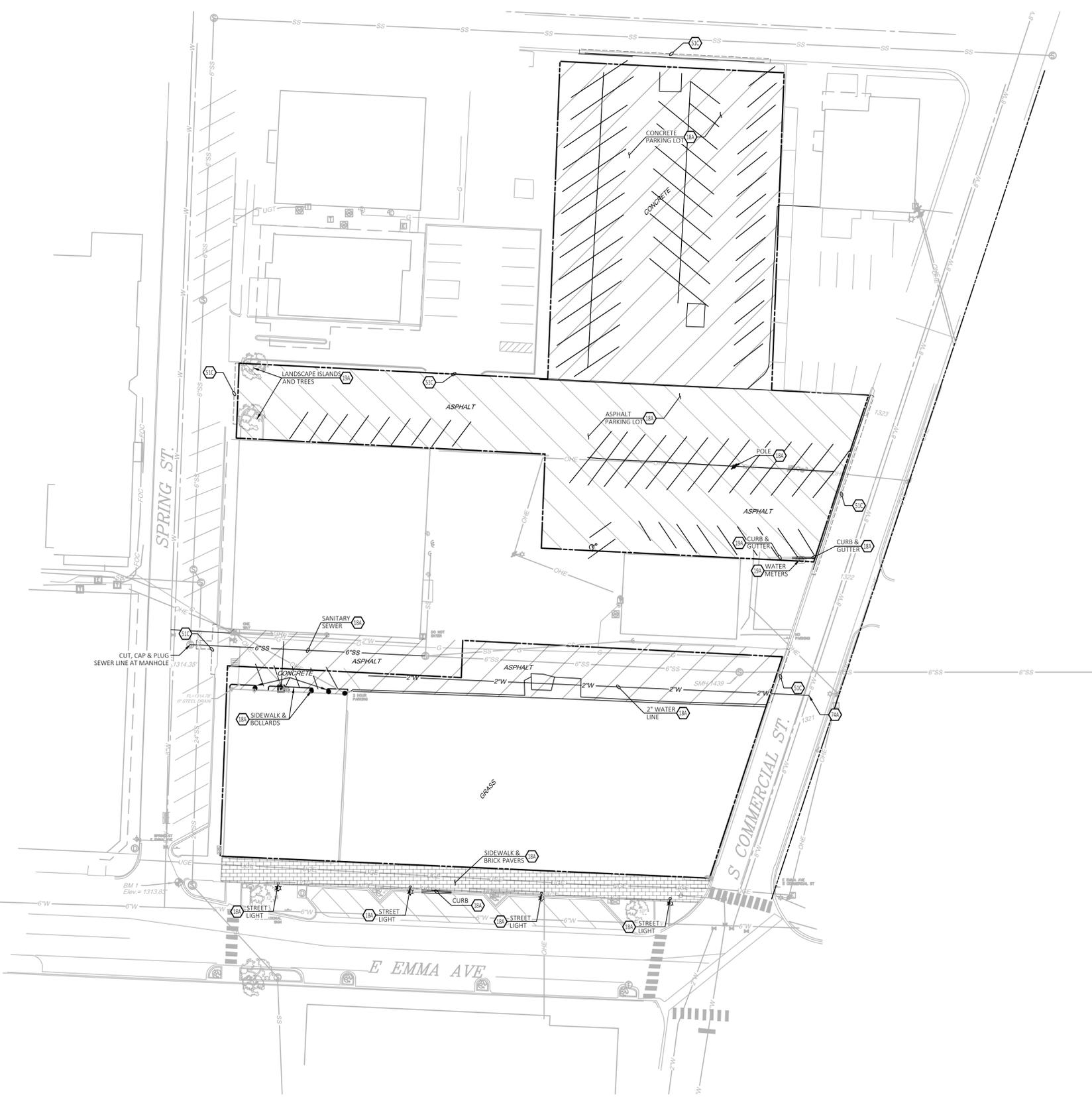
---	Boundary Line	---	Sewer Cleanout
---	Adjoining Boundary Line	---	Guy Wire/Anchor
---	Underground Electric Line	---	Utility Pole
---	UGE&T Undergound Electric & Telephone	---	Electric Riser
---	X"IG Gas Line	---	Telephone Riser
---	FOC Undergound Fiber Optic Line	---	Water Valve
---	OHE Overhead Electric Line	---	Traffic Sign
---	X"SS Sanitary Sewer Line	---	Found Mag Nail
---	(SIDE) Storm Drain Pipe	---	Cotton Spindle Found
---	UGT Undergound Telephone Line	---	Roof Drain
---	Water Line	---	Irrigation Control Box
+	Benchmark	---	Water Vault
+	Found Monument (As Noted)	---	Air Conditioner Unit
+	Set Nail W/Washer	---	Light Pole
+	Gas Meter	---	Light on Utility Pole
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+	Water Meter	---	Chiseled "X" Found
+	Drainage Manhole	---	Donated Monument
+	Grate Inlet	---	Tree (Deciduous)
+	Fire Hydrant	---	Record Bearing & Distance
+	Sewer Manhole	---	Per File

GENERAL DEMOLITION NOTES

- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE "OWNER'S STANDARD SITE WORK SPECIFICATIONS".
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ENGINEER'S NOTICE TO CONTRACTOR**
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

DEMOLITION NOTES

- 18A EXISTING TO BE REMOVED.
- 19A EXISTING TO REMAIN.
- 51C LIMITS OF SAWCUT AND PAVEMENT REMOVAL - SAWCUT A MINIMUM OF TWO FEET FROM FACE OF CURB.
- 74A DEMO EXISTING 2" WATER LINE. PLUG UNUSED OUTLET AT MAIN.



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SEAL:

01/23/2020

ross barney architects

r b arc

10 west hubbard street chicago illinois 60654
 v312 832 0600 f312 832 0601
 www.r-barc.com

NO. DATE ISSUE

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DEMOLITION PLAN
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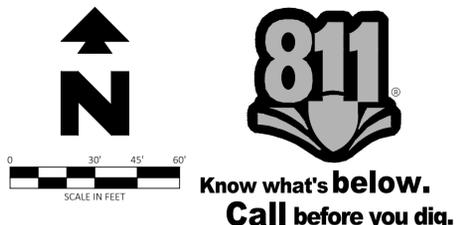
SHEET NUMBER

SITE DATA	
SITE AREA	.94 ACRES (41,108 ± SF)
BUILDING AREA	21,635 SF (FOOTPRINT)
ZONING	NC-1
PARKING REQUIRED	1/DWELLING UNIT = 55 SPACES
RETAIL 1/1250	EXCEEDING 7500 SF = 08 SPACES
OFFSTREET PARKING	
ANGLED	68 SPACES
A.D.A.	04 SPACES
COMPACT	15 SPACES
PARALLEL	04 SPACES
ONSTREET PARKING	
ANGLED	15 SPACES
A.D.A.	02 SPACES
TOTAL PARKING	107 SPACES

SITE BENCHMARK

BENCHMARK #1: A MAG NAIL IN THE EAST R.O.W. OF SPRING ST. AT THE INTERSECTION OF SPRING ST. AND E EMMA AVE. BEING APPROXIMATELY 26' SOUTHWEST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING 7' WEST OF A SEWER MANHOLE. ELEVATION: 1313.83'

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EXISTING LEGEND

---	Boundary Line	---	Sewer Cleanout
---	Adjoining Boundary Line	---	Guy Wire/Anchor
---	UG#	---	Utility Pole
---	UG#&T	---	Electric Riser
---	X"Ø	---	Telephone Riser
---	FOC	---	Water Valve
---	OHE	---	Traffic Sign
---	X"SS	---	Found Mag Nail
---	(SIDE)	---	Cotton Spindle Found
---	UGt	---	Roof Drain
---	X"W	---	Irrigation Control Box
---	Water Line	---	Water Vault
+	Benchmark	---	Air Conditioner Unit
+	Found Monument (As Noted)	---	Light Pole
+	Set Nail W/Washer	---	Mail Box
+	Gas Meter	---	Light on Utility Pole
+	Electric Meter	---	Mail Box
+	Water Meter	---	Chiseled "X" Found
+	Drainage Manhole	---	Donated Monument
+	Grate Inlet	---	Tree (Deciduous)
+	Fire Hydrant	---	Record Bearing & Distance
+	Sewer Manhole	---	Per File

PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE	---	LIMITS OF SIDEWALKS AND CONCRETE APRONS (REF. DETAIL 03D).
---	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.	---	LIMITS OF CONCRETE DRIVE AISLE (REF. DETAIL 08C) AND TRASH ENCLOSURE PAD (REF. DETAIL 08C).
+	BUILDING CONTROL POINT	---	LIMITS OF ASPHALT DRIVE AISLE AND PARKING SPACES (REF. DETAIL 08A).
#	PROPOSED PARKING SPACES		

GENERAL SITE NOTES

- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL CURB RETURN RADII SHALL BE 3' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 09D.
- ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F UNLESS OTHERWISE SPECIFIED.
- ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.

SITE NOTES

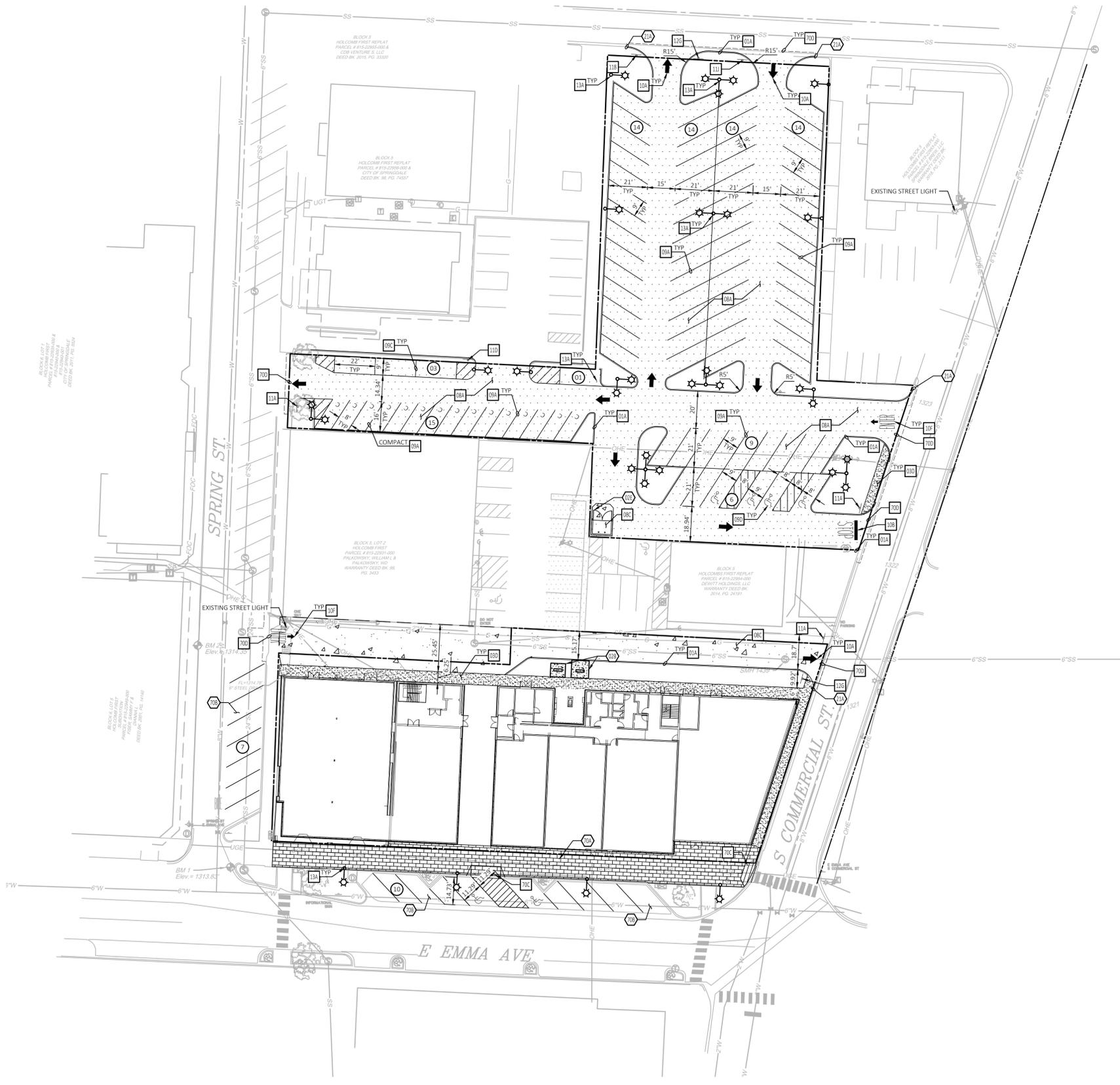
- 02B TRANSFORMER PAD (PER SW/PCO DETAILS).
- 02E TRASH DUMPSTER ENCLOSURE (PER ARCH PLANS).
- 21A TAPER CURB TO MATCH EXISTING CURB.
- 70A BRICK PAVERS TO MATCH EXISTING.
- 70B RE-STRIPE EXISTING PARKING AS INDICATED.

SITE DETAILS

- 01A TYPE A CONCRETE CURB AND GUTTER
- 03D CONCRETE SIDEWALK
- 08A STANDARD DUTY ASPHALT PAVING
- 08C HEAVY DUTY CONCRETE PAVING
- 09A SIXTY DEGREE PARKING SPACE STRIPING
- 09C PARALLEL PARKING SPACE STRIPING
- 09D 60 DEGREE ACCESSIBLE PARKING SPACE STRIPING
- 10A TRAFFIC FLOW ARROW
- 10B STOP BAR
- 10F ENTER PAVEMENT MARKING WITH ARROW
- 11A DO NOT ENTER SIGN
- 11D RIGHT TURN ONLY SIGN
- 11J ONE WAY SIGN
- 12G STOP SIGN
- 13A TYPICAL LIGHT POLE BASE DETAIL
- 70C CITY OF SPRINGDALE DETAIL SD-B-2: HANDICAP RAMP DETAILS
- 70D CITY OF SPRINGDALE MODIFIED CURB DETAIL

CITY OF SPRINGDALE NOTES:

- STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:
 - DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
 - THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
 - NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
 - NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
 - ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.
- IN LIEU OF A MECHANICAL OR ELECTRIC BELL INSTALLED ADJACENT TO THE FIRE SPRINKLER RISER TO INDICATE SPRINKLER WATER FLOW, A WATERPROOF HORN/STROBE SHALL BE INSTALLED ON THE EXTERIOR WALL ABOVE THE FDC. HORN STROBE SHOULD ACTIVATE UPON WATER FLOW ONLY.
- A 3200 SERIES KNOX BOX IS REQUIRED AT THE PRIMARY ENTRANCE. BOX MAY BE ORDERED AT WWW.KNOXBOX.COM OR AN ORDER FORM MAY BE OBTAINED FROM THE FIRE MARSHAL.



