

**SPRINGDALE PLANNING COMMISSION  
COUNCIL CHMBERS  
201 SPRING  
5:00 P.M.  
MARCH 3, 2020  
Tentative Agenda**

- I. **Pre-Meeting Activities**
  - Pledge of Allegiance
  - Invocation
  
- II. **Call to Order**
  
- III. **Roll Call**
  
- IV. **Approval of Minutes (February 4, 2020)**
  
- V. **Other**
  - A. **Proposed amendment to Chapter 130**  
**Zoning to amend Article 12 Ballpark Area/**  
**Southwest Springdale District Overlay Section 3.8 (4)**  
**Sign Requirements for Specific Uses**  
Presented by Patsy Christie
  
- VI. **Table Items**
  - A. **R20-06** **David Slone**  
**3406 S. Thompson**  
**From C-2 & MF-12 To C-5**  
Presented by Blew & Associates
  
  - B. **C20-04** **Jakers Mark 43, LLC**  
**276 Victory Lane**  
**Tandem Lot Split**  
Presented by Blew & Associates
  
- VII. **Public Hearing – Rezoning**
  - A. **R20-07** **Revival Tabernacle Church**  
**2608 E. Emma Avenue**  
**From A-1 & I-1 to P-1**  
Presented by Kenneth Eden
  
  - B. **R20-08** **Rocky Mountain Realty Holding Corp**  
**756 Old Wire Road**  
**From I-2 to P-1**  
Presented by Bob Downum

- C. R20-09 Ricardo Ballesteros  
5014 Har-Ber Avenue  
From A-1 to C-2  
Presented by Ricardo Ballesteros
- D. R20-10 Adams Family Properties, LLC  
1641 Butterfield Coach Road  
From A-1 to C-2  
Presented by Charles Adams
- E. R20-11 Leo Dale Montgomery, Trustee  
6308 Har-Ber Avenue  
From A-1 to O-1  
Presented by T. Wayne Vanhook
- F. R20-12 Brenda Lazenby  
3018 E. Robinson Ave.  
From A-1 to C-5 & MF-12  
Presented by Engineering Services, Inc.

**VIII. Public Hearing – Conditional**

- A. C20-06 Kenzie Tucker  
4308 Kendra Ave.  
Use Unit 29 (Home Occupation) in SF-2  
Presented by Kenzie Tucker
- B. C20-07 Rebecca V. Soto  
1101 S. Thompson St.  
Use Unit 44 (Mobile Vending) in C-2  
Presented by Rebecca Soto
- C. C20-08 Arkansas JRD Church  
3430 W. Sunset  
Use Unit 42 (Church/Synagogue) in C-2  
Presented by Carter Anien
- D. C20-09 Integrisite  
760 Butterfield Coach Road  
Use Unit 33 (Self Supporting Tower or Antenna  
Structure or Monopole) in A-1  
Presented by Gregg Staggs
- E. C20-10 Justin and Bobbi Looney  
4897 Whittle Road  
Tandem Lot Split  
Presented by Justin Looney

**IX. Preliminary Plats, Replats and Final Plats**

- A. RP20-03 Replat of Lot 24 Oak Addition  
N. of E. Robinson Ave., W. side of 265  
Presented by Alan Reid & Associates**

**X. Large Scale Developments**

- A. L20-06 Aspen Park Building C  
N. side of E. Robinson, W. of FedEx Dr.  
Presented by Bates & Associates**
- B. L20-08 Pure Springdale  
NW corner of Gene George Blvd. & Dearing Road  
Presented by Crafton Tull**
- C. L20-09 S. 48<sup>th</sup> Street Storage  
722 S. 48<sup>th</sup> Street  
Presented by Bates & Associates**

**XI. Board of Adjustment**

- A. B20-08 Michael Boivin  
1630 Sisco Avenue  
Variance for deviation of front setback from 30' to 22'  
Presented by Victor Barrios**
- B. B20-09 Justin & Bobbi Looney  
4897 Whittle Road  
Tandem Lot Split  
Presented by Justin Looney**
- C. B20-10 David Mancina  
1102 Backus  
Variance for deviation of paved parking requirement  
Presented by Victor Velazquez**

**XII. Planning Director's Report**

**XIII. Adjourn**

The Springdale Planning Commission met in regular session on Tuesday, February 4, 2020 at 5:00 p.m. in Council Chambers

Prior to the meeting being called to order Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Roy Covert gave the invocation.

The meeting was called to order at 5:00 p.m. by Chairman Kevin Parsley.

Roll call was answered by:

- Howard Austin (New Member)
- Gary Compton
- Roy Covert – Vice-Chairman
- Shannon Mueller
- Kevin Parsley- Chairman
- Ben Peters
- Dale Tyler

Commissioners James David and Payton Parker were not in attendance. Others in attendance were Patsy Christie, Director, Planning and Community Development Division, Austin Thomas, Assistant Director/Planning Coordinator, Rick Barry, Senior Planner and Sarah Sparkman, Assistant City Attorney.

Mr. Parsley introduced the newest Planning Commissioner, Howard Austin. He also commended Vivi Haney for her ten years of service on the Commission.

Mr. Gary Compton moved to approve the January 7, 2020 minutes. Mr. Covert seconded the motion. By a voice vote of all ayes and no nays the January minutes were approved by a unanimous vote.

Mr. Covert nominated Mr. Parsley to continue as the Chairman of the Commission. Mr. Peters seconded the motion.

By a voice vote of all ayes and no nays, Mr. Parsley will continue as Chairman of the Planning Commission.

Mr. Compton moved to re-appoint Mr. Covert as Vice-Chairman and Mr. Peters as the Secretary of the Planning Commission. Ms. Mueller seconded the motion.

By a voice vote of all ayes and no nays, Mr. Covert was re-appointed as Vice-Chairman and Mr. Peters will serve as the Secretary of the Springdale Planning Commission.

Public Hearing – Conditional Use

- A. C20-05 Tim & Rhonda Nelson  
8391 E. Brown Road  
Tandem Lot Split  
 Presented by Tim or Rhonda Nelson

Tim and Rhonda Nelson were present to answer any questions or comments. Rhonda said that they are splitting off 2.02 acres from her dad's trust so that they can build a house.

Mr. Parsley asked for Staff comments.

Ms. Christie said the reason they asked for a tandem lot split is because they didn't have 200' of frontage on a public street. She said everything else is o.k.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Covert called for the vote.

**VOTE:**

**YES:** Compton, Covert, Mueller, Parsley, Peters, Tyler, Austin

**NO:** None

The conditional use for a tandem lot split was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the resolution to go to Council on Tuesday, February 25, 2020 at 6:00 p.m. in Council Chambers.

Preliminary Plats, Replats, & Final Plats

- A. RP20-01 Har-Ber Subdivision  
Intersection of Har-Ber & Maestri Road  
Presented by Bates & Associates

Mr. Jason Young with Bates and Associates was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie said there was a question about getting sewer to these properties. Some of the lots would not perk.

Mr. Young said that the owner found other spots on the lots that would perk.

Ms. Christie stated that before any construction could start Staff would have to know for certain that sewer is available.

Ms. Christie then read Staff comments.

Planning Comments

- 1. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (Standard Comment)

**Engineering Comments**

**1. Chapter 106 – Stormwater Drainage**

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1.3.3**
  - o Minimum floor elevation shall be shown a minimum of 2-feet above the 100-year flood elevation on each lot when located in and adjacent to a designated FEMA floodplain and in areas where flooding is known to occur. (Show Minimum Finished Floor Elevation [FFE] on proposed structures)
  - o Minimum floor elevations for other areas shall be a minimum of 1-foot above the calculated 100-year WSE of open channels, swales, or overland flow. (Show Minimum Finished Floor Elevation [FFE] on proposed structures)
- **106.9.7 - Channel Lining Design**
  - o Temporary linings and check dams are required in accordance with an approved SWPPP throughout any project.
- **106.10.5.2.5 - Straw Wattle or Hay Bale Barrier**
  - o This is a temporary barrier constructed across or at the toe of the slope. Its purpose is to intercept and detain sediment from areas one-half acre or smaller where only sheet erosion may be a problem. Neither may be used in the flowline of a channel.

**2. Chapter 106 – Stormwater Drainage**

- **Show minimum FFE for Lot 6**
- **Some language in the plans and drainage report still refers to CMP or HDPE, just need to make sure all is consistent and there is only RCP in drainage easements and ROW**
  - o **page 5 in drainage report – references CMP**
  - o **page 6 in plans – references HDPE**

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Peters moved to approve the Preliminary Plat subject to Staff comments. Mr. Covert seconded the motion.

**VOTE:**

**YES:** Covert, Mueller, Parsley, Peters, Tyler, Austin, Compton

**NO:** None

The Preliminary Plat was approved subject to Staff comments by a unanimous vote.

**Large Scale Developments**

- A. L20-05 Emma Street Mixed Use Development  
202 E. Emma Avenue  
Presented by CEI

Mr. Tom Oppenheim with CEI Engineering was present on behalf of his client to answer any questions or comments. He said there is a residential component, retail and some entertainment included in this development.

Mr. Parsley asked for Staff comments.

Ms. Christie said there would be 55 units in the apartment portion of the project.

Mr. Oppenheim said that was correct.

### **Planning Comments**

#### **Large-Scale Comments:**

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-05. This number should be placed on the plans and all future correspondence and plats pertaining to this development. (standard comment)
5. Provide sidewalk along Johnson Ave or formally request a waiver/payment in lieu through this office.
6. Provide completion of sidewalk at far Northwest corner of the lot along Commercial. We would like coordinate a possible pedestrian access with the adjacent property owner.
7. Please provide proposed screening details for transformers, staff will coordinate with SWEPCO directly in regards to placement within easement.

#### **Downtown Form-Based Code**

1. Provide additional pedestrian lighting specs for parking lot and building prior to final approval as per section 4.3.5 of the DFBC.

### **Engineering Comments**

#### **3. Chapter 106 – Stormwater Drainage**

- FFE of building on the west side needs to be at least 2' above the BFE since it's in a flood zone

#### **4. Chapter 107 – Stormwater Pollution**

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- 107.3

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- **107.3.D.c** - A grading and drainage plan is required for all developments showing that each lot drains to the street right-of-way, a dedicated drainage easement with improvements, or an existing drainage way without flowing across a neighboring lot. No drainage from roof drains, landscaping, or lot runoff may be directed or diverted onto neighboring properties.

**5. Chapter 112 – Subdivisions**

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
  - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
    - Label all lights as Proposed or Existing
    - Show the direction of the mast arm
    - Show the size and type of lights based on the location and classification of the street
    - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
    - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

**6. Chapter 130 – Zoning Ordinance**

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
  - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

**7. Chapter 50 – Floods**

(Ord. No. 4110, § 1, 9-11-07)

- From elevations provided, it looks like the west building will undergo substantial renovation and development, this will require a floodplain development permit, please submit Section I of application to Springdale Engineering  
<http://www.springdalear.gov/DocumentCenter/View/440/Floodplain-Development-Permit-Application-PDF>

**8. Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of

Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
  - **Modified curb at all entrances/exits.**
  - **Provide a modified curb detail.**
  - **Provide a stop bar at all exits that do not have a stop sign.**
  - **Provide ADA signage for all ADA parking spaces.**
  - **Provide streetlights or show existing lighting that conforms to the current requirements.**
  - **Provide concrete aprons to the R.O.W. line.**
  - **Show the R.O.W. on site plan.**
  - **Monument all property corners.**
  - **Sign at exit along E. Johnson Ave. is labeled incorrectly.**
  - **Label E. Johnson Ave.**
  - **Label all proposed signage; one in the parking area is not identified.**

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Covert moved to approve the large scale subject to Staff comments. Mr. Compton seconded the motion.

**VOTE:**

**YES:** Mueller, Parsley, Peters, Tyler, Austin, Compton, Covert

**NO:** None

The large scale development was approved subject to Staff comments by a unanimous vote.