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01/23/2020



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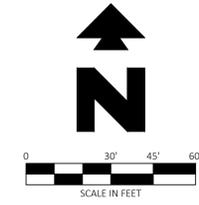
SHEET NUMBER

C-200

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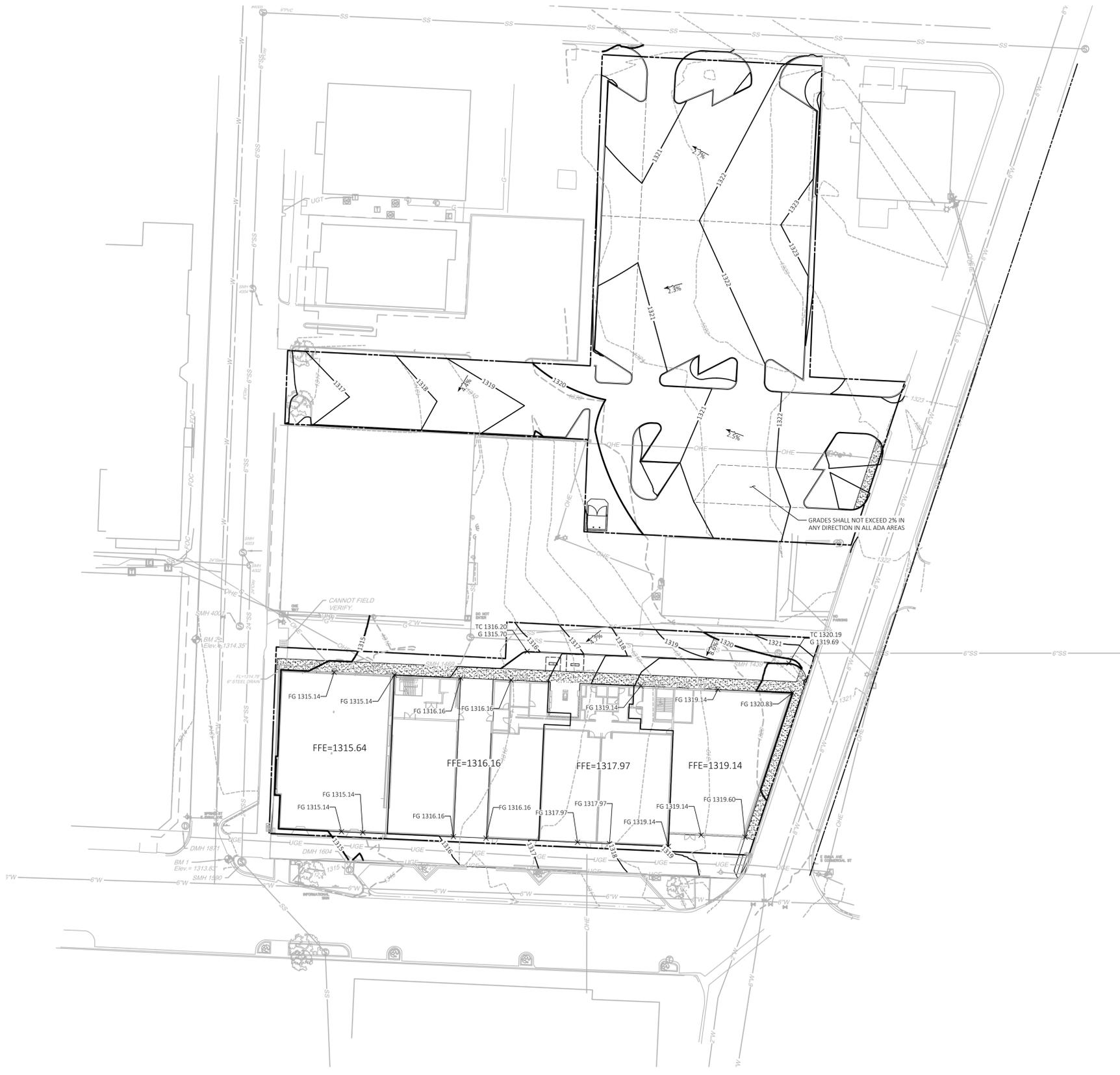
---	Boundary Line	→	Sewer Cleanout
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◆	Benchmark	→	Water Vault
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○	Fire Hydrant	→	Record Bearing & Distance Per File
○	Sewer Manhole	→	FLOOD ZONE "AE"

PROPOSED LEGEND

---	PROPERTY LINE/RIGHT OF WAY LINE	XX.XX	SPOT ELEVATIONS:
---	CONTOUR ELEVATIONS	TC = TOP OF CURB	
---	GRADE BREAK	G = GUTTER	
---	FLOWLINE	FFE = FINISH FLOOR ELEVATION	
---	STORM DRAIN	Fg = FINISH GRADE	

GENERAL GRADING NOTES

- PRIOR TO INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF DESIGN CONFLICTS.
- ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND 4" OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS (SEE LANDSCAPE PLAN FOR SEED MIX AND PROPER APPLICATION RATE). ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER DETAIL 28A. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.



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SEAL

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r_barc

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NO: _____ DATE: _____ ESE: _____

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SHEET NUMBER

C-300

JOB # 31285 DRAWING: 31285 GRADING LAST SAVED BY: DHLEMAN LOCATION: \\vnp\pamos01\cebi\work\31285\0\Drawings\Design\Working\31285 GR.Dwg

AREA OF DISTURBANCE = 1.79 ACRES (77,880 S.F.)

SOIL TYPES

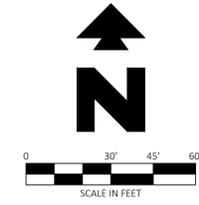
- BcA BURLERSON CLAY, 0-1% SLOPES
- APPROXIMATE LIMITS OF SOIL TYPE

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EXISTING LEGEND

- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|-------------------|-----------------------------|---------|-----------|---------|---------|---------|----------|-----------|---------|---------|-------------|-----------------------------|---------------------|-------------|------------------|---------------|--------------------|---------------|----------------|-----------------|--------------------|---------------------|------------------|--------------------|---------------------|-----------------|--------------------|------------------|----------------------|--------------------------|----------------|----------------------------|-----------------|--------------------------|----------------|---------------------------|--------------|------------------------|----------------------|----------------------|-------------------------------|--------------|---------------------|
| --- Boundary Line | --- Adjoining Boundary Line | --- UGE | --- UGE&T | --- X"W | --- FOC | --- OHE | --- X"SS | --- (SDR) | --- UGT | --- X"W | ◆ Benchmark | ◆ Found Monument (As Noted) | ○ Set Nail W/Washer | ○ Gas Meter | ○ Electric Meter | ○ Water Meter | ○ Drainage Manhole | ○ Grate Inlet | ○ Fire Hydrant | ○ Sewer Manhole | --- Sewer Cleanout | --- Guy Wire/Anchor | --- Utility Pole | --- Electric Riser | --- Telephone Riser | --- Water Valve | --- Found Mag Nail | --- Traffic Sign | --- Found Sewer Line | --- Cotton Spindle Found | --- Roof Drain | --- Irrigation Control Box | --- Water Vault | --- Air Conditioner Unit | --- Light Pole | --- Light on Utility Pole | --- Mail Box | --- Chiseled "X" Found | --- Donated Monument | --- Tree (Deciduous) | --- Record Bearing & Distance | --- Per File | --- FLOOD ZONE "AE" |
|-------------------|-----------------------------|---------|-----------|---------|---------|---------|----------|-----------|---------|---------|-------------|-----------------------------|---------------------|-------------|------------------|---------------|--------------------|---------------|----------------|-----------------|--------------------|---------------------|------------------|--------------------|---------------------|-----------------|--------------------|------------------|----------------------|--------------------------|----------------|----------------------------|-----------------|--------------------------|----------------|---------------------------|--------------|------------------------|----------------------|----------------------|-------------------------------|--------------|---------------------|

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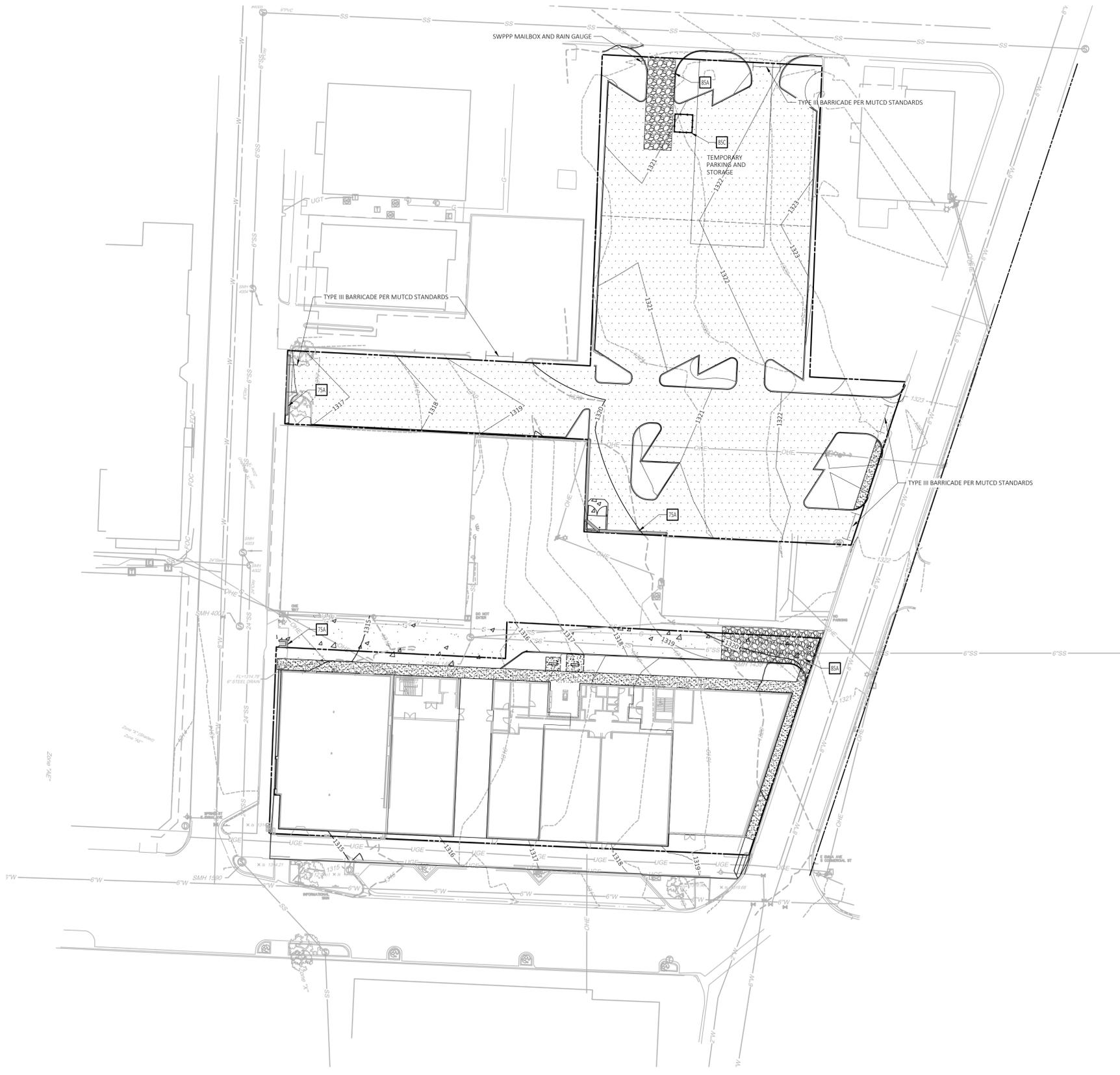
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|-------------------------------------|---------------------------|------------------------|-----------------|--------------|------------------|-----------------|----------------|--------------------|--------------------|-------------------------|--------------------|--------------------|
| --- PROPERTY LINE/RIGHT OF WAY LINE | --- LIMITS OF DISTURBANCE | --- CONTOUR ELEVATIONS | --- GRADE BREAK | --- FLOWLINE | --- STRAW WATTLE | --- STORM DRAIN | --- SILT FENCE | --- ROCK CHECK DAM | □ CONCRETE WASHOUT | □ CONSTRUCTION ENTRANCE | □ INLET PROTECTION | □ SWP-CI (BIG RED) |
|-------------------------------------|---------------------------|------------------------|-----------------|--------------|------------------|-----------------|----------------|--------------------|--------------------|-------------------------|--------------------|--------------------|

GENERAL EROSION NOTES

- A. SEE SHEET "EROSION CONTROL NOTES" FOR EROSION CONTROL NOTES AND DETAILS.

EROSION DETAILS

- 75A SWP-CI "BIG RED"
- 85A TEMPORARY STONE CONSTRUCTION ENTRANCE
- 85C TEMPORARY CONCRETE WASH-OUT.



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NO. DATE ISSUE

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EROSION CONTROL PLAN
 SHEET NAME