Waivers

- A. W20-02 Parsley Custom Homes  
7185 Sunset Ridge Circle  
 Waiver of sidewalk requirement  
 Presented by Terri Parsley

Ms. Parsley was late getting to the meeting so Ms. Christie spoke. She said that they submitted a bond so that they could get their C of O. She further stated that she normally doesn't support a sidewalk waiver but this lot has three fronts along Wagon Wheel Road, Sunset Ridge Circle which they will provide a sidewalk and Ziegler Road.

They are asking for a waiver on Wagon Wheel and Ziegler. She said Staff would recommend the waiver.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Peters moved to make a recommendation to Council for approval. Mr. Compton seconded the motion.

**VOTE:**

**YES:** Parsley Peters, Tyler, Austin, Compton, Covert, Mueller

**NO:** None

The motion to forward to Council with a recommendation for approval was approved by a unanimous vote.

Planning Director's Report

Ms. Christie said Council's action in January the replat by Nanomach was approved. The rezonings that were sent to Council were approved. The conditional uses were approved as were the Home Occupation.

She said the work session will be February 18, 2020 at 5:30.

Since there wasn't a dinner in December Staff will try to set up a time this month.

There being no further business, the meeting was adjourned at 5:20 p.m.

---

**Kevin Parsley, Chairman**

---

**Ben Peters, Secretary**

---

**Patsy Christie, Director  
Planning and Community Development Division**

---

**Debbie Ponders, Recording Secretary**

## PROPOSED AMENDMENT TO OVERLAY DISTRICT SIGN REQUIREMENTS

(4) *Sign requirements for specific uses.* Churches, schools, libraries, community centers or other public/semi-public facilities shall be allowed signs as follows:

- (a) Facilities with a land area of ten (10) acres or less shall be allowed two (2) wall signs, with not more than one (1) on a façade. Total square footage of all attached signs located on a given side of a building shall not exceed twenty (20) percent of the total square footage of the wall area on that side of the building, up to a maximum eight hundred (800) square feet. Wall signs shall be composed of individual, freestanding letters unless this conflicts with a part of the tenant's national identity or trade dress. The freestanding letters may be placed on a backing plate. Signs that propose non-freestanding letters may be allowed, with specific approval. All necessary sign supports and electrical connections shall be concealed. In lieu of one (1) of the wall signs, one (1) *monument sign 3* as specified in section (f) above shall be permitted.
- (b) Facilities with a land area of more than ten (10) acres shall be allowed three (3) wall signs, with not more than one (1) on a façade. Total square footage of all attached signs located on a given side of a building shall not exceed twenty (20) percent of the total square footage of the wall area on that side of the building, up to a maximum eight hundred (800) square feet. Wall signs shall be composed of individual, freestanding letters unless this conflicts with a part of the tenant's national identity or trade dress. The freestanding letters may be placed on a backing plate. Signs that propose non-freestanding letters may be allowed, with specific approval. All necessary sign supports and electrical connections shall be concealed. In lieu of one (1) or two (2) of the wall signs, one (1) or two (2) *monument signs 2 and/or 3* as specified in section (f) above.

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-06 Rezone

A request by Michael David Slone, Lifetime Asset Trust for Planning Commission approval of a zone change from Medium Density Multi-family Residential District (MF-12) and General Commercial District (C-2) to Thoroughfare Commercial District (C-5) for a tract of land containing 14.95 acres.

## LOT LOCATION AND SIZE

The 14.95 acre tract is located at 3406 S. Thompson Street, west side of S. Thompson Street, north of Don Tyson Parkway.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning of this tract is a MF-12 Medium Density Multi-family Residential District. The district is established to provide areas for development allowing more units per structure and a higher density. Provides more compact residential development, and promotes more efficient use of land and utilities, and the development of less expensive housing on smaller lots.

Uses permitted: - 1, 8, 10, 11, 13, 29  
Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 12, 28  
Temporary Uses – 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.
- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an MF-12 district, except for Use Unit 28 home occupation a site plan review shall be required. See Article 6, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than six thousand (6,000) square feet for a single family dwelling; ten thousand five hundred (10,500) square feet for a duplex; fourteen thousand (14,000) for a triplex; twenty thousand (20,000) for a four-plex and twenty thousand (20,000) plus two thousand five hundred (2,500) for each unit over five. In addition, there shall be a minimum lot width of not less than sixty (60) feet for a one family; seventy (70) feet for a two family; eighty (80) feet for a three family or larger on a public street.
- (2) **DENSITY -** 12 units per acres
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS			SETBACKS				
	Widths		Area	Front	Back	Side		
						Interior	Corner	
							Interior	Exterior
One Family	60		6,000	30	20	8/8	8	30
Two Family	70		10,500	30	20	8/8	8	30
Three Family	80		14,000	30	20	8/8	8	30
Four Family	80		20,000	30	20	8/8	8	30
Four or more families	80		20,000 + 2,500/unit					
Zero Lot Line	60		as above	30	20	16/0	16/0	30
Townhouse	Interior 20	Corner/ended 50/28						
	20	50/28		30	20	8/0	8	30

### BUILDING AREA

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

### OFF-STREET PARKING

See Article 7 of this chapter.

### LANDSCAPED OPEN SPACE

On any lot, there shall be a minimum of ten (10) percent of landscaped open space in accordance with Article 6 Section 2.16 of this chapter.

### MULTIFAMILY PLAY AREAS

See Article 6 Section 2.17 of this chapter.

### AND

The existing zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35

Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

### ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

### SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

### HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

### AREA REGULATIONS

#### SETBACKS:

Front setback

30'

Front setback if parking is allowed between R-O-W 50'  
and the building

Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**REQUESTED ZONING**

The requested zoning of this tract is a C-5 thoroughfare commercial district. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations, and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping center since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38  
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 23, 24, 30, 33, 35  
 Temporary Uses: - 32

**DEVELOPMENT CRITERIA**

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.
- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that is cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
  - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
  - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
  - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not

taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.

e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.

i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

#### ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

#### SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

#### HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

#### AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

#### SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

#### GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

#### OFF-STREET PARKING

See Article 7 of this chapter.

#### SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north contains a mixture of uses in C-2, MF-12 and I-1 zoning. The area to the east contains commercial uses in C-2 zoning. The area to the south contains commercial uses in C-5 zoning. The area to the west is undeveloped in SF-2 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates regional commercial use.

The Master Street Plan indicates Thompson Street as a principal arterial

## STAFF COMMENTS AND RECOMMENDATIONS

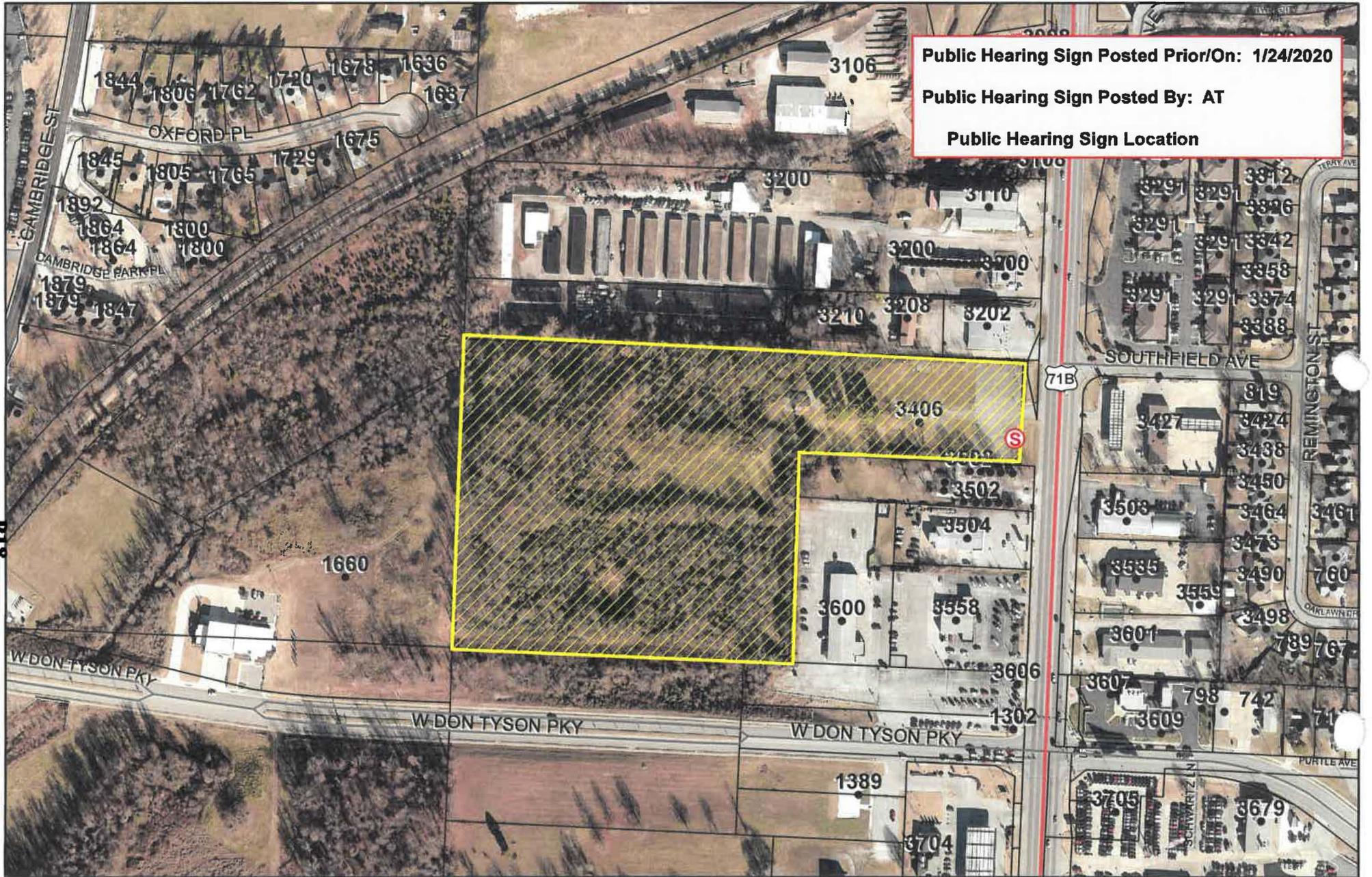
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Encourage the development of regional commercial areas that accommodate a variety of wholesale, retail, service and office uses where the highest traffic volumes and greatest utility demands can be served and more extensive outdoor display of materials will be expected and permitted that has frontage and or access to I-49



Public Hearing Sign Posted Prior/On: 1/24/2020  
Public Hearing Sign Posted By: AT  
Public Hearing Sign Location

818

FILE NO. *R20-06* ~~C20-06~~

APPLICANT: David Slone

REQUEST: Rezoning from MF-12 to C-5

PLANNING COMMISSION MEETING  
February 4, 2020

0 60 120 240 360 480  
Feet  
For Location Reference Only

File No. \_\_\_\_\_

## PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by David Stone

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

See survey

Layman's Description:

The Petitioner hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale** is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The Petitioner requests the following zoning classification:

FROM (current zoning) C-2 + MF-12

TO (proposed zoning) C-5

**The Petitioner's immediate intentions are to:**

1. Sell the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. Develop the property NO (Yes or No), and if so, the proposed use is \_\_\_\_\_.
3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: Current zoning for surrounding properties are C-5

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Amanda Hallmark

Address: 3825 N. Shiloh Dr. Fayetteville, AR 72703

PETITIONER/OWNER SIGNATURE mllh

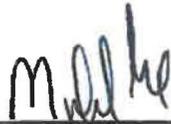
MAILING ADDRESS: P.O. Box 10198, Fayetteville, AR 72703

TELEPHONE: 479-442-4476 DATE: 2/17/20

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

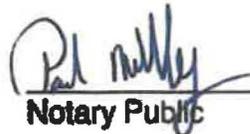
**SIGNATURE**  
(Property Owner)

  
\_\_\_\_\_  
(Property Owner)

State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 17<sup>th</sup> day of February, 2020.

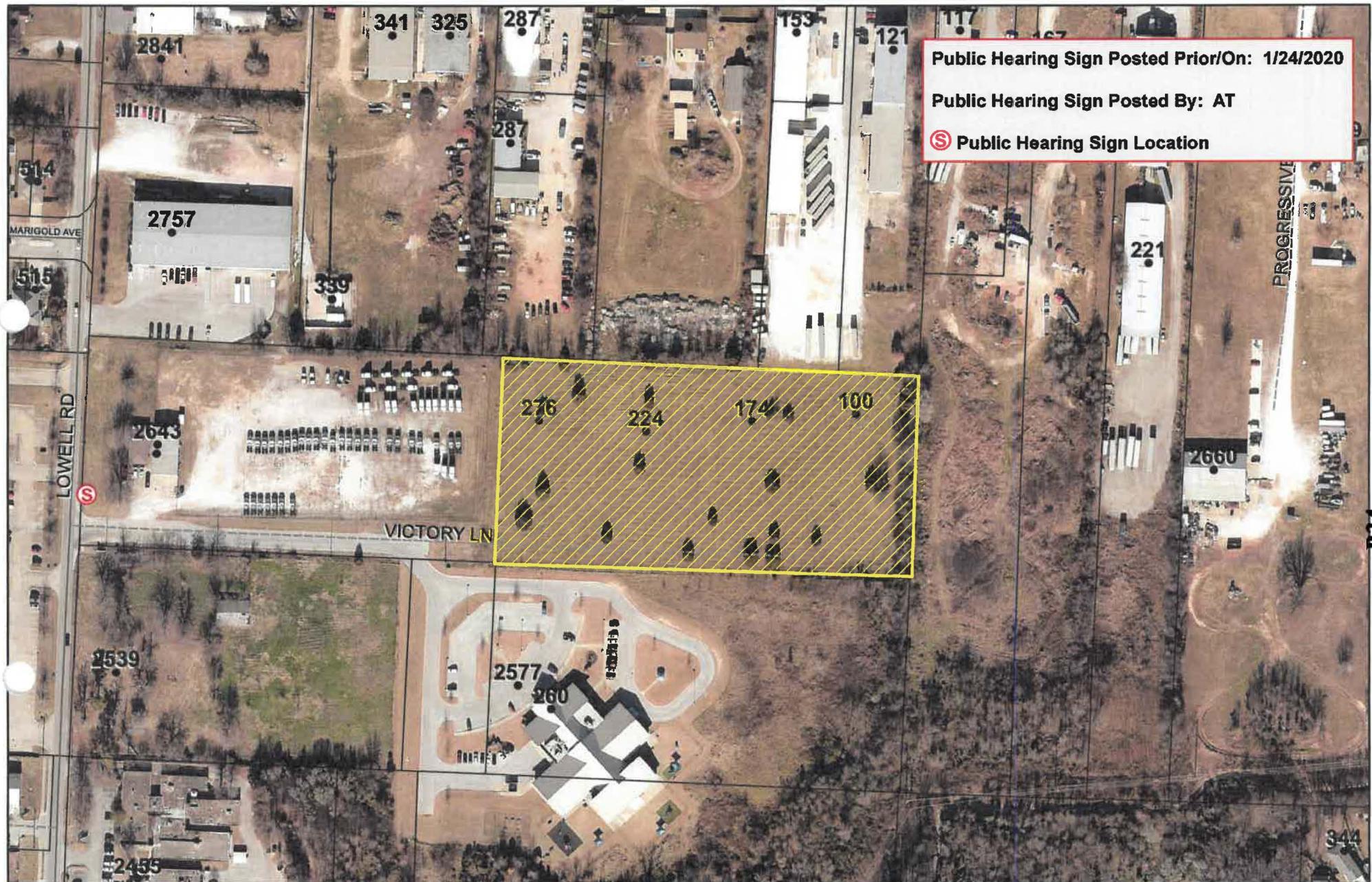


  
\_\_\_\_\_  
Notary Public

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Alex Griffith  
Address: 2449 Scaper CV  
Memphis, TN  
Phone: 901-948-6626 38114 Profit:  Non-Profit
2. Property Location (street address or layman's description):  
276 Victory Ln Springdale, AR
3. Record Title Holder of Property: \_\_\_\_\_  
(A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested \_\_\_\_\_ in \_\_\_\_\_ Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
Creating a Tandem lot. Conditional Use is required due to road access. Adjacent properties aren't being effect & should be approved.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
Its currently in a industrial area & wouldn't have any effect
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

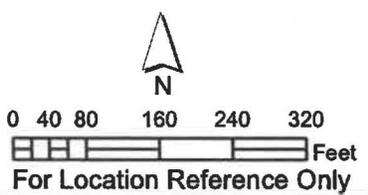




Public Hearing Sign Posted Prior/On: 1/24/2020  
Public Hearing Sign Posted By: AT  
Public Hearing Sign Location

**FILE NO. C20-04**  
**APPLICANT: Jakers Mark 43, LLC**  
**REQUEST: Conditional Use - Tandem Lot Split**

PLANNING COMMISSION MEETING  
February 4, 2020



+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-07 Rezone

A request by Revival Tabernacle Church for Planning Commission approval of a zone change from Agricultural District (A-1) to Institutional District (P-1) for a tract of land containing acres 10 acres.

## LOT LOCATION AND SIZE

The 10 acre tract is located at 2608 E. Emma Avenue, Northeast corner of the intersection of Emma Avenue and Monitor Road.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) LOT AREA. There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) DENSITY. One (1) unit per two acres.
- (3) FRONT SETBACK. There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) SIDE SETBACK. There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) REAR SETBACK. There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The rezoning application requests a P-1 Institutional district. The District is designed to protect and facilitate use of property owned by larger public institutions and church related organizations.

Uses permitted: - 1, 4, 5

Conditional Uses Permitted on Appeal: - 2, 3, 27

**HEIGHT REGULATIONS**

There shall be no maximum height limits in P-1 District, provided, however, that any building which exceeds the height of 20 feet shall be set back from any boundary line of any residential district a distance of one foot for each foot of height in excess of 20 feet.

**AREA REGULATIONS**

(1) SETBACKS:

- Front setback 30'
- Front setback if parking is allowed between R-O-W and the building 50'

Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	25'
Rear setback	25'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a church. The area to the north, east and west contains industrial uses in I-1 and I-3 zoning. The area to the south contains residential uses in A-1 and SF-2 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates commercial use.

The Master Street Plan indicates Emma Avenue and Monito Road as minor collectors.

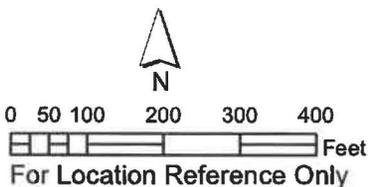
**STAFF COMMENTS AND RECOMMENDATIONS**

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Uses that commonly have moderate to large scale assemblies of people such as churches, funeral homes, membership organizations and other institutions should be appropriately located on adequate size parcels with sufficient space to accommodate the off-street parking and accessory needs. Such uses should be located so as to minimize any adverse or undue significant burden on adjacent or adjoining land uses as well as that portion of the street system.



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



**FILE NO. R20-07**  
**APPLICANT: Revival Tabernacle Church**  
**REQUEST: Rezone from A-1 & I-1 to P-1**

PLANNING COMMISSION MEETING  
March 3, 2020

File No. R20-07

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Revival Tabernacle Church  
The record property owner(s), petitioning to rezone the following described area:

**Legal Description:**

The West one-half of the following described tract: The South Half of the NW1/4 of the SW1/4, and the SW1/4 of the NE1/4 of the SW1/4, all in Section 32, Township 18 North, Range 29 West, Washington County, Arkansas. LESS AND EXCEPT: the West 10 acres of the above described tract heretofore conveyed by the above grantors to the above grantees. The lands herein conveyed containing 5 acres, more or less.

AND The West 10 acres of the West one-half of the following described tract: The South Half of the NW1/4 of the SW1/4, and the SW1/4 of the NE1/4 of the SW1/4, all in Section 32, Township 18 North, Range 29 West, Washington County, Arkansas. The lands herein conveyed containing 10 acres, more or less.

Layman's Description: 2608 E Emma Ave

**The Petitioner hereby states by oath that:**

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

**The Petitioner requests the following zoning classification:**

FROM (current zoning) A-1 + I-1

TO (proposed zoning) R-1

The Petitioner's immediate intentions are to:

1. Sell the property No (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title \_\_\_\_\_ (Yes or No).

2. Develop the property No (Yes or No), and if so, the proposed use is \_\_\_\_\_

3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: The property is already used as a church so the effect on adjacent property should be none.

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Kenneth B Eden

Address: 189 Chantilly Ave, Springdale, AR 72764

PETITIONER/OWNER: Revival Tabernacle Church

MAILING ADDRESS: 2608 E Emma Ave, Springdale, AR 72764

TELEPHONE: 478-236-8463 DATE: 1-27-20

**VERIFICATION**

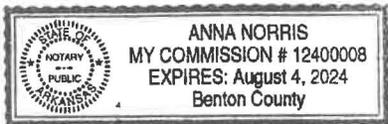
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Janet Ramirez  
(Property Owner)

N/A  
(Property Owner)

State of Arkansas        )  
  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 3<sup>rd</sup> day of January, 2020.



[Signature]  
Notary Public

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-08 Rezone

A request by Rocky Mountain Realty Holding Corp (Jonathan C. Scott) for Planning Commission approval of a zone change from General Industrial District (I-2) to Institutional District (P-1) for a tract of land containing .96 acres.

## LOT LOCATION AND SIZE

THE .96 ACRE TRACT IS LOCATED AT 756 Old Wire Road, north side of Old Wire Road, east of Dentech Ddrive.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning of this tract is an I-2 General Industrial district. The District is designed to accommodate industrial uses which involve potentially objectionable uses and hazards, and which, therefore, cannot be reasonably expected to conform to a high level of performance standards, but which are essential to the economic viability of the city.

Uses permitted: - 1, 21, 24, 25, 26, 27, 32, 33, 35  
Conditional Uses Permitted on Appeal: - 2, 3

## HEIGHT REGULATIONS

There shall be no maximum height limits in I-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

## AREA REGULATIONS

SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	0
Rear setback	25'
Setbacks adjacent to residential uses	50'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**REQUESTED ZONING**

The rezoning application requests a P-1 Institutional district. The District is designed to protect and facilitate use of property owned by larger public institutions and church related organizations.

Uses permitted: - 1, 4, 5

Conditional Uses Permitted on Appeal: - 2, 3, 27

**HEIGHT REGULATIONS**

There shall be no maximum height limits in P-1 District, provided, however, that any building which exceeds the height of 20 feet shall be set back from any boundary line of any residential district a distance of one foot for each foot of height in excess of 20 feet.

**AREA REGULATIONS**

**(1) SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	25'
Rear setback	25'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

## OFF-STREET PARKING

See Article 7 of this chapter.

## SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a commercial building. The tract is surrounded by a mixture of commercial and industrial uses in I-2 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates heavy industrial use.