SHEET NUMBER

C-301

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GENERAL EROSION NOTES

- A. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- B. A COPY OF THE SWPPP AND EROSION CONTROL PLANS, INCLUDING APPLICABLE DETAIL SHEETS, MUST REMAIN ONSITE THROUGHOUT CONSTRUCTION AND MADE AVAILABLE TO THE PUBLIC UNTIL THE SITE IS TERMINATED AND/OR PERMANENTLY STABILIZED PER THE NPDES PERMIT.
- C. THE CONTRACTOR MUST UPDATE THE SWPPP AND EROSION CONTROL PLANS TO REFLECT THE PROGRESS OF CONSTRUCTION AND GENERAL CHANGES TO THE PROJECT SITE. CHANGES MAY INCLUDE BMP INSTALLATION, MODIFICATION, OR REMOVAL, CONSTRUCTION ACTIVITIES, CLEARING, GRUBBING, OR GRADING, AND TEMPORARY OR PERMANENT STABILIZATION.
- D. THE CONTRACTOR MUST ADHERE TO ANY HOURS OF WORK, NOISE LEVEL, OR OTHER CONSTRUCTION RELATED RESTRICTIONS IN ACCORDANCE WITH LOCAL OR STATE REGULATIONS.
- E. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ANY OFFSITE BORROW, SPOIL, OR STORAGE AREAS TO BE UTILIZED, BUT NOT PROVIDED WITHIN THE PROJECT'S LIMITS OF DISTURBANCE, ARE TO BE PROPERLY LICENSED AND PERMITTED.
- F. THE NPDES PERMIT DOES ALLOW CERTAIN NON-STORMWATER DISCHARGES AT THE CONSTRUCTION SITE. SEE NPDES PERMIT FOR A COMPLETE LIST OF PERMITTED DISCHARGES. THESE DISCHARGES MUST BE TREATED BY AN ONSITE BMP PRIOR TO LEAVING THE SITE AND MUST NOT CAUSE EROSION OR DAMAGE TO DOWNSTREAM PROPERTIES AND INFRASTRUCTURE. ALL OTHER DISCHARGES ARE STRICTLY PROHIBITED UNLESS AN APPLICABLE PERMIT HAS BEEN OBTAINED PRIOR TO THE DISCHARGE BY THE CONTRACTOR.
- G. THE TEMPORARY PARKING AND STORAGE AREA SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AREA, EQUIPMENT CLEANING AREA, EMPLOYEE BREAK AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER AND DEPICTED ON THE ONSITE EROSION CONTROL PLAN.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORM WATER THAT IS DISCHARGED FROM THE SITE.
- I. MAINTAIN ON THE SITE OR HAVE READILY AVAILABLE SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. ADEQUATE HOUSEKEEPING MEASURES SHALL BE IMPLEMENTED SO THAT LOOSE TRASH, MATERIALS, TOOLS, AND EQUIPMENT ARE COLLECTED AND PROPERLY STORED AT THE CONSTRUCTION SITE.
- K. DUST ON THE SITE SHALL BE CONTROLLED BY SPRAYING WATER ON DRY AREAS OF THE SITE. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- L. NO RUBBISH, TRASH, GARBAGE OR OTHER SUCH MATERIALS SHALL BE DISCHARGED INTO DRAINAGE DITCHES, DRAINAGE STRUCTURES, OR WATERS OF THE STATE.
- M. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL STOP FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY STABILIZED IMMEDIATELY.
- O. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY STABILIZED. THESE AREAS SHALL BE STABILIZED IMMEDIATELY, BUT NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE LANDSCAPING PLAN.
- P. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. THE EXACT LOCATIONS SHALL BE COORDINATED WITH THE OWNER'S CONSTRUCTION MANAGER.
- Q. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- R. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AFTER THE STABILIZATION OF THE SITE AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS.
- S. IF SOIL STOCKPIILING IS EMPLOYED ON THE SITE, SILT FENCES SHALL BE USED TO HELP CONTAIN THE SEDIMENT.
- T. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- U. SEDIMENT BASINS AND TRAPS ARE ATTRACTIVE TO CHILDREN AND CAN BE VERY DANGEROUS. IN ALL CASES, LOCAL AND/OR STATE ORDINANCES AND REGULATIONS REGARDING HEALTH AND SAFETY MUST BE ADHERED TO.
- V. ALL EXISTING AND PROPOSED STORM SEWER PIPES, DRAINAGE STRUCTURES, AND DRAINAGE DITCHES WITHIN THE PROJECT AREA SHALL BE CLEANED OF ANY TRASH AND ACCUMULATED SEDIMENT PRIOR TO FINAL STABILIZATION.
- W. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 80% COVER FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES HAS BEEN EMPLOYED.
- X. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, WATTLES, ETC.) TO HELP PREVENT EROSION AND STORM WATER POLLUTION.
- Y. ALL OFF-SITE CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR STORM DRAINS & UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
- Z. IN AN EMERGENCY SITUATION, THE CONTRACTOR IS RESPONSIBLE FOR MODIFYING OR ADDING BMPs NECESSARY TO STOP POLLUTANT OR SEDIMENT DISCHARGES FROM THE CONSTRUCTION SITE AND PROTECT THE WATER QUALITY OF THE RECEIVING WATERBODY.
- AA. IF AN EXCAVATION NEEDS TO BE DEWATERED DUE TO A RECENT RAINFALL EVENT, THE CONTRACTOR CAN DEWATER THE EXCAVATION VIA A PUMPED FILTER BAG. THE PUMPED FILTER BAG MUST DISCHARGE ONTO A STABILIZED SURFACE AND UPSTREAM OF AN EROSION CONTROL BMP LIKE A SEDIMENT BASIN/TRAP, SILT FENCE, OR OTHER PERIMETER BMP. IT IS STRICTLY PROHIBITED TO DISCHARGE THE PUMPED FILTER BAG INTO A STORM DRAIN OR OTHER CONVEYANCE STRUCTURE WITHOUT THE RUNOFF BEING TREATED VIA AN EROSION CONTROL BMP FIRST.

SEQUENCE OF CONSTRUCTION

NOTE: DOWNSLOPE PROTECTIVE MEASURES MUST ALWAYS BE IN PLACE BEFORE SOIL IS DISTURBED. CONSTRUCTION STEPS CAN BE IMPLEMENTED CONCURRENTLY ONLY IF ASSOCIATED DOWNSLOPE PROTECTIVE MEASURES HAVE BEEN INSTALLED FOR EACH ACTIVITY.

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
2. CONSTRUCT THE SILT FENCES ON THE SITE.
3. INSTALL INLET PROTECTION DEVICES ON EXISTING INLETS.
4. PREPARE TEMPORARY PARKING AND STORAGE AREA.
5. BEGIN GRADING THE SITE.
6. AS GRADING PROGRESSES, INSTALL WATTLES AT ALL NEWLY CONSTRUCTED ENTRANCES.
7. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
8. TEMPORARILY SEED DENUDED AREAS.
9. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
10. INSTALL INLET PROTECTION DEVICES.
11. PREPARE SITE FOR PAVING.
12. PAVE SITE.
13. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
14. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

GENERAL EROSION NOTES CONT'D

MAINTENANCE
ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON AT LEAST ONCE EVERY 7 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT GREATER THAN 0.5"-INCHES, AND SHOULD BE CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR SHALL BE REPLACED IF THEY SHOW SIGNS OF DETRIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RESEDED AS NEEDED.
3. SILT FENCES AND WATTLES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES AND WATTLES WHEN IT REACHES ONE-THIRD TO ONE-HALF THE HEIGHT OF THE BMP.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS OR ROCK CHECK DAMS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.
7. CONCRETE WASHOUT AREAS SHALL BE CHECKED REGULARLY FOR LEAKS AND CAPACITY. ALL LEAKS MUST BE REPAIRED IMMEDIATELY. WHEN THE WASHOUT VOLUME HAS BEEN REDUCED BY 85%, THE BMP MUST BE REMOVED AND REPLACED.

DUST CONTROL:
CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION EXIT. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. LARGE AREAS OF SOIL THAT ARE DENUDED OF VEGETATION AND HAVE NO PROTECTION FROM PARTICLES BEING PICKED UP AND CARRIED BY WIND SHOULD BE PROTECTED WITH TEMPORARY COVER OR KEPT UNDER CONTROL WITH WATER OR OTHER SOIL ADHERING PRODUCTS TO LIMIT WIND TRANSPORTED PARTICLES EXITING THE SITE PERIMETER. WATER TRUCKS OR OTHER DUST CONTROL AGENTS WILL BE USED AS NEEDED DURING CONSTRUCTION TO MINIMIZE DUST GENERATED ON THE SITE. TACKIFIERS MAY BE USED TO HOLD SOIL IN PLACE AND PREVENT DUST. MANUFACTURER RECOMMENDATIONS FOR APPLICATION LOCATIONS AND RATES MUST BE USED FOR DUST CONTROL APPLICATIONS. DUST CONTROL MUST BE PROVIDED BY THE GENERAL CONTRACTOR TO A DEGREE THAT IS IN COMPLIANCE WITH APPLICABLE LOCAL AND STATE DUST CONTROL REGULATIONS.

CITY OF SPRINGDALE NOTES:
STOCKPIILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS, PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT. THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:

1. DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
2. THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
3. NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
4. NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
5. ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.

SWP-CI "Big Red"

Curb Inlet Protector

By ASP Enterprises and Storm Water Products
Temporary and Reusable Solutions for Sediment Control



- Reusable Curb Inlet Protection
- Environmentally Friendly
- Drops out sediment by dissipating the water energy



"Big Red" Filter Advantages:

- Easy to Install
- Versatile for a variety of curb inlets
- Reusable and Extremely easy to clean
- Made from 90% Inert Recycled Materials

The SWP-CI "Big Red" Filter is a REUSABLE inlet protector that keeps out sediment throughout the entire construction project. There are no pockets to fill, no velcro bags, no assembly etc. Simply place in front of the inlet, make sure it lays in the contour, and you are DONE!

Simple installation also translates into simple removal, cleanup and re-use at the next project or phase. Maintenance is simple as well by lifting the unit from the inlet, shaking the mud off of it, removing the sediment on the concrete, and placing the unit back. If it is severely filled with sediment, wash it out in a vegetated area and it is as good as new.

All of these features and benefits combine to make the SWP-CI "Big Red" curb inlet protector the **perfect choice** for all curb inlet applications. It comes in 54" long for single curb inlets and 104" lengths for double curb inlets.

- High Flow Rate
- Made of Durable High-Strength Geotextile
- Fully Reusable
- Made of Recycled Materials

SWP-CI "Big Red"

Curb Inlet Protector

By ASP Enterprises and Storm Water Products



- Specifications:**
1. Infill Material: shredded recycled rubber tires
 2. Weight: approx. 10 lbs per linear foot
 3. Diameter: approx. 8"

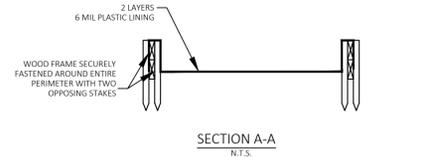
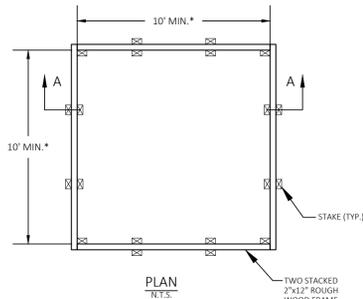
Geotextile fabric made of durable high flow fabric with the following properties:

Property	Test Method	Units	Typical Value
Weight	ASTM D5261	oz/sq. yd	9.3
Grab Tensile Strength	ASTM D4632	lb	warp fill 250 290
Tear Strength (Trapezoid)	ASTM D4533	lb	warp fill 60 50
Burst	ASTM D3786	psi	440

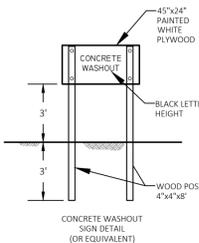
(Efforts were made to determine flow rate-the fabric exceeded all capacities of the testing equipment)



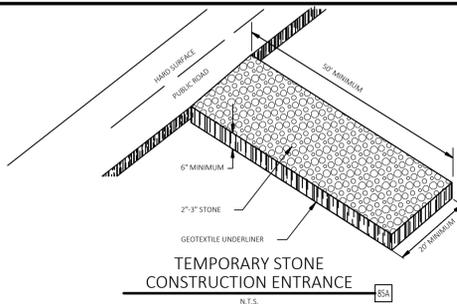
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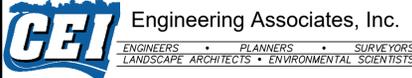
- NOTES:
1. DIMENOTES THE INTERIOR DIMENSION.
 2. CONCRETE WASHOUT SHALL BE AT LEAST 50 FT. FROM ANY STORM SEWER INLET.
 3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



TEMPORARY CONCRETE WASHOUT (ABOVE GRADE)



31285	L20-05	NLB	NLB	DKH	ALH
CEI PROJECT NO.	CITY PROJECT NO.	DPOR	PM	DES	DRW



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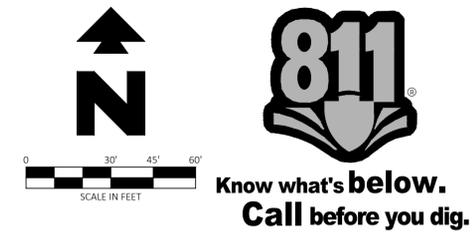
EROSION CONTROL NOTES

SHEET NAME

SHEET NUMBER

C-302

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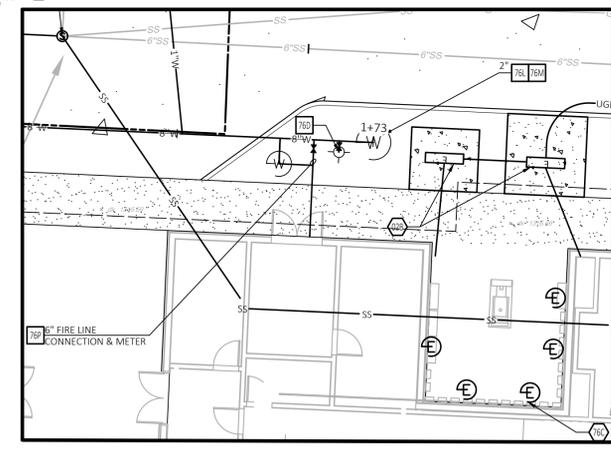
EXISTING LEGEND	
---	Boundary Line
---	Adjoining Boundary Line
---	UGE
---	UGE&T
---	X"G
---	FDC
---	OHE
---	X"SS
---	(SIZE)
---	UGT
---	X"W
+	Benchmark
+	Found Monument (As Noted)
+	Set Nail W/Washer
+	Gas Meter
+	Electric Meter
+	Water Meter
+	Drainage Manhole
+	Grate Inlet
+	Fire Hydrant
+	Sewer Manhole
+	Sewer Cleanout
+	Guy Wire/Anchor
+	Utility Pole
+	Electric Riser
+	Telephone Riser
+	Water Valve
+	Traffic Sign
+	Found Mag Nail
+	Cotton Spindle Found
+	Roof Drain
+	Irrigation Control Box
+	Water Vault
+	Air Conditioner Unit
+	Light Pole
+	Light on Utility Pole
+	Mail Box
+	Chiseled "X" Found
+	Donated Monument
+	Tree (Deciduous)
+	Record Bearing & Distance Per File

PROPOSED LEGEND	
---	PROPERTY LINE/RIGHT OF WAY LINE
---	STORM DRAIN
---	X"G
---	UGE
---	UGT
---	OHE
---	OHT
---	X"SS
---	X"W
•	FDC
+	BACKFLOW PREVENTER
+	WATER METER
+	WATER LINE ENCASEMENT
+	GAS METER
+	GREASE TRAP
+	ELECTRIC TRANSFORMER AND CONCRETE PAD

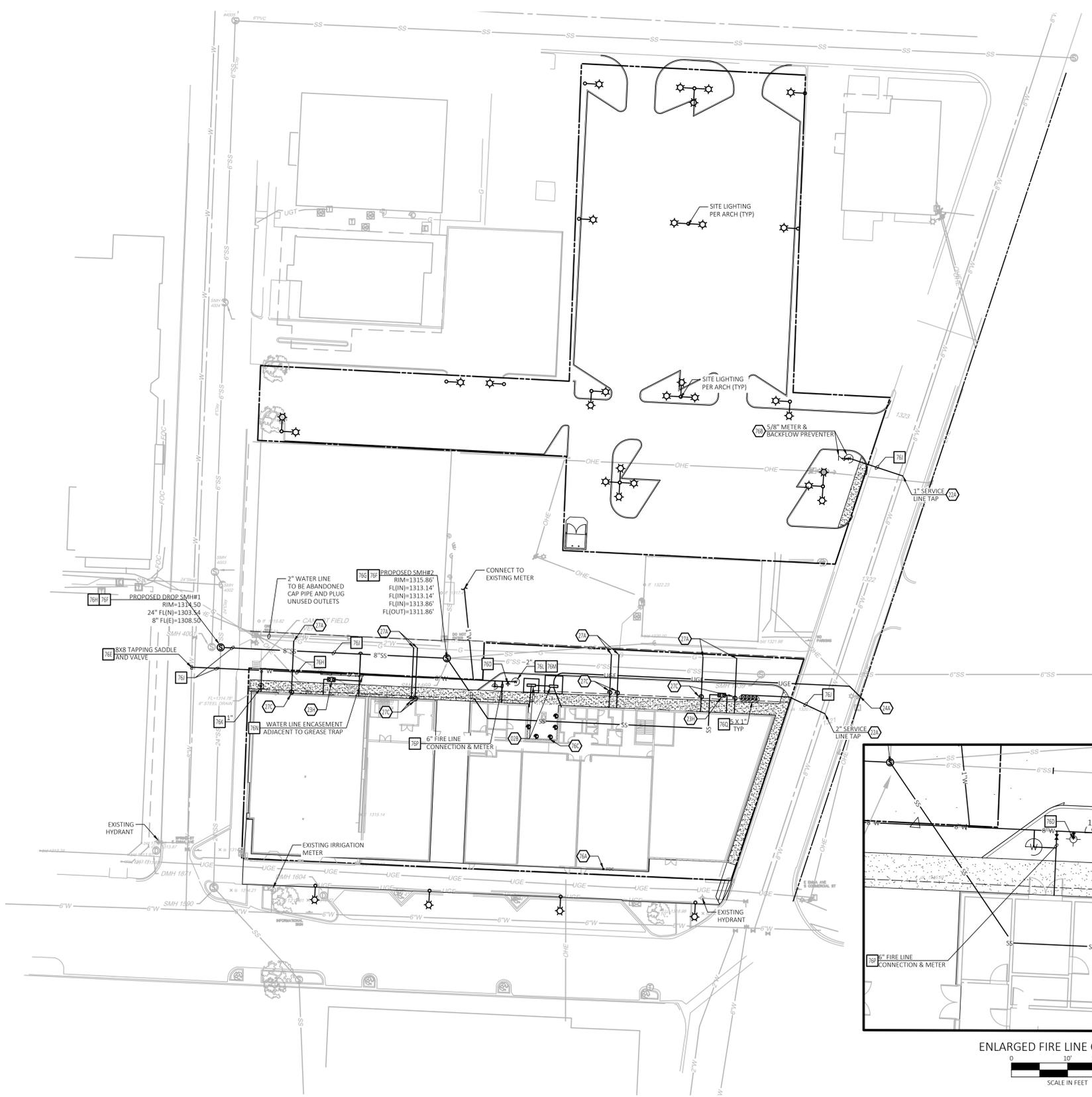
- GENERAL UTILITY NOTES**
- ALL WATER MAIN LINES SHALL BE DUCTILE IRON SPECIAL CLASS 50 PIPE WITH 36" MIN. COVER.
 - ALL SANITARY SEWER LINES SHALL BE PVC SDR-26 WITH 36" MIN. COVER.
 - CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
 - ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
 - PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL SWU DETAILS S-3 & S-4. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER SWU DETAIL S-17. ALL SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER SWU DETAILS S-18 & S-19.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER METER BOX SETTINGS SHALL BE INSTALLED PER SWU DETAILS S-22 & S-23.