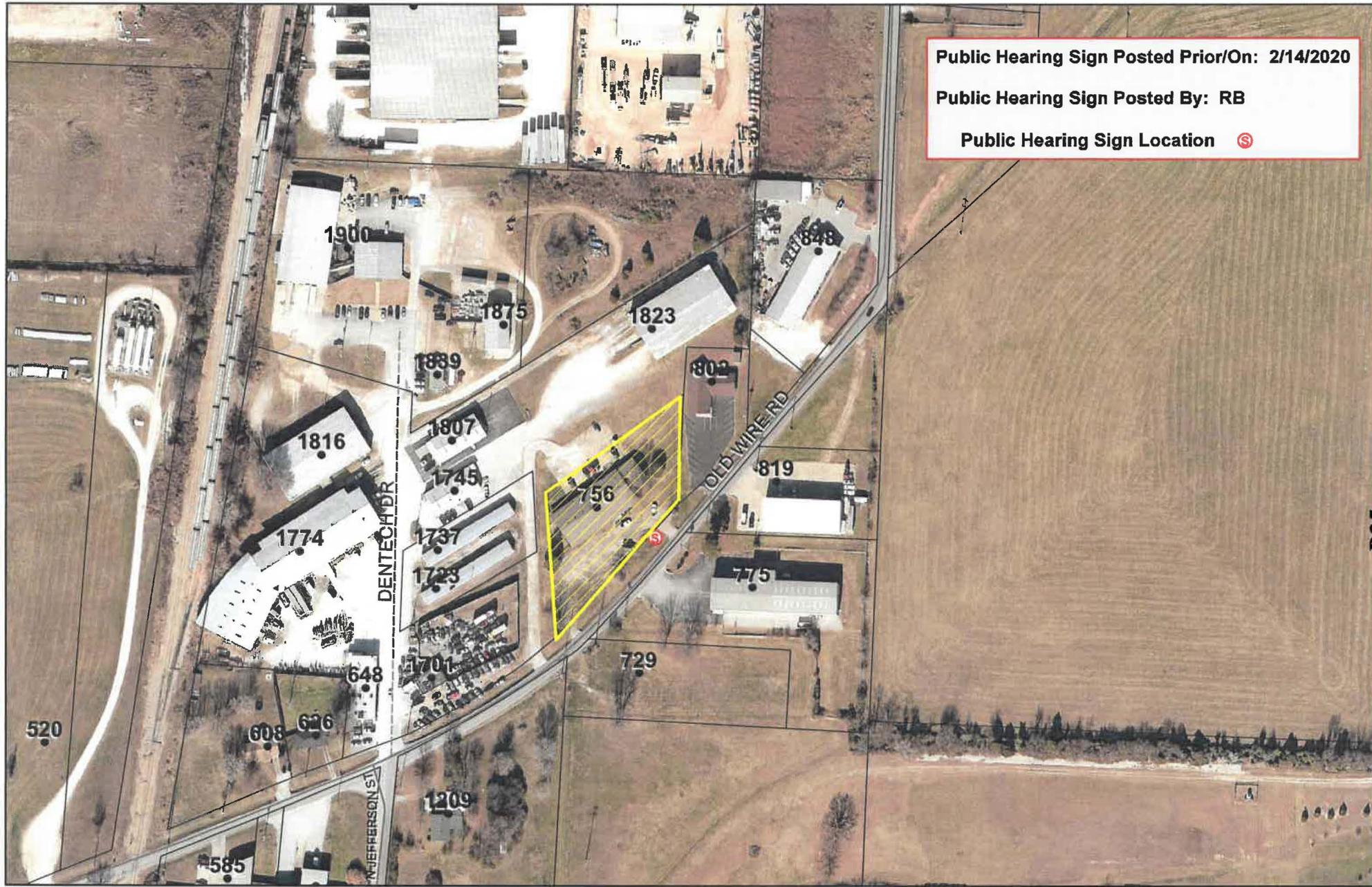
The Master Street Plan indicates Old Wire Road as a minor collector.

## STAFF COMMENTS AND RECOMMENDATIONS

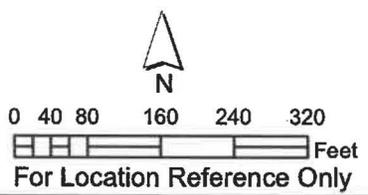
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Uses that commonly have moderate to large scale assemblies of people such as churches, funeral homes, membership organizations and other institutions should be appropriately located on adequate size parcels with sufficient space to accommodate the off-street parking and accessory needs. Such uses should be located so as to minimize any adverse or undue significant burden on adjacent or adjoining land uses as well as that portion of the street system.

Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



P35



**FILE NO. R20-08**  
**APPLICANT: Rocky Mountain Realty Holding Corp**  
**REQUEST: Rezone from I-1 to P-1**

PLANNING COMMISSION MEETING  
March 3, 2020

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Rocky Mountain Realty Holding Corp  
The record property owner(s), petitioning to rezone the following described area:

Legal Description:

**SURVEY DESCRIPTION:**

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 25 THENCE SOUTH 02°13'07" WEST A DISTANCE OF 834.02 FEET TO A POINT; THENCE NORTH 87°55'01" WEST A DISTANCE OF 297.54 FEET TO A FOUND 1/2" REBAR BEING THE POINT OF BEGINNING; THENCE SOUTH 02°11'34" WEST A DISTANCE OF 173.88 FEET TO A FOUND 1/2" REBAR; THENCE SOUTH 42°38'03" WEST A DISTANCE OF 284.76 FEET TO A FOUND 1/2" REBAR; THENCE NORTH 03°53'29" WEST A DISTANCE OF 227.17 FEET TO A FOUND 3/8" REBAR; THENCE NORTH 53°55'29" EAST A DISTANCE OF 265.94 FEET TO THE POINT OF BEGINNING CONTAINING 0.96 ACRES OR 41,624 SQUARE FEET MORE OR LESS. SUBJECT TO ANY RIGHT-OF-WAY OR EASEMENTS OF RECORD.

**ACCESS EASEMENT DESCRIPTION:**

PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 18 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 25 THENCE SOUTH 02°13'07" WEST A DISTANCE OF 834.02 FEET TO A POINT; THENCE NORTH 87°55'01" WEST A DISTANCE OF 297.54 FEET TO A FOUND 1/2" REBAR; THENCE SOUTH 53°55'29" WEST A DISTANCE OF 111.00 FEET TO A POINT BEING THE POINT OF BEGINNING; THENCE SOUTH 53°55'29" WEST A DISTANCE OF 154.94 FEET TO A FOUND 3/8" REBAR; THENCE SOUTH 03°53'29" EAST A DISTANCE OF 240.81 FEET TO A POINT; THENCE SOUTH 53°46'40" WEST A DISTANCE OF 46.20 FEET TO A POINT; THENCE NORTH 02°02'38" WEST A DISTANCE OF 33.85 FEET TO A POINT; THENCE ALONG THE WEST EDGE OF AN EXISTING CONCRETE DRIVE NORTH 02°02'38" WEST A DISTANCE OF 29.27 FEET TO A POINT; THENCE NORTH 02°02'38" WEST A DISTANCE OF 161.58 FEET TO A POINT; THENCE NORTH 01°10'38" WEST A DISTANCE OF 122.71 FEET TO A POINT; THENCE LEAVING THE WEST EDGE OF AN EXISTING DRIVE NORTH 00°28'27" WEST A DISTANCE OF 15.44 FEET TO A POINT; THENCE NORTH 64°07'56" EAST A DISTANCE OF 33.40 FEET TO A POINT; THENCE SOUTH 58°49'01" EAST A DISTANCE OF 37.52 FEET TO A POINT; THENCE NORTH 53°49'35" EAST A DISTANCE OF 76.84 FEET TO A POINT; THENCE SOUTH 38°19'44" EAST A DISTANCE OF 55.10 FEET TO THE POINT OF BEGINNING CONTAINING 0.46 ACRES OR 19,972 SQUARE FEET MORE OR LESS. SUBJECT TO ANY RIGHT-OF-WAY OR EASEMENTS OF RECORD.

PARCEL # 815-29630-000

Layman's Description: 756 Old Wire Rd, Springdale, AR-72764

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

**FROM** (current zoning) I-1

**TO** (proposed zoning) P-1

The **Petitioner's** immediate intentions are to:

1. **Sell** the property YES (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title YES (Yes or No).
2. **Develop** the property NO (Yes or No), and if so, the proposed use is \_\_\_\_\_.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: NONE; THERE'S ALREADY A CHURCH NEXT DOOR (NORTHEAST)

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: \_\_\_\_\_

PETITIONER/OWNER **SIGNATURE** Leely Suen

MAILING ADDRESS: 3418 Sunset Ave Suite C

TELEPHONE: 479-871-4221 DATE: 2/3/20

# VERIFICATION

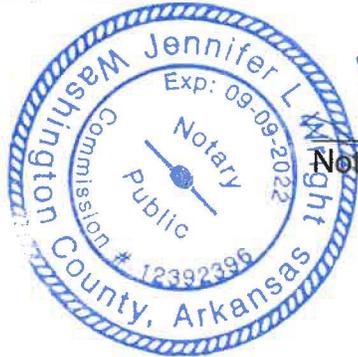
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

**SIGNATURE**  
(Property Owner)

by *Kelly G. [Signature]*  
(Property Owner)

State of Arkansas            )  
  ) ss.  
County of Washington     )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 3<sup>rd</sup> day of February, 2020.



*Jennifer L. [Signature]*  
Notary Public

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-09 Rezone

A request by Ricardo and Amanda Ballesteros for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing 3 acres.

## LOT LOCATION AND SIZE

The 3 acre tract is located at 5014 Har-Ber Avenue, north side of Har-Ber Avenue, west of 48<sup>th</sup> Street.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling and a detached commercial structure. The area to the north is undeveloped in C-5 zoning. The area to the east and south contain residential uses with accessory structures in A-1 zoning. The area to the west contains a church as a conditional use and commercial uses in C-2 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates commercial use.

The Master Street Plan indicates Har-Ber Avenue as a major collector.

## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

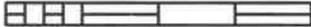
Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



0 25 50 100 150 200  
 Feet  
For Location Reference Only

**FILE NO. R20-09**  
**APPLICANT: Ricardo & Amanda Ballesteros**  
**REQUEST: Rezone from A-1 to C-2**

PLANNING COMMISSION MEETING  
March 3, 2020

File No. R20-09

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Ricardo Ballesteros & Amanda Ballesteros  
The record property owner(s), petitioning to rezone the following described area:

Legal Description: See attached Exhibit D

479-619-9117  
479 313-3665

RECEIVED  
FEB 06 2020  
PLANNING OFFICE  
CITY OF SPRINGDAL

Layman's Description:

The Petitioner hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The Petitioner requests the following zoning classification:

FROM (current zoning) A-1

TO (proposed zoning) C-2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. **Develop** the property NO (Yes or No), and if so, the proposed use is \_\_\_\_\_
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: It should be minimum effect propose bussines will be by appointments only

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: \_\_\_\_\_

PETITIONER/OWNER: Ricardo Ballesteros

MAILING ADDRESS: 5014 Har-ber Ave Springdale AR 72762

TELEPHONE: (479) 619 9117 DATE: \_\_\_\_\_



+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-10 Rezone

A request by Adams Family Properties, LLC for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing acres.

## LOT LOCATION AND SIZE

The .66 acre tract is located at 1641 Butterfield Coach Road, northeast corner of the intersection of Butterfield Coach Road and Green Acres Road.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
		Interior	Exterior				
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

## ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

## SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

## HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

## AREA REGULATIONS

### SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

## GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

## OFF-STREET PARKING

See Article 7 of this chapter.

## SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north and south contain single family dwellings in A-1 zoning. The tract to the east contains a duplex in A-1 zoning. The area to the west contains commercial uses in C-2 and school district owned property in C-2 and A-1 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates commercial use.

The Master Street Plan indicates Butterfield Coach Road as a major collector.

## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

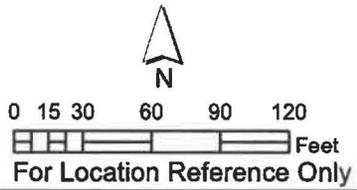
Encourage the development of office and professional uses that provide a transition between residential areas and more intense uses, with reasonable building height limitations and adequate buffering and landscaping to ensure compatibility.



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location

**FILE NO. R20-10**  
**APPLICANT: Adams Family Properties, LLC**  
**REQUEST: Rezone from A-1 to C-2**

PLANNING COMMISSION MEETING  
March 3, 2020



File No. R20-10

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Adams Family Properties, LLC  
The record property owner(s), petitioning to rezone the following described area:

**Legal Description:**

Lot 3, Green Acres Estates Subdivision to the City of Springdale, AR.

Layman's Description: 1641 Butterfield Coach Road, Springdale, AR 72764

**The Petitioner hereby states by oath that:**

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

**The Petitioner requests the following zoning classification:**

FROM (current zoning) A1  
TO (proposed zoning) C2

**RECEIVED**  
FEB 06 2020  
PLANNING OFFICE  
CITY OF SPRINGDALE

The Petitioner's immediate intentions are to:

1. Sell the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. Develop the property No (Yes or No), and if so, the proposed use is \_\_\_\_\_
3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None or Minimal - Since this property is on Butterfield Coach Rd.