- UTILITY NOTES**
- TRANSFORMER PAD (PER SWECO DETAILS).
 - POINT OF CONNECTION - WATER SERVICE (PER SWU STANDARDS).
 - GREASE TRAP WITH CLEAN-OUT (PER ARCH. PLANS).
 - PROPOSED POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER SWECO REQUIREMENTS).
 - PROPOSED ELECTRIC TRANSFORMER.
 - POINT OF CONNECTION FOR GAS SERVICE (PER BLACK HILLS ENERGY REQUIREMENTS).
 - PROPOSED GAS METER.
 - PROPOSED WALL MOUNT FDC LOCATION (PER SWU STANDARDS).
 - PROPOSED BACKFLOW PREVENTER (PER SWU STANDARDS).
 - PROPOSED ELECTRIC METERS (PER MEP PLANS AND SWECO DETAILS).

- UTILITY DETAILS**
- SWU DETAIL S-1: FIRE HYDRANT AND GATE VALVE
 - SWU DETAIL S-5: TAPPING SADDLE AND VALVE
 - SWU DETAIL S-7: MANHOLE FRAME AND COVER
 - SWU DETAIL S-11: MANHOLE BOTTOM
 - SWU DETAIL S-12: DROP MANHOLE
 - SWU DETAIL S-21: PAVEMENT REMOVAL AND REPLACEMENT
 - SWU DETAIL S-24: 1 INCH METER SETTING
 - SWU DETAIL S-26: 2 INCH METER SETTING
 - SWU DETAIL S-27: 2 INCH METER LID ASSEMBLY
 - SWU DETAIL S-31: ENCASEMENT DETAILS
 - SWU DETAIL S-36: FIRE SYSTEM CONNECTION
 - SWU DETAIL M-8: METER ARRAY ARRANGEMENT #1



ENLARGED FIRE LINE CONNECTION
 SCALE IN FEET



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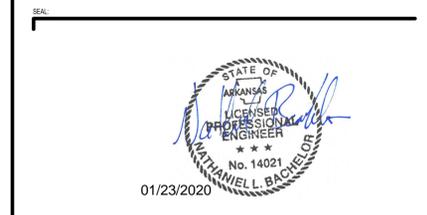
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ASSOCIATE ARCHITECT
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 479.444.0473



NO. _____ DATE _____ ISSUE _____

1862.00
 RBA PROJECT NUMBER

UTILITY PLAN
 SHEET NAME

SHEET NUMBER

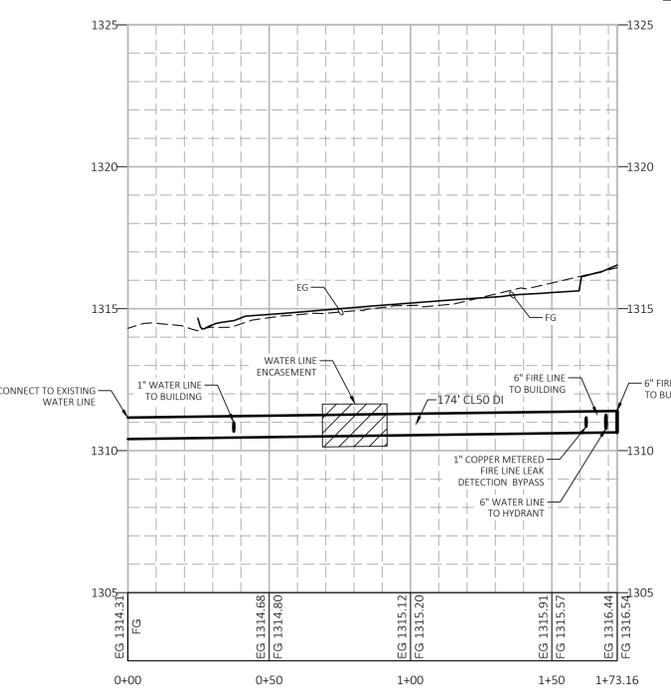
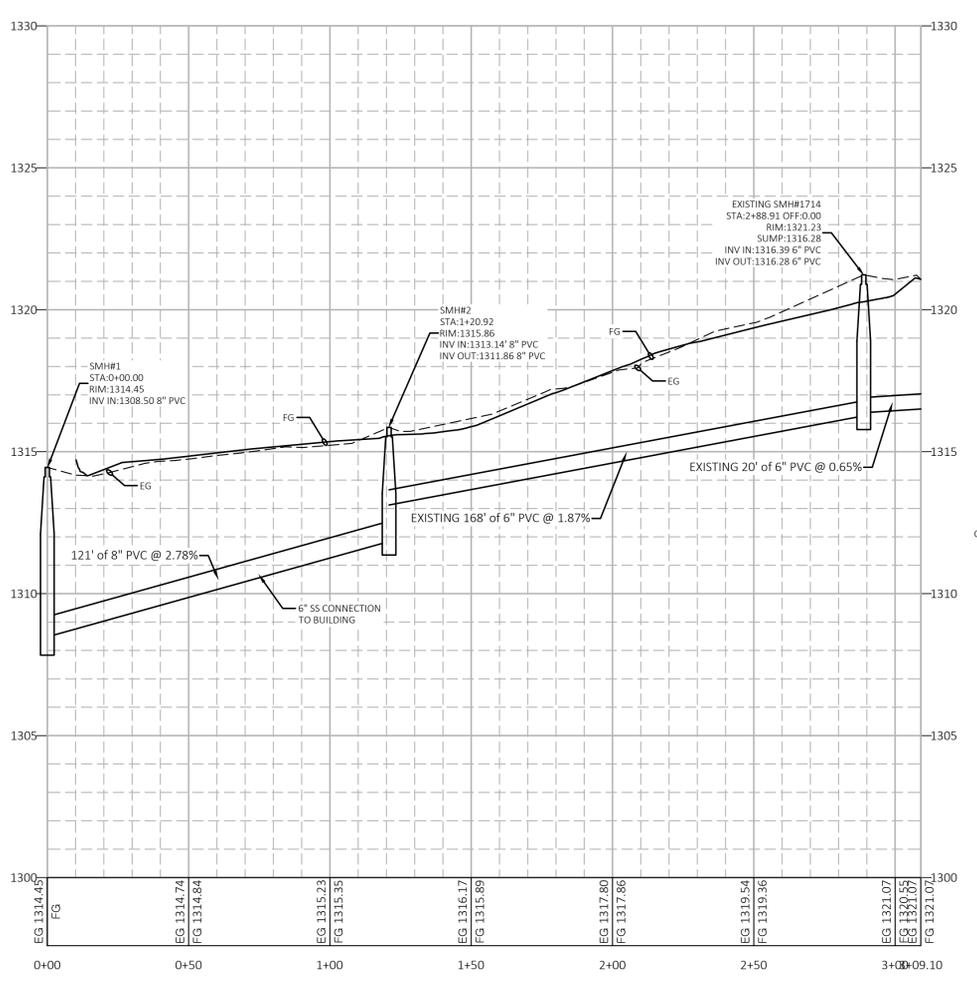
C-500



**Know what's below.
 Call before you dig.**

SITE BENCHMARK
 BENCHMARK #1: A MAG NAIL IN THE EAST R.O.W. OF SPRING ST. AT THE INTERSECTION OF SPRING ST. AND E EMMA AVE. BEING APPROXIMATELY 26' SOUTHWEST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING 7' WEST OF A SEWER MANHOLE. ELEVATION: 1313.83'
 BENCHMARK #2: A MAG NAIL IN THE WEST R.O.W. OF SPRING ST. BEING APPROXIMATELY 44' WEST OF FOUND MAG NAIL AT THE NORTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING APPROXIMATELY 25' WEST FROM A SEWER MANHOLE IN THE R.O.W. OF SPRING ST. ELEVATION: 1314.35'

NOTE: SEE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF PORCHES, RAMPS, VESTIBULE, SLOPED PAVING, TRUCK DOCKS, BUILDING UTILITY ENTRANCE LOCATIONS AND PRECISE BUILDING DIMENSIONS.

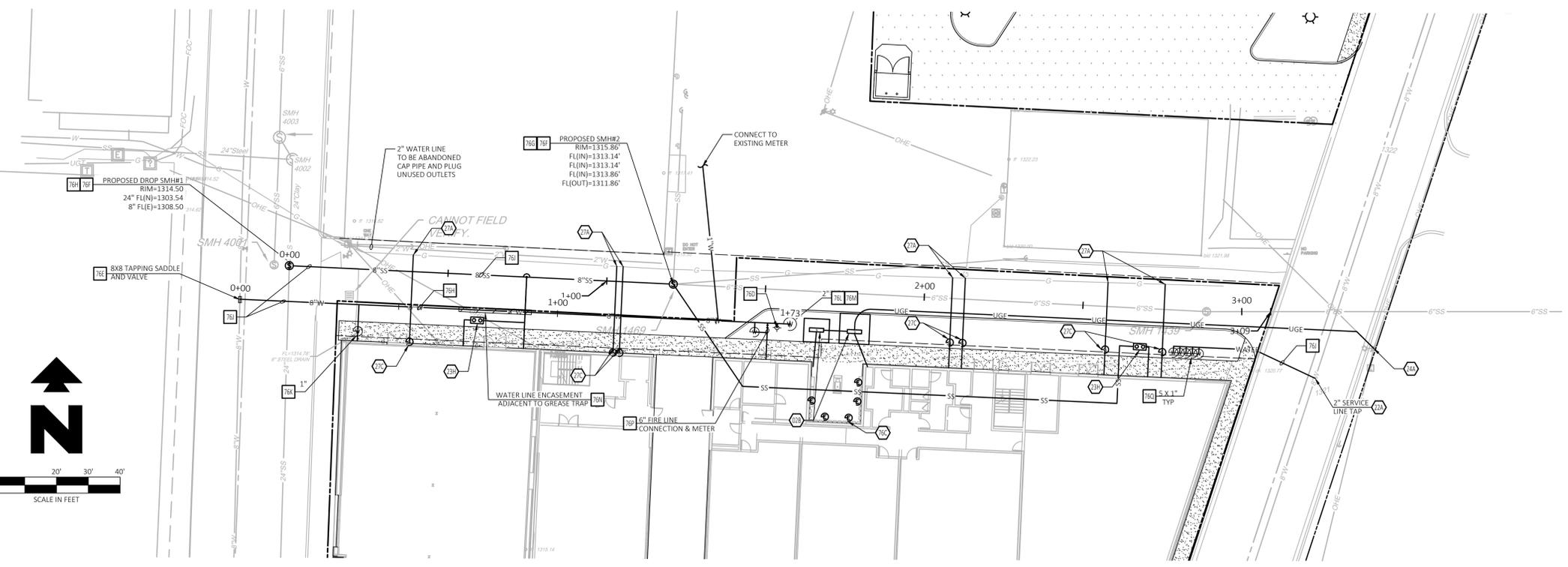


EXISTING LEGEND

- | | |
|-------------------------------|-------------------------------|
| --- Boundary Line | --- Sewer Cleanout |
| - - - Adjoining Boundary Line | - - - Guy Wire/Anchor |
| --- UGE | --- Utility Pole |
| --- UGE&T | --- Electric Riser |
| --- X"G | --- Telephone Riser |
| --- FOC | --- Water Valve |
| --- OHE | --- Traffic Sign |
| --- X"SS | --- Found Mag Nail |
| --- (Size) | --- Cotton Spindle Found |
| --- UGT | --- Roof Drain |
| --- X"W | --- Irrigation Control Box |
| --- Benchmark | --- Water Vault |
| --- Found Monument (As Noted) | --- Air Conditioner Unit |
| --- Set Nail W/Washer | --- Light Pole |
| --- Gas Meter | --- Mail Box |
| --- Electric Meter | --- Chiseled "X" Found |
| --- Water Meter | --- Donated Monument |
| --- Drainage Manhole | --- Tree (Deciduous) |
| --- Grate Inlet | --- Record Bearing & Distance |
| --- Fire Hydrant | --- Per File |
| --- Sewer Manhole | |

PROPOSED LEGEND

- | | |
|---------------------------------------|---------------------------------------|
| --- PROPERTY LINE/RIGHT OF WAY LINE | N BACKFLOW PREVENTER |
| --- STORM DRAIN | WATER METER |
| --- X"G GAS SERVICE | WATER LINE ENCASEMENT |
| --- UGE UNDERGROUND ELECTRIC SERVICE | GAS METER |
| --- UGT UNDERGROUND TELEPHONE SERVICE | GREASE TRAP |
| --- OHE OVERHEAD ELECTRIC SERVICE | ELECTRIC TRANSFORMER AND CONCRETE PAD |
| --- OHT OVERHEAD TELEPHONE SERVICE | |
| --- X"SS SANITARY SEWER SERVICE | |
| --- X"W WATER SERVICE | |
| • FDC FIRE DEPARTMENT CONNECTION | |



**SPRINGDALE MIXED-USE
 SPRINGDALE DOWNTOWN, LLC**
 200 E. EMMA AVENUE
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 www.r-barc.com