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: \_\_\_\_\_

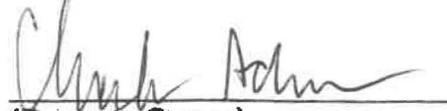
PETITIONER/OWNER: Adams Family Properties, LLC by Charlie Adams

MAILING ADDRESS: 3885 Julio Road, Springdale, AR 72764

TELEPHONE: 479-536-4418 DATE: \_\_\_\_\_

## VERIFICATION

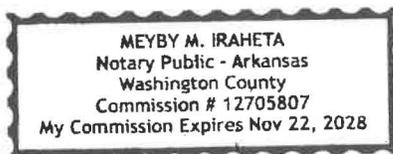
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

  
(Property Owner)

  
(Property Owner)

State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this February day of  
6th, 2020.



  
Notary Public

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-11 Rezone

A request by Leo Dale Montgomery for Planning Commission approval of a zone change from Agricultural District (A-1) to Neighborhood Office District (O-1) for a tract of land containing acres.

## LOT LOCATION AND SIZE

The .94 acre tract is located at 6308 Har-Ber Avenue, north side of Har-Ber Avenue at the intersection of Ireland Street.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The rezoning application requests an O-1 Neighborhood Office district. The district is designed to provide for an orderly conversion of older structures that are no longer useful, serviceable or desirable in their present uses to office use. It anticipates that office uses will be located in established areas of the city and in close proximity to apartments and other residential uses with limits to a maximum structure size of five thousand (5000) square feet. New construction designed to reinforce existing desirable characteristics of the neighborhood and not detrimental to the continued use of surrounding properties for residential purposes may also be accommodated in this district.

Uses permitted: - 1, 8, 10, 11, 16, 28, 29  
 Conditional Uses Permitted on Appeal: - 2, 3, 9, 27

**ACCESSORY USES**

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

1. Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
2. Private greenhouses and horticultural collections.
3. Flower and vegetable gardens.
4. Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an O-1 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed two stories.

**AREA REGULATIONS**

a. Residential uses

1. LOT AREA. There shall be a lot area of not less than seven thousand (7,000) square feet for a single family dwelling and twelve thousand (12,000) square feet for a duplex. In addition, there shall be a minimum lot width of not less than sixty (60) feet on a public street at the front setback line for a single family dwelling, and seventy (70) feet on a public street at the front setback line for a duplex.
2. FRONT SETBACK. There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
3. SIDE SETBACK. There shall be a side setback on each side of the building having a width of not less than ten (10) feet. The side setback shall be subject to applicable fire and building codes.
4. REAR SETBACK. There shall be a rear setback having a depth of not less than twenty (20) feet.

1. Office Uses

(1) SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	10'
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot (non residential use only) shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

## SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north and east contains a golf course in A-1 zoning. The area to the south contains single family dwelling in a PUD zoning and the area to the west contains a single family dwelling in A-1 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates low density residential use.

The Master Street Plan indicates Har-Ber Avenue as a major collector.

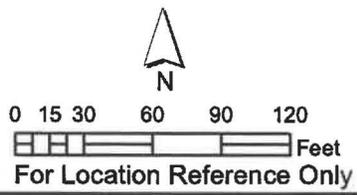
## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Encourage the development of office and professional uses that provide a transition between residential areas and more intense uses, with reasonable building height limitations and adequate buffering and landscaping to ensure compatibility.



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



**FILE NO. R20-11**  
**APPLICANT: Leo Dale Montgomery, Trustee**  
**REQUEST: Rezone from A-1 to O-1**

PLANNING COMMISSION MEETING  
March 3, 2020

File No. \_\_\_\_\_

R20-11

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by LEO DALE MONTGOMERY, TRUSTEE  
The record property owner(s), petitioning to rezone the following described area:

Legal Description:

See ATTACHMENT A

Layman's Description:

6308 HAR-BER Ave  
Springdale, Arkansas 72762

The Petitioner hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The Petitioner requests the following zoning classification:

FROM (current zoning) A-1

TO (proposed zoning) O-1

The Petitioner's immediate intentions are to:

1. Sell the property YES (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title Yes (Yes or No).

2. Develop the property \_\_\_\_\_ (Yes or No), and if so, the proposed use is \_\_\_\_\_.

3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: No effect on adjoining property

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: T. WAYNE VANHOOK

Address: 6636 W. SUNSET AVE, SPRINGDALE, AR

PETITIONER/OWNER: LEO DALE MONTGOMERY

MAILING ADDRESS: 607 CRESTWOOD ST

TELEPHONE: 479-601-6660 DATE: 2/11/2020

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

*Leo Dale Montgomery Trustee*  
(Property Owner)

\_\_\_\_\_  
(Property Owner)

State of Arkansas        )  
  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 11<sup>th</sup> day of February, 2020.

*Darlene Marie Vanhook*  
Notary Public

DARLENE MARIE VANHOOK  
WASHINGTON COUNTY  
NOTARY PUBLIC - ARKANSAS  
My Commission Expires July 01, 2024  
Commission No. 12399412

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** March 3, 2020  
**Re:** R20-12 Rezone

A request by Brenda Lazenby for Planning Commission approval of a zone change from Agricultural District (A-1) to Medium Density Multi-family Residential District (MF-12) and Thoroughfare Commercial District (C-50) for a tract of land containing 19 acres.

## LOT LOCATION AND SIZE

The 19 acre tract is located at 3018 East Robinson Avenue, north side of Robinson Avenue, west of Butterfield Coach Road.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The rezoning application requests a MF-12 Medium Density Multi-family Residential District. The district is established to provide areas for development allowing more units per structure and a higher density. Provides more compact residential development, and promotes more efficient use of land and utilities, and the development of less expensive housing on smaller lots.

Uses permitted: - 1, 8, 10, 11, 13, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 12, 28

Temporary Uses – 34

**ACCESSORY USES**

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.

- (3) Flower and vegetable gardens.
- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an MF-12 district, except for Use Unit 28 home occupation a site plan review shall be required. See Article 6, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than six thousand (6,000) square feet for a single family dwelling; ten thousand five hundred (10,500) square feet for a duplex; fourteen thousand (14,000) for a triplex; twenty thousand (20,000) for a four-plex and twenty thousand (20,000) plus two thousand five hundred (2,500) for each unit over five. In addition, there shall be a minimum lot width of not less than sixty (60) feet for a one family; seventy (70) feet for a two family; eighty (80) feet for a three family or larger on a public street.
- (2) **DENSITY -** 12 units per acres
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS			SETBACKS				
	Widths		Area	Front	Back	Side		
						Interior	Corner	
							Interior	Exterior
One Family	60		6,000	30	20	8/8	8	30
Two Family	70		10,500	30	20	8/8	8	30
Three Family	80		14,000	30	20	8/8	8	30
Four Family	80		20,000	30	20	8/8	8	30
Four or more families	80		+20,000 2,500/unit					
Zero Lot Line	60		as above	30	20	16/0	16/0	30
Townhouse	Interior	Corner/end						
	20	50/28		30	20	8/0	8	30

**BUILDING AREA**

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**OFF-STREET PARKING**

See Article 7 of this chapter.

### LANDSCAPED OPEN SPACE

On any lot, there shall be a minimum of ten (10) percent of landscaped open space in accordance with Article 6 Section 2.16 of this chapter.

### MULTIFAMILY PLAY AREAS

See Article 6 Section 2.17 of this chapter.

### AND

The requested zoning of this tract is a C-5 thoroughfare commercial district. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations, and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping center since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38

Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35

Temporary Uses: - 32

### DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.
- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that is cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
  - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
  - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
  - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
  - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

### ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

## SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

## HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

## AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

### SETBACKS:

Front setback	30'	
Front setback if parking is allowed between R-O-W and the building	50'	
Side setback applicable fire and building codes)	0	(subject to
Side setback when contiguous to a residential district	20'	
Rear setback	20'	

## GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

## OFF-STREET PARKING

See Article 7 of this chapter.

## SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling and accessory structures. The area to the north and west contain residential uses in SF-2 and MF-4 zoning. The area to the east is vacant and zoned MF-12. The area to the south contains commercial uses in C-2 and C-6 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates commercial.

The Master Street Plan indicates Robinson Avenue as a principal arterial.

## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Allow an increase to medium or high density residential use when land value prevents economical development of low density residential.



**FILE NO. R20-12**  
**APPLICANT: Brenda Lazenby**  
**REQUEST: Rezone from A-1 to C-5 & MF-12**

PLANNING COMMISSION MEETING  
 March 3, 2020

0 50 100 200 300 400  
 Feet  
 For Location Reference Only

File No. R20-12

## PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale code of Ordinances, as amended, by Brenda J. Lazenby, the record property owners, petitioning to rezone the following described area:

Legal Description:

See Attached Legal Description

Layman's Description: 3018 East Robinson Avenue, which is approximately 19 acres situated along the north side of East Robinson Avenue (US Highway 412). Property is located approximately 150 feet east of Apple Butter Street and approximately 700 feet west of Butterfield Coach Road in Springdale, Washington County, Arkansas.

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and addresses of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classifications:

FROM (current zoning) A-1 (Agricultural District)

TO (proposed zoning) MF-12 (Medium Density Multi-Family Residential District) and C-5 (Thoroughfare Commercial)

The **Petitioner's** immediate intentions are to:

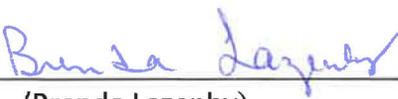
1. **Sell** the property YES (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, or other contract for conveyance of title NO (Yes or No).
  
2. **Develop** the property NO (Yes or No), and if so, the proposed use is N/A.
  
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None anticipated—purpose is to help sell property and no immediate development is proposed. Requested residential district is flexible in uses allowed and is the same district as the neighboring property to the east. Commercial district is appropriate for property along Highway 412 and is compatible with the existing uses and districts of other properties along Hwy. 412 in this area.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Daniel Lazenby

Address: 9984 Philpott Road, Bentonville, AR 72713

PETITIONER/OWNER:   
(Brenda Lazenby)

MAILING ADDRESS: 3018 East Robinson Avenue, Springdale, AR 72764

TELEPHONE: (479) 530-6224

DATE: February 11, 2020

## VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

*Brense Lazard*

\_\_\_\_\_  
(Property Owner Signature)

\_\_\_\_\_  
(Property Owner Signature)

State of Arkansas            )  
  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 12<sup>th</sup> day of February, 2020.

*[Handwritten Signature]*  
\_\_\_\_\_  
Notary Public



# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: March 3, 2020  
Re: **C20-06**

A request by Kenzie Tucker for a Conditional Use Permitted on Appeal as a Use Unit 28 (Home Occupation) in a Low/Medium Single Family Residential District (SF-2).

## LOCATION

4303 Kendra Avenue

## EXISTING CONDITIONS

Single Family Dwelling

SITE PLAN REVIEW REQUIRED:  Yes  No

## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

**Acceptable** Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

**Acceptable** Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

**Acceptable** Refuse and service areas, with particular reference to the item in 1 and 2 above.

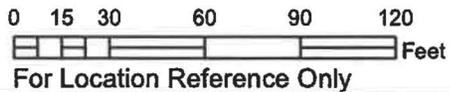
<b>Acceptable</b>	Utilities, with reference to locations, availability and compatibility.
<b>N/A</b>	Screening and buffering with reference to type, dimension and character.
<b>Not allowed</b>	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
<b>Acceptable</b>	Yard requirements and other open space requirements.
<b>Acceptable</b>	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
<b>Acceptable</b>	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
<b>Acceptable</b>	General compatibility with adjacent properties and other property in the general district: <b>with the following conditions</b>
	<ol style="list-style-type: none"> <li>1. No alteration of the outside appearance of the residential structure or provision of a separate outside entrance for the business areas of the residential structure.</li> <li>2. No outside storage of materials required for the operation of the business.</li> <li>3. Operated only by the resident members of the household and shall not have any employees, concessionaires or any other form of operator or helper whether such business is conducted on the premises or off the premises.</li> <li>4. Requires the use of an area no greater than thirty (30) percent of the total heated living space of the residential structure.</li> <li>5. Generates no traffic, parking, and sewage or water use in excess of what is normal in the residential neighborhood.</li> <li>6. Will not produce any fumes, odors, noise or any other offensive effects that are not normal to residential activity.</li> <li>7. Will not involve accessory buildings.</li> <li>8. Stock in trade shall not exceed ten (10) percent of the floor area of the accessory use.</li> <li>9. Will not require the construction of a duplicate kitchen, or the addition to the existing kitchen.</li> <li>10. Will not require or cause the consumption on the premises of any food product produced thereon.</li> <li>11. Will not provide medical treatment, therapeutic massage or similar activities</li> </ol>



Public Hearing Sign Posted Prior/On: 2/14/2020

Public Hearing Sign Posted By: RB

Public Hearing Sign Location 



**FILE NO. C20-06**  
**APPLICANT: Kenzie Tucker**  
**REQUEST: Conditional Use Unit 28**

PLANNING COMMISSION MEETING  
March 3, 2020

APPLICATION FOR CONDITIONAL USE  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Kenzie Tucker  
Address: 4303 Kendra Ave.  
Springdale, AR 72762  
Phone: (479) 283-2724 Profit:  Profit  Non-Profit
2. Property Location (street address or layman's description):  
4303 Kendra Ave.  
Springdale, AR 72762
- \* 3. Record Title Holder of Property: Robert Tucker (husband)  
(A copy of the warranty deed should be attached as Exhibit "A")
- \* 4. Use Unit requested 28 in SF2 Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
I would like to begin a small business selling homemade items on Etsy. I would sew and paint and use computer software to create personalized items for customers' homes and clothing for sale.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
This would be based in my craft room (spare bedroom) and would be unknown / unseen by any neighbors or effect the neighborhood in any way.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
- \* 8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
- \* 9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

\* 10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

[Handwritten Signature]

Kenzie Lucken

\_\_\_\_\_

\_\_\_\_\_

Date: 2/7/20

Date: 2/7/20

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Kenzie Lucken Kenzie Lucken  
[Handwritten Signature]

State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 7 day of February, 2020.

Amanda Derheim  
Notary Public

My commission expires: 09/01/2025



# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: March 3, 2020  
Re: **C20-07**

A request by Rebecca V. Soto for a Conditional Use Permitted on Appeal as a Use Unit 44 (Mobile Vending) in a General Commercial District (C-2).

## LOCATION

1101 S. Thompson

## EXISTING CONDITIONS

Commercial Building – Box 10

SITE PLAN REVIEW REQUIRED:   X   Yes \_\_\_\_\_ No

## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

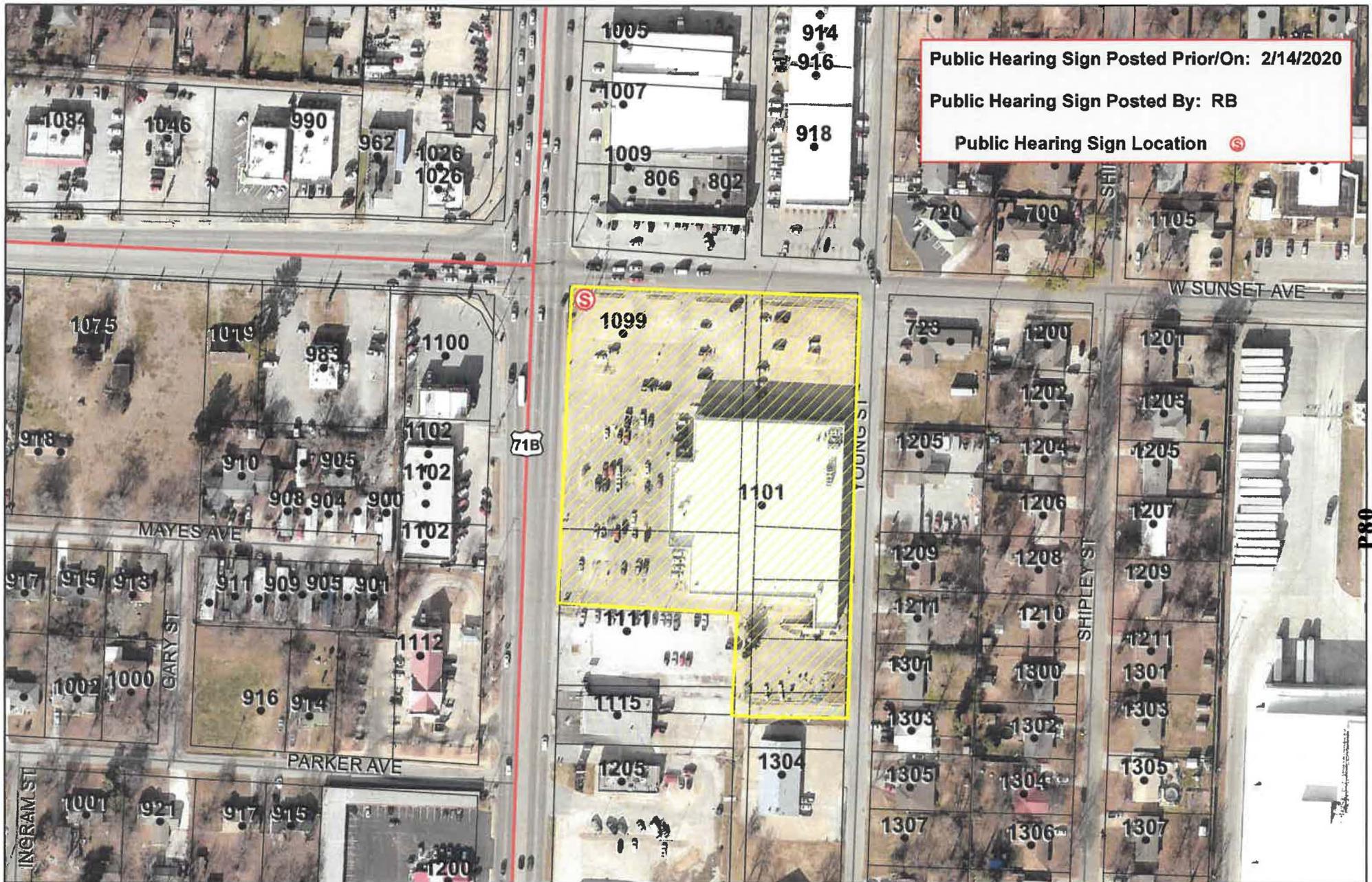
The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

**Acceptable** Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

**Acceptable** Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

**Acceptable** Refuse and service areas, with particular reference to the item in 1 and 2 above.  
**Need to show on site plan**

<b>Acceptable</b>	Utilities, with reference to locations, availability and compatibility.
<b>N/A</b>	Screening and buffering with reference to type, dimension and character.
<b>Unknown not shown on Site plan</b>	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
<b>Acceptable</b>	Yard requirements and other open space requirements.
<b>Acceptable</b>	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
<b>Acceptable</b>	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
<b>Acceptable</b>	General compatibility with adjacent properties and other property in the general district <b>with the following conditions:</b> <ol style="list-style-type: none"> <li><b>1. May not operate between the hours of 10:00 p.m. and 7:00 a.m.</b></li> <li><b>2. If a health certificate is required, display the health certificate in a manner visible to customers</b></li> <li><b>3. No obstruction of pedestrian or motor vehicle traffic flow</b></li> <li><b>4. No obstruction of traffic signals or regulatory signs</b></li> <li><b>5. No vending upon a public way</b></li> <li><b>6. No sound device that produces a loud and raucous noise in violation of city ordinance, or violate any other city ordinances in connection with the vending operation.</b></li> <li><b>7. Sites to remain clean and free of paper or refuse of any kind generated from the operation of the business with all trash or debris accumulating with twenty (20) feet of any vending stand to be collected and deposited into a trash container.</b></li> </ol>



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location S

**FILE NO. C20-07**  
**APPLICANT: Rebecca Soto**  
**REQUEST: Conditional Use Unit 44 (Mobile Vending)**

**PLANNING COMMISSION MEETING**  
March 3, 2020

  
0 30 60 120 180 240  
Feet  
For Location Reference Only

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Rebecca V. Soto  
 Address: 204 Brock Rd.  
Pineville M.O. 64856  
 Phone: (626) 324-2835 Profit:  Non-Profit
2. Property Location (street address or layman's description):  
1101 S. Thompson St  
Springdale AR 72762
3. Record Title Holder of Property: \_\_\_\_\_  
 (A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested 44 in C-2 Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
We are offering a authentic handcrafted food that the  
City of Springdale's residents absolutely enjoy. This would be  
a great asset to Springdale. The City of Springdale. I am  
thankful for the opportunity to bring business here, and  
offer our tax income to contribute to this already great city.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
Happy Residents in The City of Springdale to serve them  
delicious Fresh Hot Churros right in town.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