NO. DATE ISSUE
 1862.00
 RBA PROJECT NUMBER
UTILITY ENLARGEMENT & PROFILE
 SHEET NAME
 SHEET NUMBER

C-501

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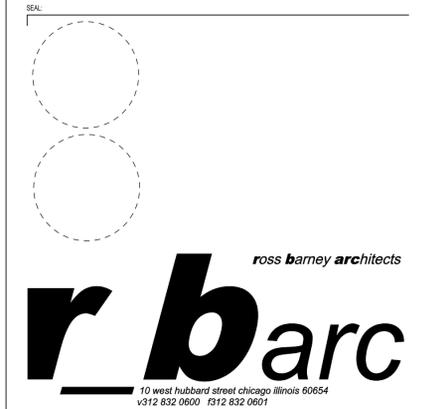
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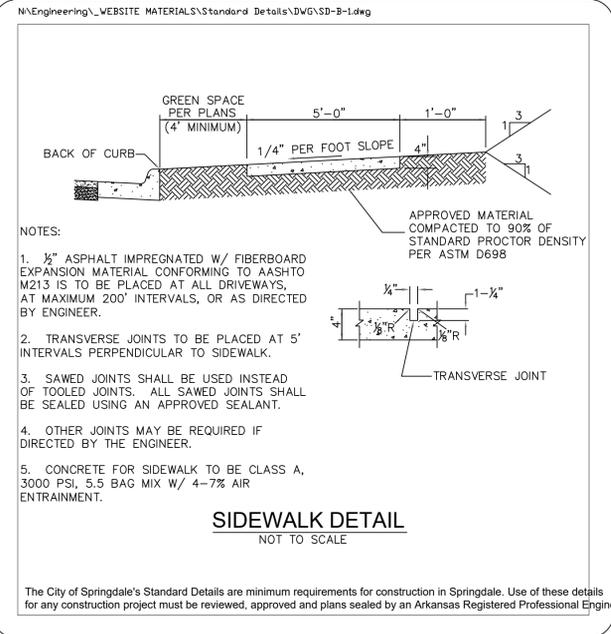


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DETAIL SHEET 2
 SHEET NAME

SHEET NUMBER

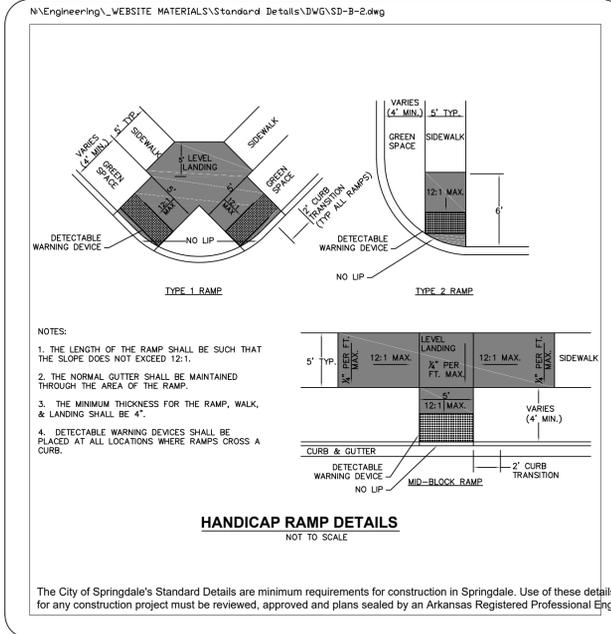


STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION
 DATE: OCTOBER 2018
 DESIGNED BY: STAFF
 DRAWN BY: STAFF

SECTION B
 TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS

FILE NO. SD-B-1

SPRINGDALE
 WE'RE MAKING IT HAPPEN

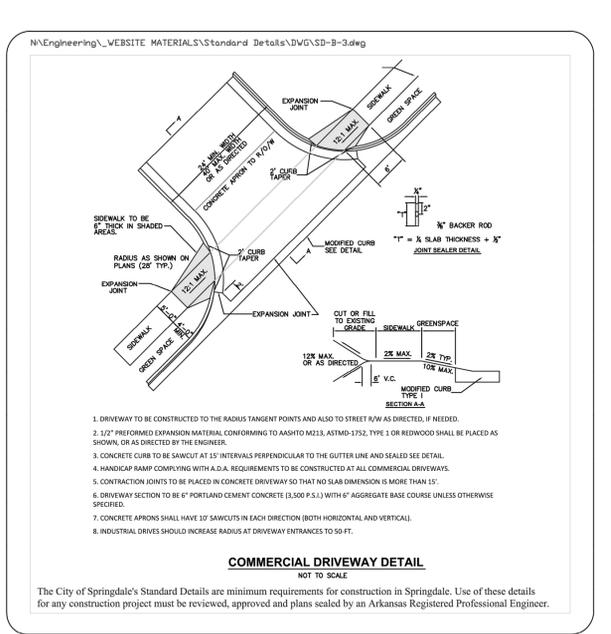


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SECTION B
 TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS

FILE NO. SD-B-2

SPRINGDALE
 WE'RE MAKING IT HAPPEN

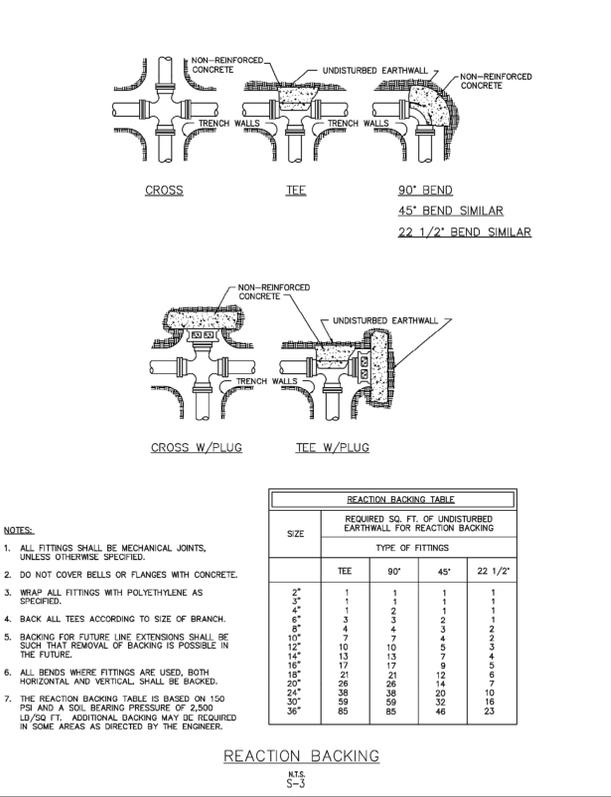


STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION
 DATE: OCTOBER 2018
 DESIGNED BY: STAFF
 DRAWN BY: STAFF

SECTION B
 TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS

FILE NO. SD-B-3

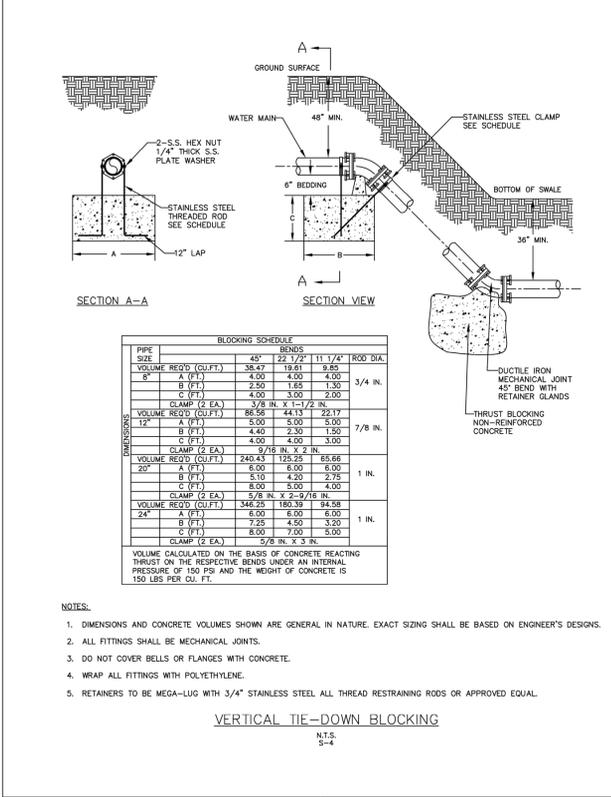
SPRINGDALE
 WE'RE MAKING IT HAPPEN



SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

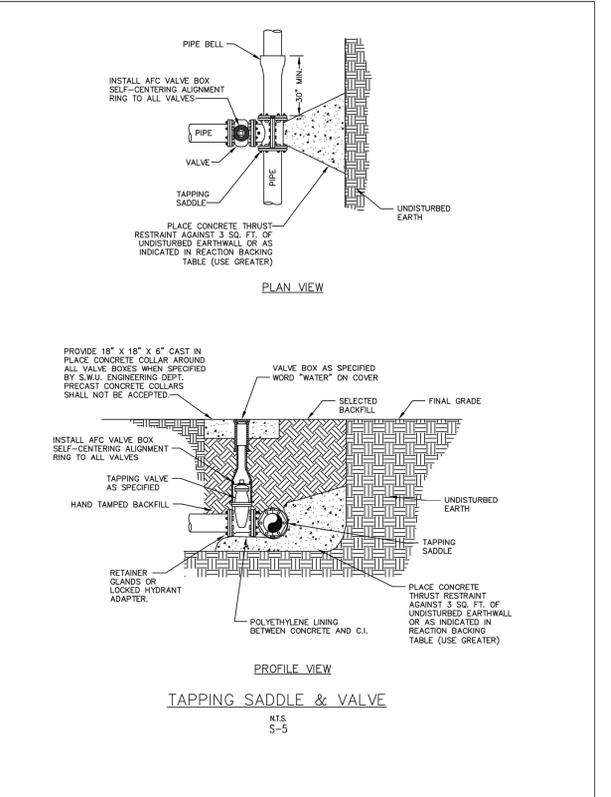
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SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: JSB DRAWING NO: S-4 DATE: DECEMBER 2016



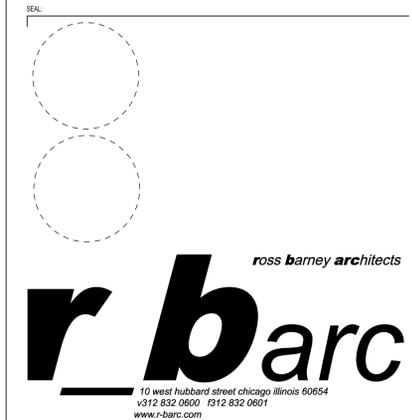
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1882.00
 N/A PROJECT NUMBER

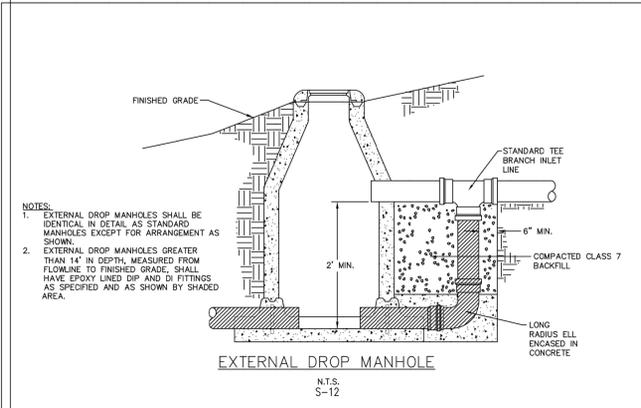
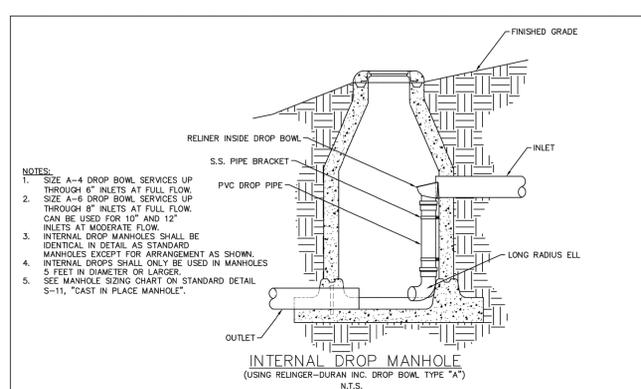
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 SHEET NAME

SHEET NUMBER

1882.00
 N/A PROJECT NUMBER

DETAIL SHEET 3
 SHEET NAME

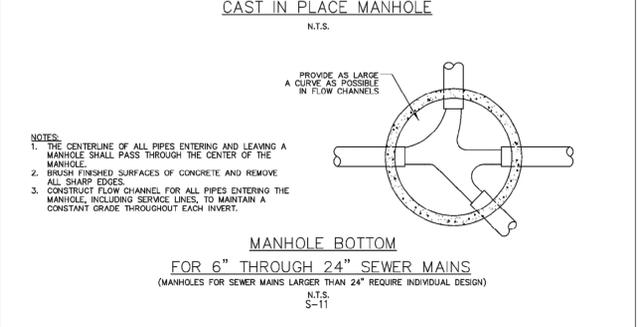
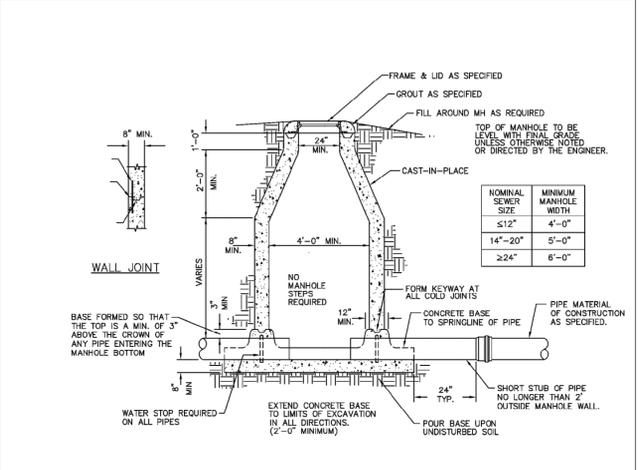
SHEET NUMBER



SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

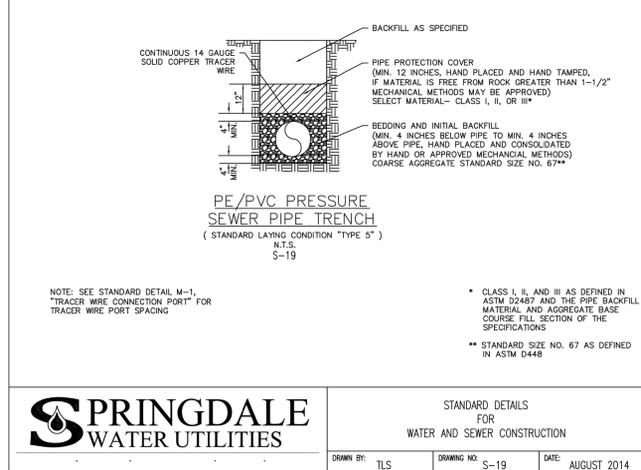
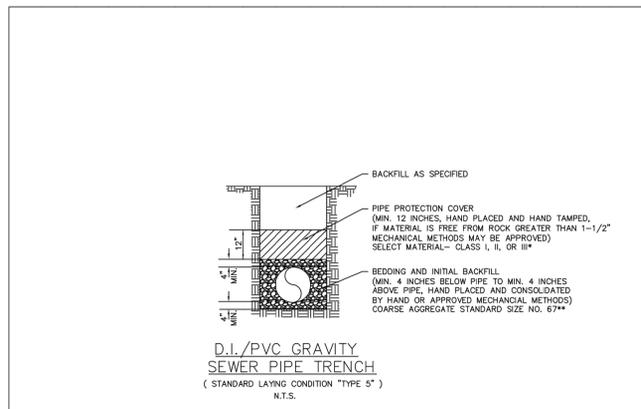
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SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

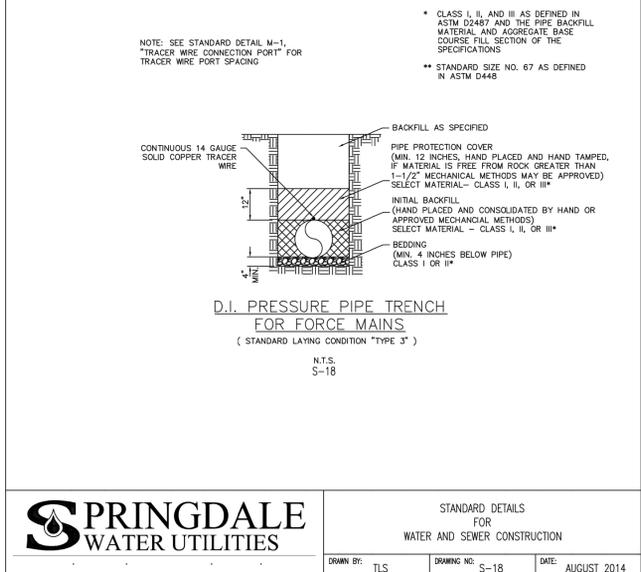
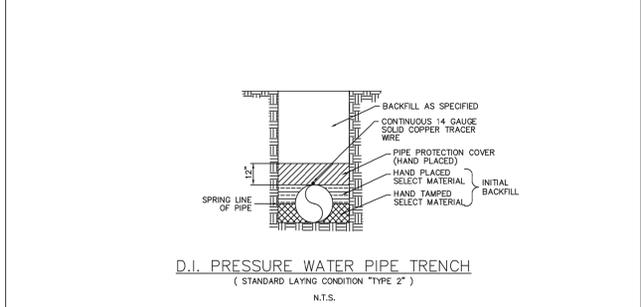
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SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

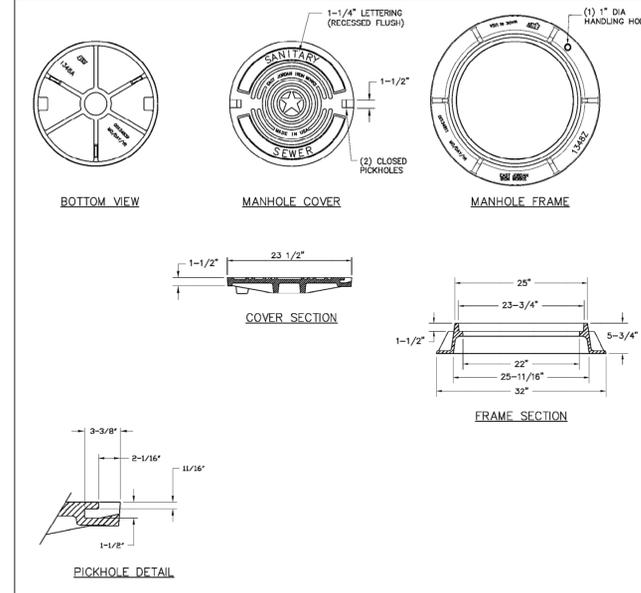
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SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: TLS DRAWING NO: S-18 DATE: AUGUST 2014



MANHOLE FRAME & COVER
 (WITHIN AND OUTSIDE OF STREETS AND OTHER DRIVING SURFACES)
 N.T.S.
 S-7
 VULCAN FOUNDRY V-1348-1

NOTE:
 MINIMUM WEIGHTS:
 COVER: 120 LBS
 FRAME: 140 LBS
 MINIMUM COMBINED WEIGHT: 260 LBS
 (SEE SPECS FOR ADDITIONAL REQUIREMENTS)

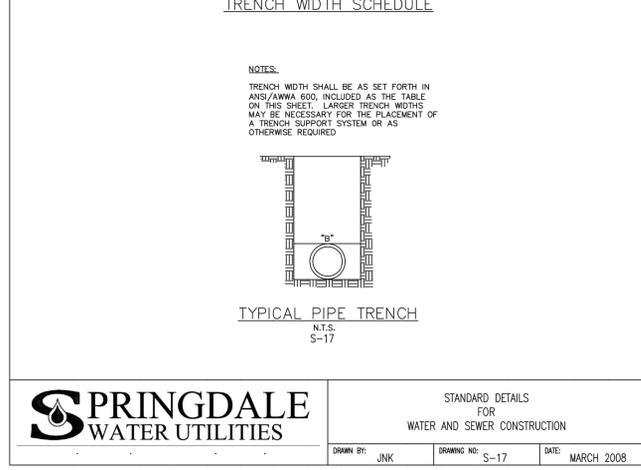
SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: JNK DRAWING NO: S-7 DATE: MARCH 2008

TRENCH WIDTH SCHEDULE

NOMINAL PIPE DIAMETER	"B"
3" AND 4"	2'-4"
6"	2'-6"
8"	2'-8"
10"	2'-10"
12"	3'-0"
14"	3'-2"
16"	3'-4"
18"	3'-6"
20"	3'-8"
24"	4'-0"
27"	4'-4"
30"	4'-6"
36"	5'-0"
42"	5'-6"
48"	6'-0"



SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: JNK DRAWING NO: S-17 DATE: MARCH 2008

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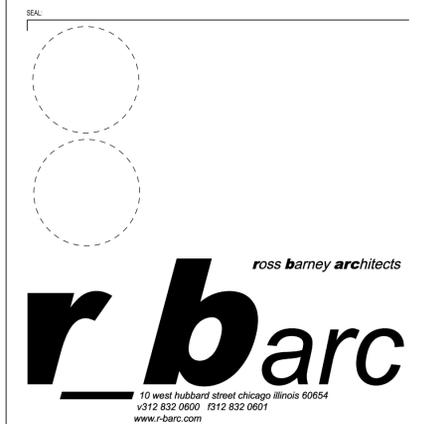
**SPRINGDALE MIXED-USE
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NO DATE ISSUE

1862.00
 RBA PROJECT NUMBER

DETAIL SHEET 4
 SHEET NAME

SHEET NUMBER

61 **C-630**

MATERIAL LIST

QTY	DESCRIPTION	FORD	CATALOG NUMBER	MUELLER	AY-McDONALD
1	INLET CONNECTION	L84-44-NL		P-15531N	74779M-22
1	YOKE ANGLE KEY VALVE	AV91-444-NL		H-14278N	74604Y 1X04
1	YOKE BAR	Y504		H-5040	14-4
1	YOKE ANGLE CHECK VALVE	HA91-444-NL		H-14248N	702-AYE 44
1	OUTLET CONNECTION	L88-44-NL SPECIAL		H-15530N	710UPP 44X90X8
1	METER BOX ASSEMBLY	34P-18X24X24D W/LID			

TYPICAL 1" METER SETTING
 YOKE ASSEMBLY, 1" METER
 1" COPPER OR PE P.C. TO 1" CTS PLASTIC OR MP
 N.T.S.
 S-24

NOTES:
 ALL MATERIALS INSTALLED IN POTABLE WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.
 *METER AND EXPANSION CONNECTION EC-4-NL ARE PROVIDED BY THE DEPARTMENT.

SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: TLS DRAWING NO: S-24 DATE: AUGUST 2014

METER BOX RING
 MATERIAL: CAST IRON

OFFSET PLUG W/PIN
 MATERIAL: ASTM A48 CL253
 NO. 32196998

MXU ANTENNAE
 MATERIAL: BLACK PLASTIC
 NO. MS20R-CI-TC-X-T

AUTOMATED LOCKING COVER
 MATERIAL: CAST IRON
 NO. 32197005

METER BOX
 MATERIAL: WHITE PLASTIC
 BOX WITH RING
 EAST JORDAN IRON WORKS
 34P24 A-TYPE
 (18X24X24D)
 OR APPROVED EQUAL

STANDARD METER BOX
 N.T.S.
 S-22

SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: TLS DRAWING NO: S-22 DATE: AUGUST 2014

STANDARD METER BOX INSTALLATION
 SPLIT 5/8" X 3/4" METER SETTER (SHOWN)
 SINGLE 5/8" X 3/4" AND 1" METER SETTERS (SIMILAR)
 N.T.S.

NOTES:
 1.) 2" CONDUITS TO BE INSTALLED ON ALL STREET CROSSINGS AND SHALL EXTEND FROM BACK OF SIDEWALK TO BACK OF SIDEWALK.
 2.) ALL SERVICE TUBING SHALL HAVE 30" MIN. COVER EXCEPT FOR TRANSITION TO METER BOX AS SHOWN ABOVE.
 3.) SEE "TECHNICAL SPECIFICATIONS" FOR MATERIAL AND INSTALLATION SPECIFICATIONS

SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: TLS DRAWING NO: S-23 DATE: OCTOBER 2014

TYPICAL 2-INCH METER SETTING
 N.T.S.
 S-26

NOTES: ALL MATERIALS INSTALLED IN POTABLE WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.

SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: KMI DRAWING NO: S-26 DATE: OCTOBER 2014

2" METER LID ASSEMBLY
 N.T.S.
 S-27

SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: TLS DRAWING NO: S-27 DATE: MARCH 2008

FIRE HYDRANT & GATE VALVE
 N.T.S.
 S-1

NOTE:
 ALL HYDRANTS TO BE SET PLUMB W/PUMPER NOZZLE FACING STREET OR AS DIRECTED BY S.W.U. ENGINEER.

SPRINGDALE WATER UTILITIES

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: KMI DRAWING NO: S-1 DATE: MARCH 2008

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**SPRINGDALE MIXED-USE
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CITY PROJECT NO. L20-05

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SEAL:



NO.	DATE	ISSUE
1	12.30.2019	Large Scale Development Review
2	01.23.2020	Large Scale Development Review Second Submittal

1862.00

RBA PROJECT NUMBER

LANDSCAPE PLAN

SHEET NAME

SHEET NUMBER

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- PROPOSED TREE
- EXISTING TREE TO REMAIN (SEE SURVEY FOR INFO.)
- ⊛ EXTERIOR LIGHT:
EXISTING STREET LIGHTS ALONG EMMA STREET TO REMAIN
NEW PARKING LOT TO HAVE NEW POLE LIGHTS
- ▨ PERENNIAL FORBS / GRASSES
- ▨ EXISTING EMMA STREET SIDEWALK BRICK PAVERS TO BE REMOVED, SALVAGED, AND DELIVERED TO THE CITY.
INSTALL NEW PAVERS FOR REPLACEMENT (COLOR, PATTERN, AND FINISH TO MATCH EXISTING).
- ▨ NEW PAVERS (COLOR & FINISH TBD)
- ▨ LANDSCAPE ROCK (COLOR & SIZE TBD)
- ▨ SIDEWALK CONCRETE PAVING
(SEE CIVIL ENGINEERING DRAWINGS)
- ▨ VEHICULAR CONCRETE PAVING
(SEE CIVIL ENGINEERING DRAWINGS)
- ▨ ASPHALT PAVING
(SEE CIVIL ENGINEERING DRAWINGS)

PLANT MATERIALS SCHEDULE

TREES

KEY	COMMON / BOTANICAL NAME	QTY	ROOT	SIZE	REMARK
UA	NEW HARBONY ELM <i>Ulmus americana 'New Harmony'</i>	14	B&B	4" CAL.	MATCHED SPECIMEN

PERENNIAL FORBS & GRASSES

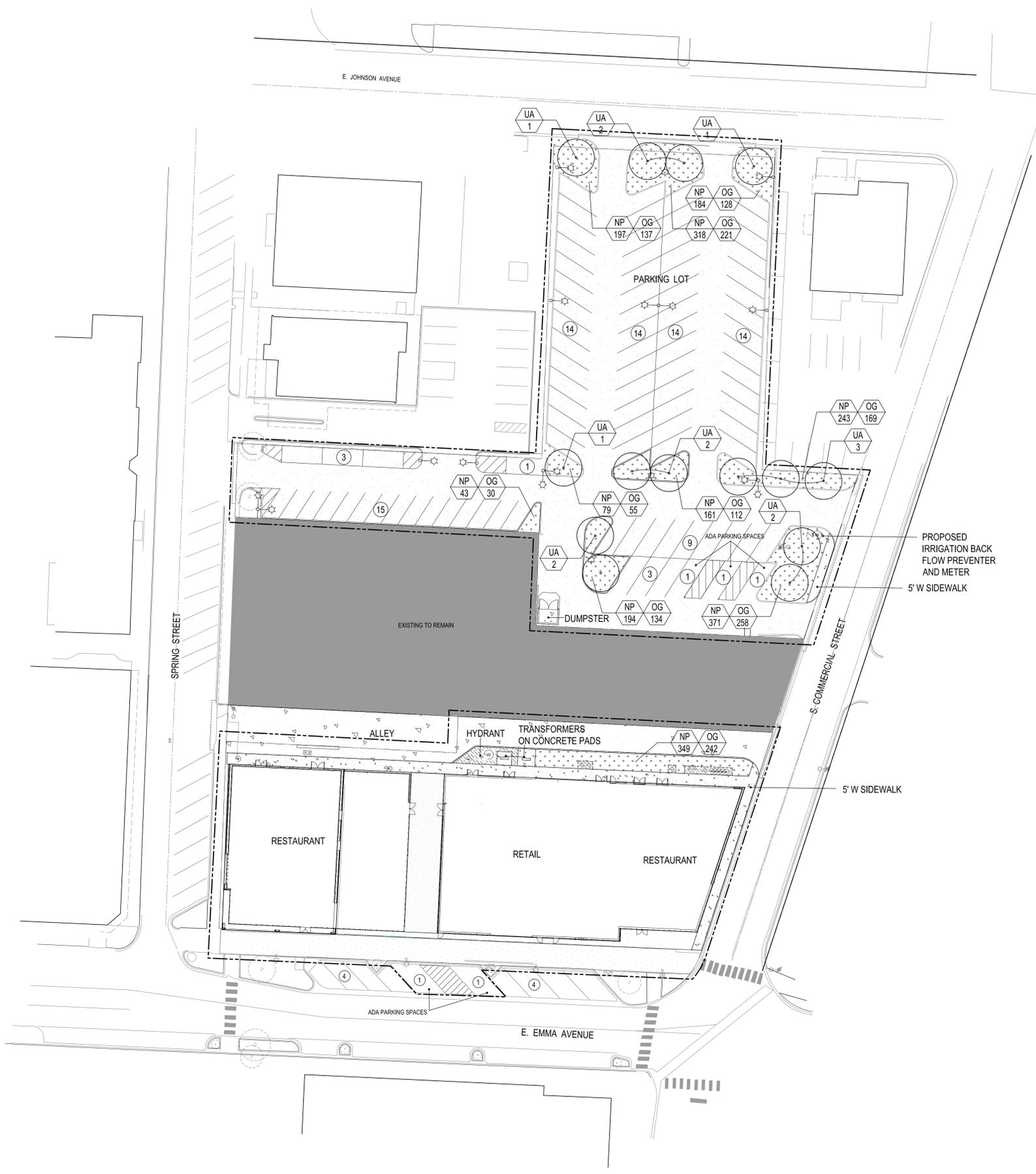
KEY	COMMON / BOTANICAL NAME	QTY	ROOT	SIZE	REMARK
NP	NATIVE FORBS & GRASSES	2,139	#1	15" O.C.	SEE NOTE 6
OG	ORNAMENTAL GRASSES	1,486	#3	18" O.C.	SEE NOTE 7