  
\_\_\_\_\_  
PIDB, LLC

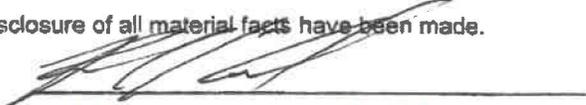
  
\_\_\_\_\_

Date: 1-3-2020

Date: 02-11-2020

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

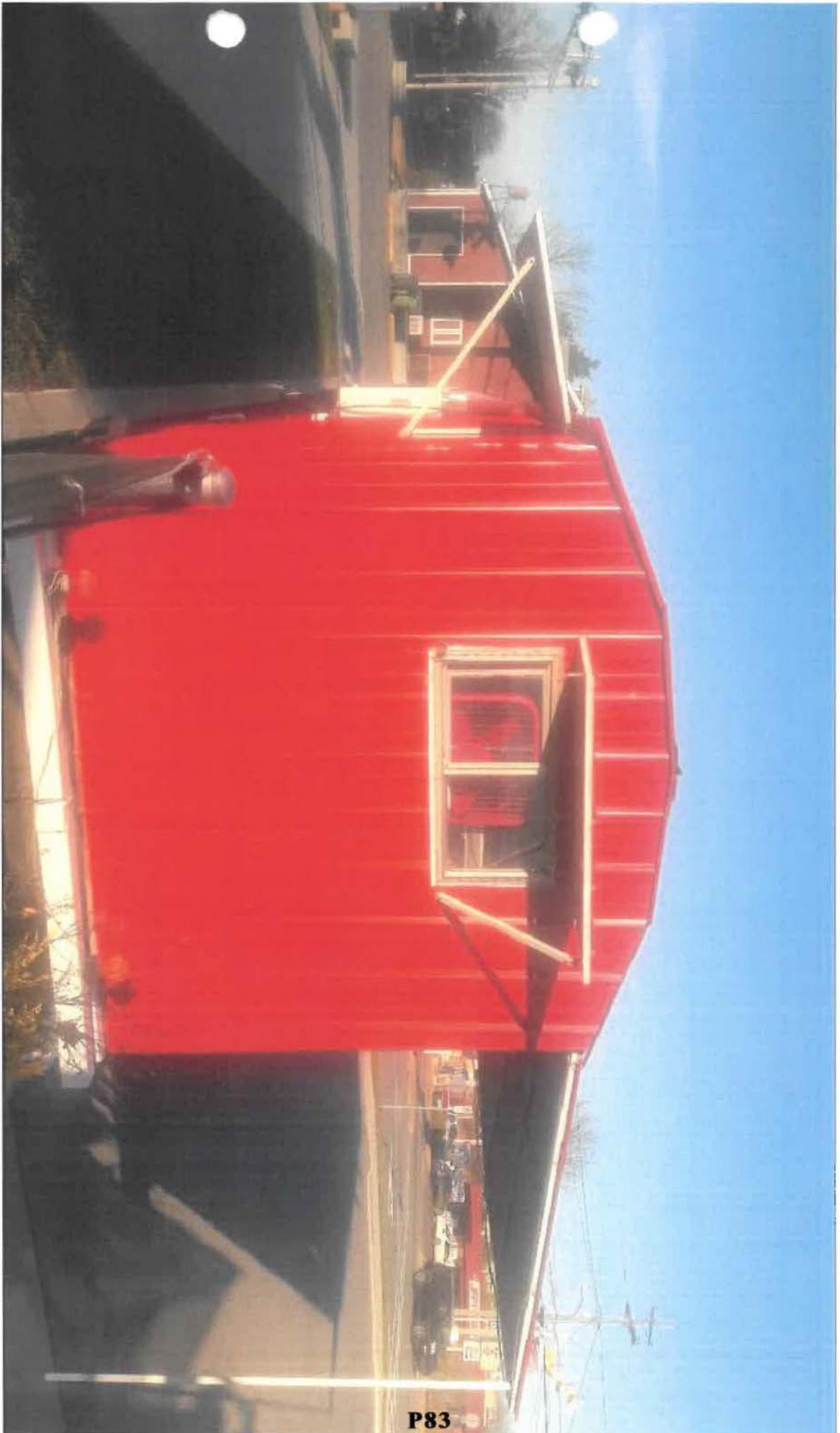
  
\_\_\_\_\_  
Miles Kimbel, PIDB, LLC

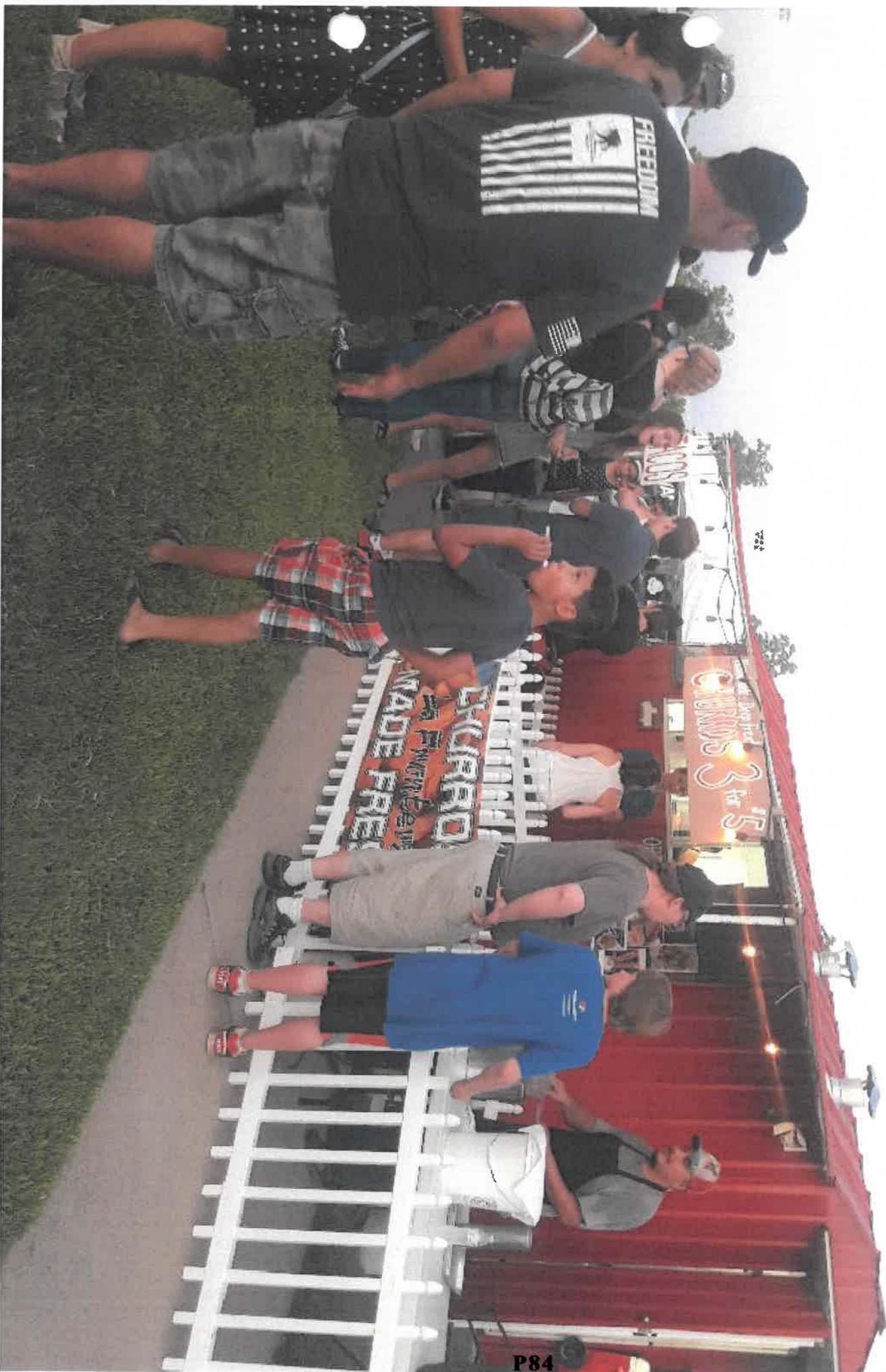
State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 3<sup>rd</sup> day of January, 2020.

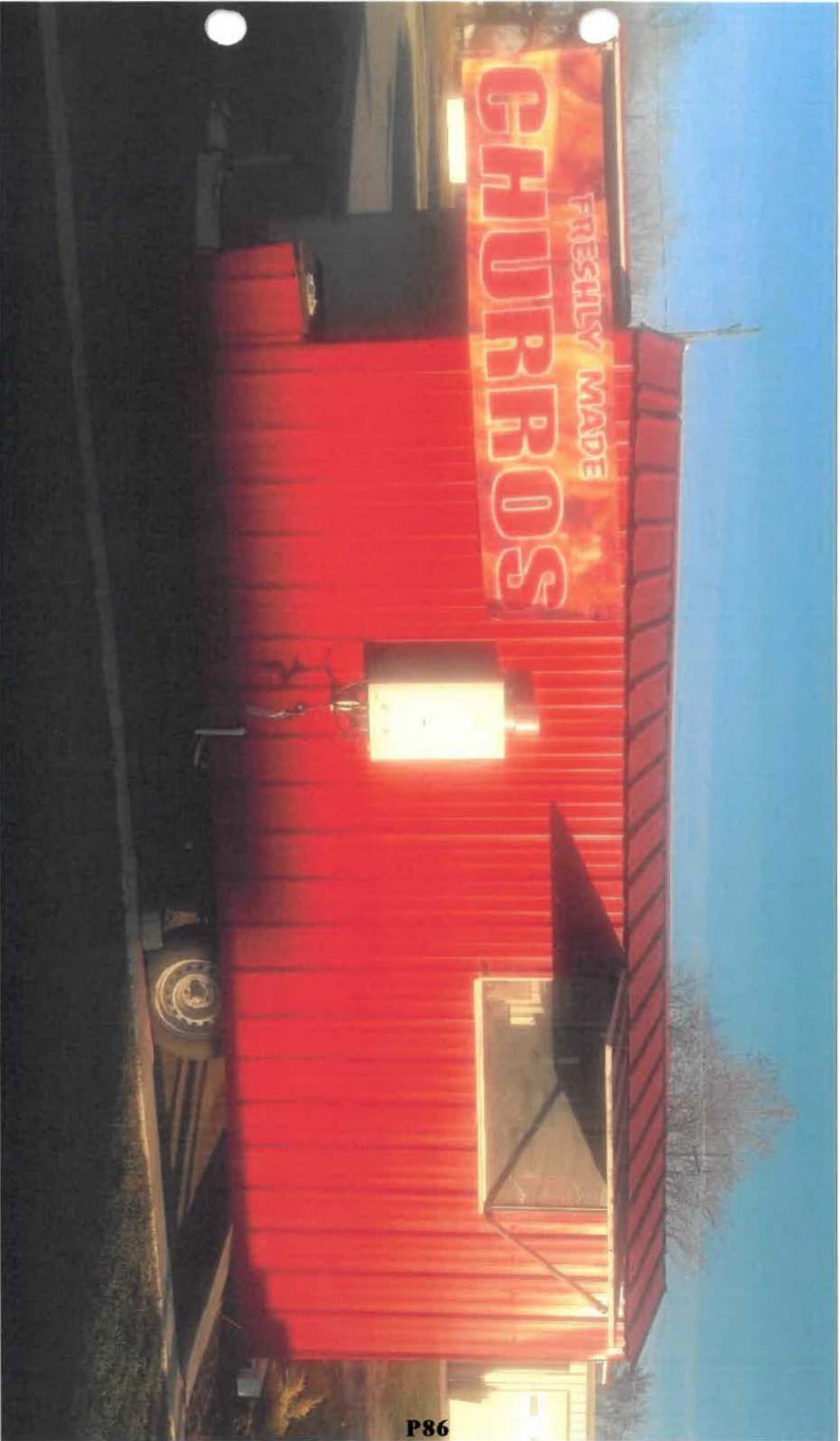
  
\_\_\_\_\_  
Notary Public

My commission expires: 5/13/2025











FRESH MILK  
Custard 2.99  
Custard 3.99  
Custard 4.99  
Custard 5.99  
Custard 6.99  
Custard 7.99



SOUTH THOMPSON STREET a.k.a. U.S. HWY. 7410 & U.S. HWY. 4120  
(THIRD OF FIVE VOLUMES)

SUNSET AVENUE  
(74' EIGHT BY 143' PER  
MASTER STREET PLAN)

**LOTS 1 - 7 & LOTS 28 - 31 OF  
BLOCK 6, CARTER ADDITION  
CITY OF SPRINGDALE  
3.60 AC. ± (156,896 SQ. FT.)**

PARCEL NO. 815-20865-001, 815-20865-002,  
815-20867-000, 815-20868-000, 815-20868-001  
& 815-20863-000

**EXISTING BUILDING**  
- 45,170 SQ. FT.  
- 100' HIGH  
- 100' WIDE  
- 100' DEEP  
- 100' TALL  
- 100' WIDE  
- 100' DEEP  
- 100' TALL

LOT 1

LOT 4

LOT 5

LOT 11

YORLING STREET  
10' WIDE OR 10' HIGH  
10' WIDE OR 10' HIGH

# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: March 3, 2020  
Re: **C20-08**      **Conditional Use**

A request by Arkansas JRD Church ( Carter Anien) for a Conditional Use Permitted on Appeal as a Use Unit 42 (Church/Synagogue) in a General Commercial District (C-2).