RATIO OF LANDSCAPE AREAS TO PARKING LOT

PARKING LOT:	41,073 SF
PARKING LOT LANDSCAPE AREAS REQUIRED:	3,286 SF (8% OF PARKING LOT)
PARKING LOT LANDSCAPE AREAS PROVIDED:	5,194 SF (13 % OF PARKING LOT)

NOTES

- SEE SURVEY DRAWING FOR EXISTING CONDITIONS.
- SEE CIVIL ENGINEERING DRAWINGS FOR INFO. ON SITE LAYOUT, DIMENSIONS, AND UTILITY.
- SEE ELECTRICAL DRAWINGS FOR INFO. ON THE NEW POLE LIGHTS.
- SEE ARCHITECTURAL DRAWINGS FOR INFO. ON THE NEW BUILDING.
- CONTRACTOR IS TO DESIGN AND INSTALL FULLY AUTOMATIC IRRIGATION SYSTEM FOR ALL NEW PLANTING BEDS. PROVIDE SLEEVES UNDER DRIVE SURFACE, SIDEWALKS, AND OTHER HARDSCAPE AREAS. IN ADDITION TO THE FULLY AUTOMATIC SYSTEM, PROVIDE A QUICK COUPLER IN EACH PARKING ISLAND.
- "NP" IS TO MIX THE FOLLOWING NINE(9) PLANTS: SIDE OATS GRAMA (*Bouteloua curtipendula*), BLACK-EYE-SUSAN (*Rudbeckia hirta*), BUTTERFLY WEED (*Asclepias tuberosa*), PRAIRIE COREOPSIS (*Coreopsis palmata*), PURPLE CONEFLOWER (*Echinacea purpurea*), PALE BEARD TONGUE (*Penstemon pallidus*), HEART-LEAVED MEADOW PARSNIP (*Zizia aurea*), SILKY ASTER (*Symphoricarpos sericeum*), ROUGH BLAZING STAR (*Liatris aspera*). QTY SHOWN FOR EACH AREA INDICATES THE TOTAL NUMBER OF PLANTS COMBINED.
- "OG" IS TO MIX THE FOLLOWING TWO (2) PLANTS: KARL FOERSTER FEATHER REED GRASS (*Calamagrostis x acutiflora 'Karl Foerster'*), DWARF MAIDEN GRASS (*Miscanthus sinensis 'Little Kitten'*). QTY SHOWN FOR EACH AREA INDICATES THE TOTAL NUMBER OF PLANTS COMBINED.
- CONTRACTOR IS TO WARRANT ALL PLANT MATERIALS FOR A PERIOD OF 24 MONTHS FROM THE TIME OF INSTALLATION. IF ANY OF THE MATERIAL SHOULD FAIL TO SURVIVE DURING THAT TIME PERIOD, IT WILL BE REPLACED DURING APPROPRIATE PLANTING SEASON.



A1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"



**SPRINGDALE MIXED-USE
SPRINGDALE DOWNTOWN, LLC**

CITY PROJECT NO. L20-05

STRUCTURAL ENGINEER
GOODFRIEND MAGRUDER STRUCTURE LLC
53 WEST JACKSON BLVD, SUITE 340
CHICAGO, IL 60604
312.265.2645

MEP ENGINEER
IMEG CORP
231 SOUTH LASALLE STREET
CHICAGO, IL 60604
312.931.3701

CIVIL ENGINEER
CEI ENGINEERING ASSOCIATES, INC.
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ASSOCIATE ARCHITECT
POLK STANLEY WILCOX ARCHITECTS
509 W. SPRING ST.
FAYETTEVILLE, AR 72701
479.444.0473

SEAL:



NO.	DATE	ISSUE
1	12.30.2019	Large Scale Development Review
2	01.23.2020	Large Scale Development Review Second Submittal

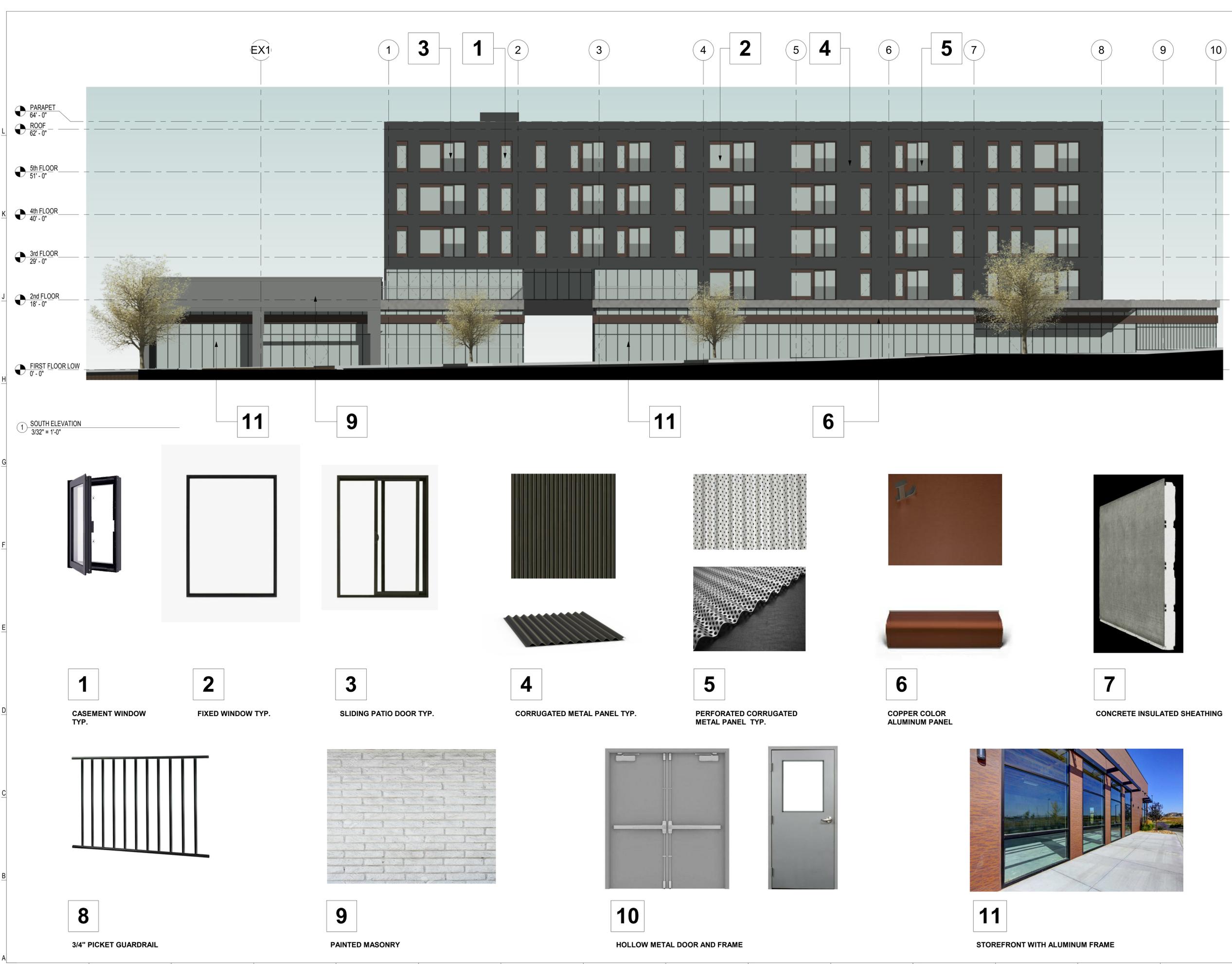
1862.00

RBA PROJECT NUMBER

ELEVATIONS

SHEET NAME

SHEET NUMBER



EX1

1

3

1

2

3

4

2

5

4

6

5

7

8

9

10

11

9

11

6

11

9

11

6

7

11

8

9

10

11

PARAPET
64' - 0"

ROOF
62' - 0"

5th FLOOR
51' - 0"

4th FLOOR
40' - 0"

3rd FLOOR
29' - 0"

2nd FLOOR
18' - 0"

FIRST FLOOR LOW
0' - 0"

1 SOUTH ELEVATION
3/32" = 1'-0"

1 CASEMENT WINDOW TYP.

2 FIXED WINDOW TYP.

3 SLIDING PATIO DOOR TYP.

4 CORRUGATED METAL PANEL TYP.

5 PERFORATED CORRUGATED METAL PANEL TYP.

6 COPPER COLOR ALUMINUM PANEL

7 CONCRETE INSULATED SHEATHING

8 3/4" PICKET GUARDRAIL

9 PAINTED MASONRY

10 HOLLOW METAL DOOR AND FRAME

11 STOREFRONT WITH ALUMINUM FRAME

**SPRINGDALE MIXED-USE
SPRINGDALE DOWNTOWN, LLC**

CITY PROJECT NO. L20-05

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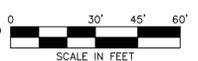
ELEVATIONS

SHEET NAME

SHEET NUMBER



CONVERGENCE -1"142"
 COMBINED SCALE FACTOR: 0.9999323831
 MAG NAIL (BM1)
 NORTHING: 680833.09 US FT.
 EASTING: 683796.79 US FT.
 ELEVATION = 1313.8'



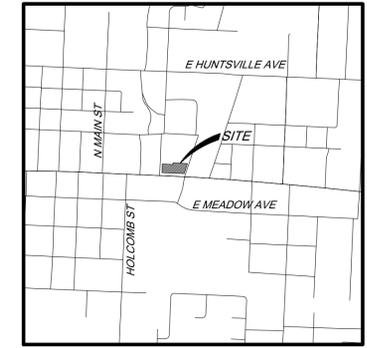
LEGEND

- BOUNDARY LINE
- ADJOINER BOUNDARY LINE
- UGE UNDERGROUND ELECTRIC LINE
- GAS LINE
- FOC OVERHEAD FIBER OPTIC CABLE
- OHE OVERHEAD ELECTRIC LINE
- SS SANITARY SEWER LINE
- SDRP STORM DRAIN PIPE
- UGT UNDERGROUND TELEPHONE LINE
- W WATER LINE
- Flood Hazard Line
- BENCHMARK
- FOUND MONUMENT (AS NOTED)
- SET NAIL WWASHER "LS#1618"
- GAS METER
- ELECTRIC METER
- WATER METER
- DRAINAGE MANHOLE
- GRATE INLET
- FIRE HYDRANT
- SEWER MANHOLE
- SEWER CLEANOUT
- GUY WIRE/ANCHOR
- UTILITY POLE
- ELECTRIC RISER
- TELEPHONE RISER
- WATER VALVE
- TRAFFIC SIGN (TYPE OF SIGN)
- FOUND MAG NAIL (AS NOTED)
- COTTON SPINDLE FOUND
- ROOF DRAIN
- IRRIGATION CONTROL BOX
- WATER VAULT
- AIR CONDITIONER UNIT
- LIGHT POLE (1 LAMP)
- LIGHT ON UTILITY POLE
- MAIL BOX
- CHISELED "X" FOUND
- DONATED MONUMENT
- TREE (DECIDUOUS)
- RECORD BEARING & DISTANCE PER FILE 2014-00024771
- FLOOD ZONE "AE"

BENCHMARK INFORMATION

BENCHMARK #1: A MAG NAIL IN THE EAST R.O.W. OF SPRING ST. AT THE INTERSECTION OF SPRING ST. AND E EMMA AVE. BEING APPROXIMATELY 26' SOUTHWEST OF THE SOUTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING 7' WEST OF A SEWER MANHOLE. ELEVATION: 1313.83

BENCHMARK #2: A MAG NAIL IN THE WEST R.O.W. OF SPRING ST. BEING APPROXIMATELY 44' WEST OF FOUND MAG NAIL AT THE NORTHWEST CORNER OF THE SUBJECT TRACT, ALSO BEING APPROXIMATELY 25' WEST FROM A SEWER MANHOLE IN THE R.O.W. OF SPRING ST. ELEVATION: 1314.35'



Vicinity Map

Not to Scale
 Latitude: 36°11'07"
 Longitude: 94°07'47"

GENERAL NOTES:

- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED TO THE SURVEYOR.
- THIS PLAT REPRESENTS A BOUNDARY/TOPOGRAPHIC SURVEY OF THE PARCEL RECORDED IN DEED RECORDS, DEED BK. 2014 PG. 11423 IN THE PUBLIC RECORDS OF WASHINGTON COUNTY, ARKANSAS.
- THE CONTRACTOR MUST DETERMINE THAT PROPOSED STRUCTURES ARE CLEAR OF ALL BOUNDARY LINES, EASEMENTS, AND MEET BUILDING SETBACK REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
- BASIS OF BEARINGS: ARKANSAS STATE PLANE GRID, NORTH ZONE, NAD83, BASED ON CEI'S BASE.
- BASIS OF ELEVATION: NAVD 88, BASED ON CEI'S BASE.
- SITE BENCHMARK: SEE SHEET FOR BENCHMARK INFORMATION BLOCK.
- THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
- THIS SURVEY MEETS CURRENT ARKANSAS STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS AND PLATS.
- THIS SURVEY IS BASED ON A TITLE COMMITMENT PROVIDED BY CHICAGO TITLE INSURANCE COMPANY, 1401315-106 COUNTERSIGNED BY WACO TITLE COMPANY, EFFECTIVE DATE: MAY 12, 2014.
- DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY AND THOSE LISTED IN THE CERTIFICATION FOR THE USE OF THIS TRANSACTION ONLY AND IS NOT TRANSFERABLE TO ANY ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- NO ATTEMPT WAS MADE TO SHOW BUILDING SETBACK LINES GRAPHICALLY ON THE SURVEY. THE ASSIGNMENT, VACATION, OR ORIENTATION OF SETBACKS THAT IMPACT THE USAGE RIGHTS ON THE PROPERTY ARE DETERMINED BY THE LOCAL GOVERNING JURISDICTIONAL AGENCY. SETBACK DIMENSIONS WILL BE BASED ON THE ORIENTATION OF THE BUILDING(S) TO BE CONSTRUCTED AS APPROVED.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED NOR CONSIDERED A PART OF THIS SURVEY.
- THE CONTRACTOR IS ADVISED TO CONTACT THE 811 ONE-CALL CENTER BEFORE ANY CONSTRUCTION BEGINS. DEPENDING ON THE STATE THERE IS A POSSIBILITY OF A SEVERE PENALTY FOR NOT MAKING THIS CALL. NOT ALL UTILITY COMPANIES ARE MEMBERS OF THE ONE-CALL SYSTEMS. THEREFORE THE CONTRACTOR IS ADVISED TO CONTACT ALL NON-MEMBERS AS WELL AS THE ONE-CALL SYSTEM.
- BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY, A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM WHICH IS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD (100-YEAR FLOOD) SHOWN ON THE FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS. MAP NUMBER: 05143C0070F MAP REVISED: MAY 16, 2008
- NO CURRENT ZONING REPORT OR LETTER REGARDING ZONING CLASSIFICATION WAS PROVIDED TO THE SURVEYOR. THE FOLLOWING INFORMATION WAS OBTAINED FROM SPRINGDALE GIS. THIS PROPERTY IS ZONED NC1 RESIDENTIAL & COMMERCIAL. BUILDING SETBACKS FOR ZONE NC1 ARE AS FOLLOWS:

BUILD-TO-LINE:	0 FEET
PRIMARY STREET (FOR FIRST 35'):	0 FEET
SIDE STREET (FOR FIRST 35'):	1' PER 1' OF HEIGHT ABOVE 35'
PRIMARY STREET (ABOVE 35'):	1' PER 1' OF HEIGHT ABOVE 35'
SIDE STREET (ABOVE 35'):	1' PER 1' OF HEIGHT ABOVE 35'

SANITARY SEWER MEASURE DOWNS

SMH 1590 RIM=1314.43 FL IE (IN)=1303.81 FL (N) (OUT)=1303.71	SMH 4001 RIM=1314.58 FL IE (IN)=1310.17 FL (S) (OUT)=1310.04	SMH 1469 RIM=1315.86 FL IE (IN)=1313.14 FL (W) (OUT)=1313.04 FL (N) (IN)=1313.14 FL (E) (IN)=1313.86
SMH 1439 RIM=1323.23 FL IE (IN)=1316.39 FL (W) (OUT)=1316.28	SMH 4002 RIM=1314.96 FL IN (NW)=1306.32 FL IN (S)=1303.50 FL OUT (W)=1303.38	
SMH 4003 RIM=1314.77 FL IN (S)=1310.15 FL IN (N)=1307.17 FL OUT (SE)=1306.89	SMH 4004 RIM=1315.29 UNABLE TO OPEN AT TIME OF SURVEY BECAUSE CAR WAS ON PARKED ON IT.	SMH 4005 Top RIM=1316.18 FL IN (E)=1311.77 FL OUT (S)=1311.64

STORM DRAIN MEASURE DOWNS

DRAINAGE MANHOLE 1871 RIM=1313.78 INVERT ELEVATION=1309.08
DRAINAGE MANHOLE 1604 RIM=1315.04 INVERT ELEVATION=1310.14

OWNER / OWNERS

PARCEL NUMBER # 815-22951-000 & 815-22952-000 & 815-22950-000 & 815-22933-000
 SPRINGDALE DOWNTOWN, LLC
 202 E EMMA AVE
 SPRINGDALE, AR 72756

SURVEYOR'S TOPOGRAPHIC BOUNDARY CERTIFICATION:

I, DUSTIN RILEY, HEREBY CERTIFY THAT THIS PLAT REPRESENTS A TOPOGRAPHIC AND BOUNDARY SURVEY. ALL MONUMENTS WERE FOUND OR SET AS SHOWN, AND THE TOPOGRAPHIC AND PHYSICAL FEATURES SHOWN ARE A TRUE REPRESENTATION OF WHAT WAS FOUND TO THE BEST OF MY KNOWLEDGE AND ABILITY, AND THE SURVEY HAS BEEN PERFORMED IN COMPLIANCE WITH THE STATE MINIMUM STANDARDS FOR SURVEY OF THIS TYPE. NO STATEMENT OR CERTIFICATION, WRITTEN OR IMPLIED, IS MADE REGARDING THE EXISTENCE OR ABSENCE OF PECULIAR SUBSURFACE CONDITIONS, FLOOD HAZARDS, ECOLOGICAL CONCERNS, EASEMENTS, OR ANY FACTS THAT AN ACCURATE AND COMPLETE TITLE SEARCH WOULD DISCLOSE, UNLESS, IT IS SPECIFICALLY STATED OR SHOWN.

Dustin Riley
 DUSTIN RILEY, ARKANSAS, PLS #1618
 DATE: 4.23.2019



State Survey Code: 500-18N-301W-0-36-203-72-1618

31205	4/5/19	DGR	JDC	KCD	SWG
CEI PROJECT NO.	INITIAL DATE	PLS	DRW	FLD	CHK'R

CEI Engineering Associates, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 SW REGENCY PKWY
 BEATOWNVILLE, AR 72112 (479) 373-9472
 CORPORATE OFFICE TBPLS FIRM #10031500

3030 LBI FREEWAY
 DALLAS, TX 75234 (972) 488-3737
 DALLAS OFFICE TBPLS FIRM #10194234

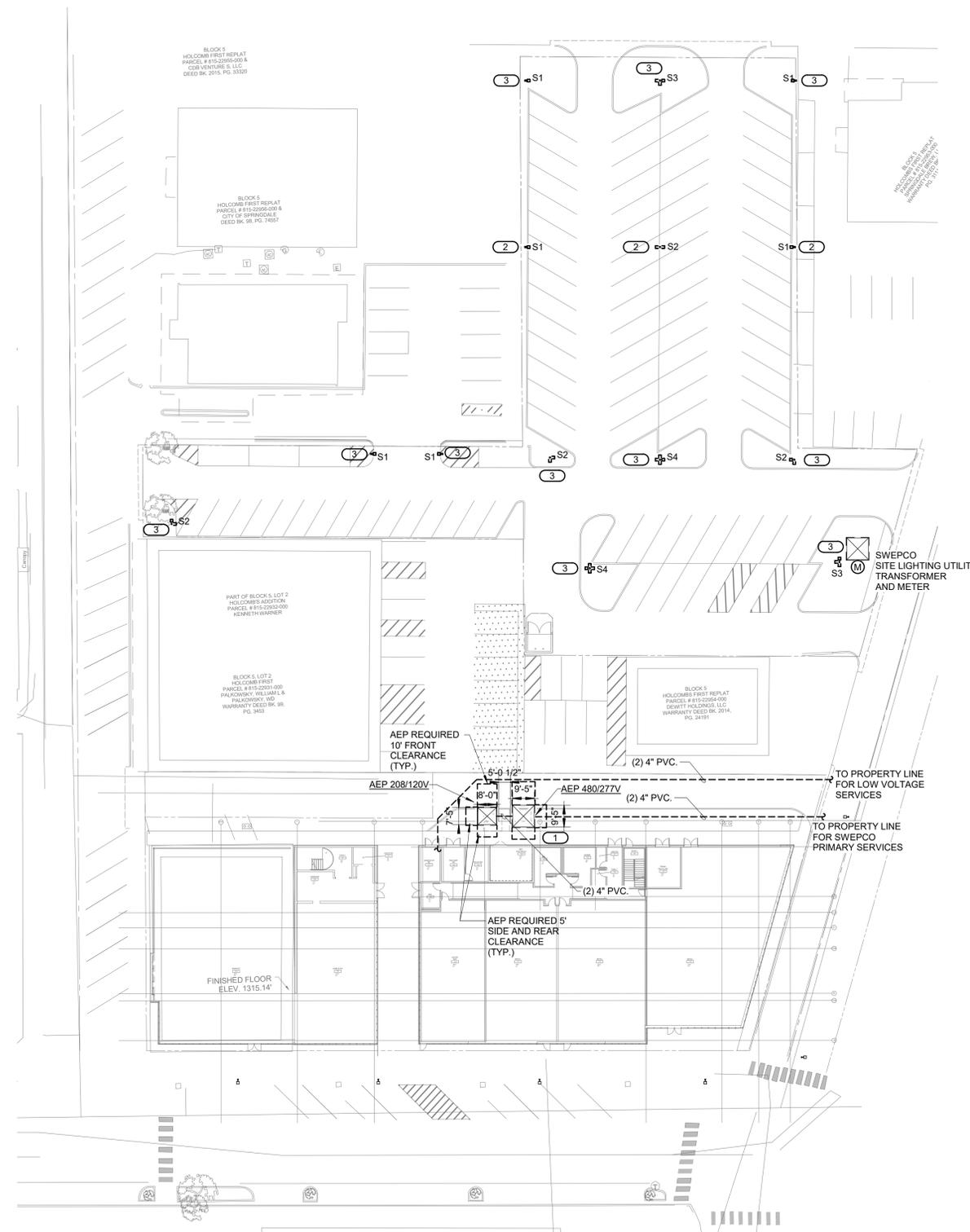
SPRINGDALE DOWNTOWN, LLC
 202 E EMMA AVE
 SPRINGDALE WASHINGTON COUNTY ARKANSAS

BOUNDARY/ TOPOGRAPHIC	REV DATE 4/11/19 REV 0	SHEET NO. 1 OF 1
-----------------------	------------------------------	---------------------

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JOB # 31205 DRAWING: 31205ENDYTOPRO.dwg LAST SAVED BY: JCHRISTIANSEN LOCATION: \\lbhpcnas01.cshd.ceieng.com\survey\31000\31205\Drawings_Survey\31205ENDYTOPRO.dwg

- KEYNOTES: #**
1. PROVIDE BOLLARDS AROUND THE TRANSFORMERS SPACED AND SIZED PER AEP REQUIREMENTS. COORDINATE QUANTITIES AND LOCATIONS WITH AEP ENGINEER.
 2. REFER THE DETAIL 3/E-602 FOR POLE BASE DETAIL.
 3. REFER THE DETAIL 6/E-602 FOR POLE BASE DETAIL.



1 SITE PLAN - ELECTRICAL
1" = 30'-0"

**SPRINGDALE MULTI-USE
SPRINGDALE DOWNTOWN, LLC**

IMEG 231 SOUTH LASALLE, SUITE 600
CHICAGO, IL 60604
312.294.0551 FAX: 312.294.0003
www.imegcorp.com
PROJECT # 19000674.00
Illinois Design Firm Registration #184007637-0014
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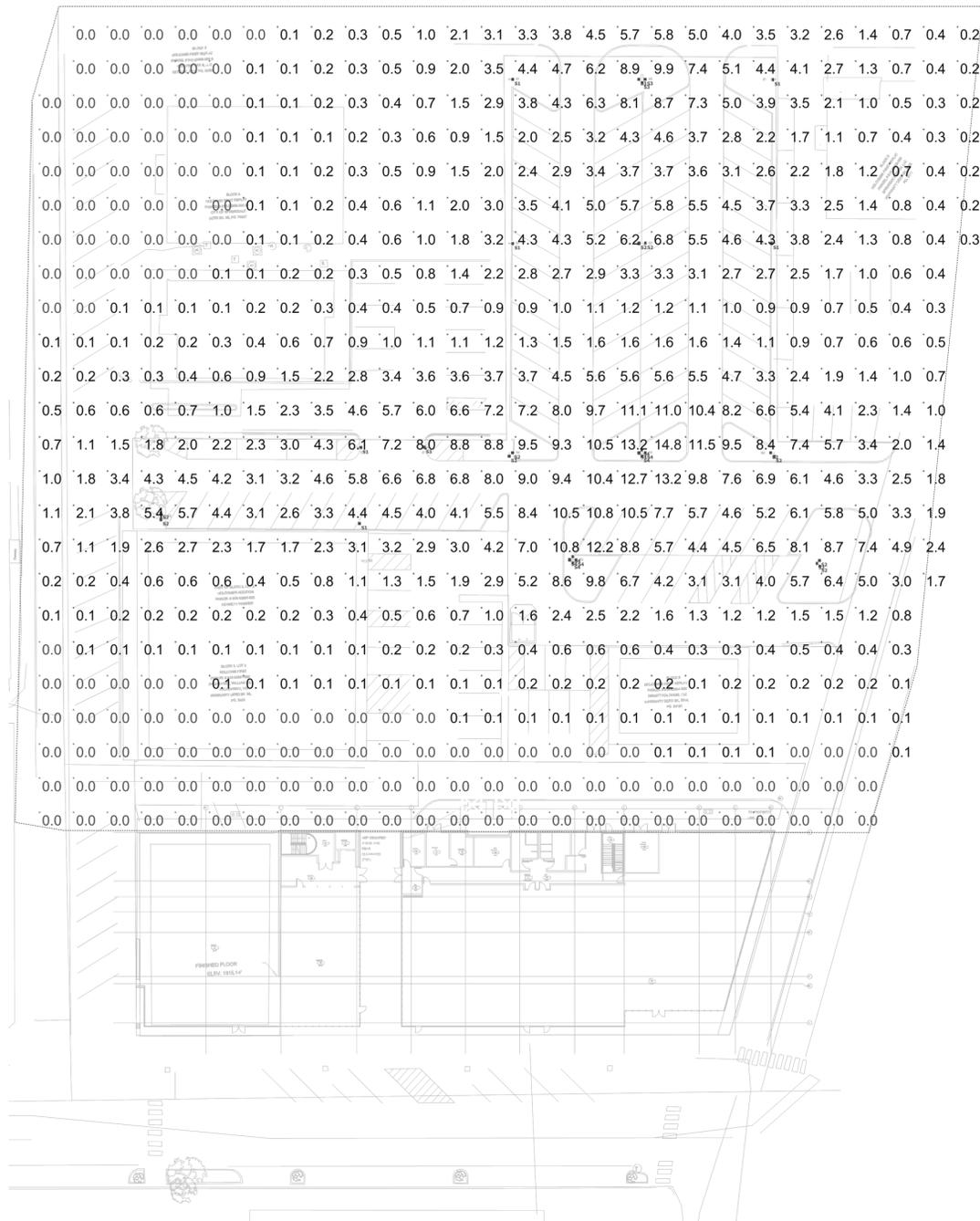
SEAL:

ross barney architects
rbarc
10 west hubbard street chicago illinois 60654
v312 832 0600 f312 832 0601
www.rbarc.com

NO.	DATE	ISSUE
1	05.20.2019	Schematic Design
2	01.31.2020	Design Development
3	01.23.2020	Large Scale Development Review

**PRELIMINARY
NOT FOR
CONSTRUCTION**

1862.00
RBA PROJECT NUMBER
ELECTRICAL SITE PLAN
SHEET NAME
SHEET NUMBER



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SEAL:

ross barney architects

r_barc

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NOT FOR
CONSTRUCTION**

1862.00
RBA PROJECT NUMBER
ELECTRICAL SITE PLAN PHOTOMETRIC
SHEET NAME
SHEET NUMBER

Debbie Pounders

From: PARSLEY CUSTOM HOMES <parsleycustomhomes@gmail.com>
Sent: Monday, January 13, 2020 11:08 AM
To: DPOUNDERS@SPRINGDALEAR.GOV
Subject: 7185 sunset ridge sidewalk

Good Morning Debbie,

I am sending you email from a conversation you had with Danny Parsley today, in reference to the sidewalk at 7185 Sunset Ridge Circle, Springdale, AR 72764.

This is located in an old subdivision that has no curb and guttering, no defined edge of street, the other entry lot does not have a sidewalk along Zigler Street, and no sidewalk on the rear lots of of the homes located on Wagon Wheel also.

I am requesting a variance on the sidewalk per the City Inspector on the sidewalk on Zigler and Wagon Wheel.

Thank you for your time concerning this matter.

Terri Parsley, President

D P Development Inc.

479-409-6559

1/20-02



0 25 50 100 150 200
Feet
For Location Reference Only

FILE NO. W20-02
APPLICANT: Parsley Custom Homes
REQUEST: Waiver - Sidewalk Improvements

PLANNING COMMISSION MEETING
February 4, 2020