## LOCATION

3430 W. Sunset

## EXISTING CONDITIONS

Commercial Structure, surrounded by commercial uses

SITE PLAN REVIEW REQUIRED:  Yes  No

## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

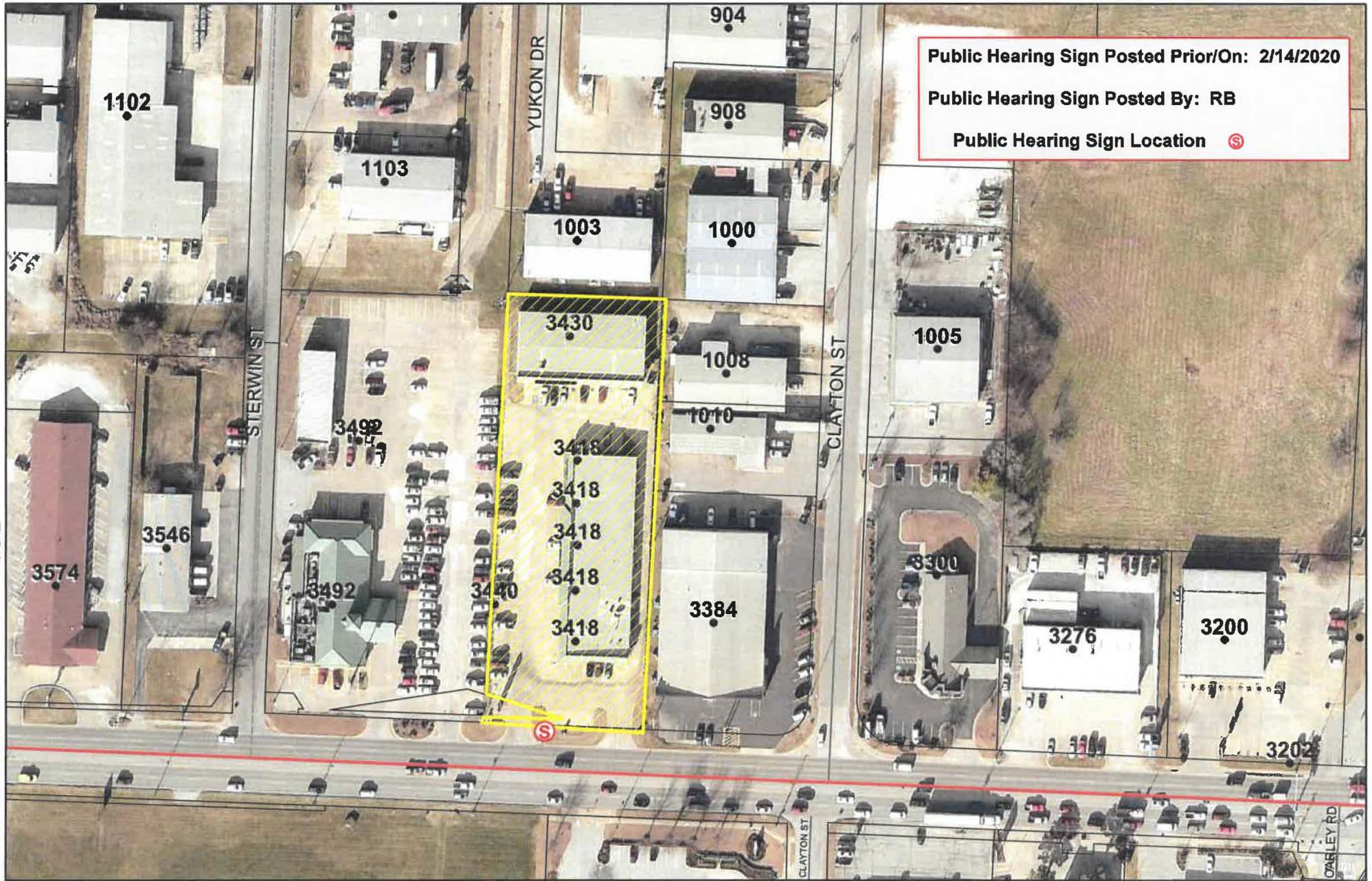
The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

**Acceptable**      Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

**Acceptable**      Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

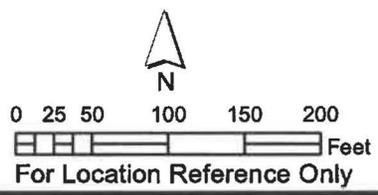
**Acceptable**      Refuse and service areas, with particular reference to the item in 1 and 2 above.

<b>Acceptable</b>	Utilities, with reference to locations, availability and compatibility.
<b>N/A</b>	Screening and buffering with reference to type, dimension and character.
<b>Unknown</b>	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
<b>Acceptable</b>	Yard requirements and other open space requirements.
<b>Acceptable</b>	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
<b>N/A</b>	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
<b>Acceptable</b>	General compatibility with adjacent properties and other property in the general district <b>with the following conditions – modification to the building as outlined by Building Department, signed parking agreements provided.</b>



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 

P91



**FILE NO. C20-08**  
**APPLICANT: Arkansas JRD Church**  
**REQUEST: Conditional Use Unit 42 (Church Synagogue)**

PLANNING COMMISSION MEETING  
March 3, 2020

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: ARKANSAS JRD CHURCH (CARTER, ANIEN)  
Address: 2008 KEITH CIRCLE APT. A SPRINGDALE  
ARKANSAS 72764  
Phone: 479-347-0445 347-0445 Profit:  Non-Profit

2. Property Location (street address or layman's description):  
3430 WEST SUNSET SPRINGDALE AR 72764

3. Record Title Holder of Property: \_\_\_\_\_  
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested CHURCH/42 in C-2 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:  
BUILT FOR CHURCH BUILDING

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
NONE

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

~~Carter Auiem CA~~  
[Signature]

Signature of Applicant

Carter Auiem  
[Signature]

Date: FEB-10-2020

Date: FEB-10-2020

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

[Signature]  
Carter Auiem

State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 10<sup>th</sup> day of February, 2020.

[Signature]  
Notary Public

My commission expires: 12/5/2028

# Memo

To: PLANNING COMMISSION MEMBERS  
From: Patsy Christie, Planning Director  
Date: March 3, 2020  
Re: C20-09

A request by Integrisite for a Conditional Use Permitted on Appeal as a Use Unit 33 (Self-supporting tower or antenna structure or monopole) in an Agricultural District (A-1).

## LOCATION

760 Butterfield Coach Road, west side of Parson Road

## EXISTING CONDITIONS

The tract is undeveloped. The area to the north, south and west contains residential uses. The area to the east contains an industrial use.

SITE PLAN REVIEW REQUIRED:  Yes  No

## DEVELOPMENT STANDARDS AND REVIEW GUIDELINES

The following development standards and design specifications shall be applicable to the conditional use review and approval. The appropriateness of these standards shall be determined at the discretion of the planning commission and for each specific conditional use location.

**Acceptable** Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

**Acceptable** Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

**N/A** Refuse and service areas, with particular reference to the item in 1 and 2 above.

<b>Acceptable</b>	Utilities, with reference to locations, availability and compatibility.
<b>Acceptable</b>	Screening and buffering with reference to type, dimension and character.
<b>Acceptable</b>	Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.
<b>N/A</b>	Yard requirements and other open space requirements.
<b>Acceptable</b>	The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.
<b>Acceptable</b>	Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.
<b>Acceptable</b>	General compatibility with adjacent properties and other property in the general district <b>must meet standards outlined in Chapter 130 Article 6, section 3.14</b>

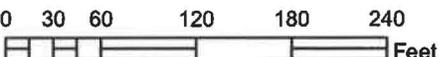


Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 

P96

**FILE NO. C20-09**  
**APPLICANT: Integrisite**  
**REQUEST: Conditional Use Unit 33**  
**(Self-Supporting Tower or Antenna) in A-1**

PLANNING COMMISSION MEETING  
March 3, 2020



0 30 60 120 180 240 Feet  
For Location Reference Only

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Integrisite  
Address: 214 Expo Circle, Ste 4  
West Monroe, LA 71292  
Phone: 318-267-2550 Profit: Non-Profit
2. Property Location (street address or layman's description):  
760 Butterfield Coach Rd, Springdale, AR
3. Record Title Holder of Property: Nancy L Fink  
(A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested 33 in A-1 Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
Proposed 100' Monopole with a 50'x50' compound  
To improve cellular coverage. (Prop maps coming)  
to the surrounding neighborhoods.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
Very minimal. The pole is only 100' and sits  
in the middle of a pasture. Approx. 300' from  
commons Ave and approx. 532' from Butterfield  
Coach Rd.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

**10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.**

**Signature of Record Property Owner**

*Nancy Fink*

**Signature of Applicant**

*[Signature]*

**Date**

*Feb. 11, 2020*

**Date**

*2/11/20*

**Verification**

**We the undersigned herewith state on solemn oath that we have read the attached application to a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.**

*Nancy Fink*  
*[Signature]*

State of Missouri )

County of Lawrence ) ss

Subscribed and sworn to before me, a Nancy Fink, this the 11<sup>th</sup>

Day of February 20 20

Renee J. Ray

Notary public

My commission expires May 26, 2023



RENEE J. RAY  
My Commission Expires  
May 26, 2023  
Greene County  
Commission #18942476

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: JUSTIN AND BOBBI LOONEY  
Address: 4721 CORY STREET, SPRINGDALE, AR. 72762

Phone: 479-215-9828 Profit:            Non-Profit

2. Property Location (street address or layman's description):  
4897 WHITTLE ROAD, SPRINGDALE, AR 72762

3. Record Title Holder of Property: JUSTIN AND BOBBI LOONEY  
(A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested Endea Lot split A-1 in A-1 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:  
WE ARE REQUESTING FOR THIS CONDITIONAL USE, BECAUSE OUR GRAND PARENTS HAVE A LIFE LEASE TO  
LIVE AND UTILIZE LOONEY DRIVE AS THEIR ACCESS INTO THE PROPERTY AS DESCRIBED IN THE CORRECTED  
MEMORANDUM OF AGREEMENT AND LEASE AS SHOWN IN THE ATTACHED SURVEY. THERE IS ALSO A WELL  
HOUSE JUST NORTH OF THE "OLD HOUSE" THAT THEY USE EXCLUSIVELY. IT WOULD BE AN EXTREME BURDEN  
SHOULD ANY OF THE TWO MENTIONED STRUCTURES HAVE TO MOVE OR BE DEMOLISHED.

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
WE DON'T BELIEVE THAT IT WOULD HAVE ANY ADVERSE EFFECTS ON THE CHARACTER OF THE  
NEIGHBORHOOD. THE "WELL HOUSE", "OLD HOUSE" AND "LOONEY DRIVE" HAVE BEEN MAINTAINED SINCE  
AT LEAST 2001.

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Bobbi Rooney*  
*Justin Lewis*  
\_\_\_\_\_  
\_\_\_\_\_

Date: \_\_\_\_\_

Date: *02/11/2020*

### VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

*Bobbi Rooney*  
*Justin Lewis*  
\_\_\_\_\_  
\_\_\_\_\_

State of Arkansas )  
County of *Washington* ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the *11<sup>th</sup>* day of *February*, 20 *20*.

*[Signature]*  
\_\_\_\_\_  
Notary Public

My commission expires: *2-3-2025*



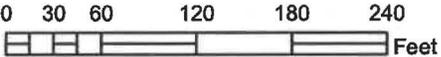
Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



P102

**FILE NO. C20-10**  
**APPLICANT: Justin & Bobbi Looney**  
**REQUEST: Conditional Use for a Tandem Lot Split at**  
**4897 Whittle Road**

PLANNING COMMISSION MEETING  
March 3, 2020



For Location Reference Only

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** March 3, 2020  
**RE:** RP20-03 Replat Lot 24 Oak Addition

---

## Planning Comments

1. No Further Comments

## Engineering Comments

- No comments.

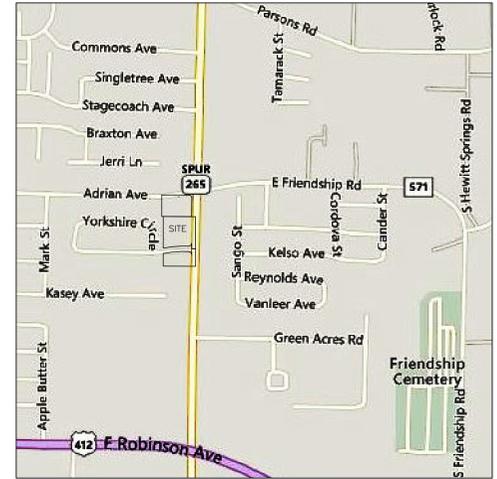
REPLAT OF LOT 24 OAK ADDITION PHASE XI & INFORMAL PLAT OF GILLIHAN S/D (SPLIT OF PARCEL 815-30488-000)



LINE	BEARING	DISTANCE
L1	S89°44'11"W	82.77'
L2	N89°59'49"E	82.48'
L3	N00°10'28"E	49.93'
L4	S00°10'28"W	50.07'
L5	N89°53'25"E	37.08'
L6	N00°04'26"W	7.74'
L7	N89°55'22"W	35.69'

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	525.00'	76.12'	S85°47'14"W	76.06'	8°18'28"
C2	25.00'	39.12'	S45°00'18"W	35.25'	89°39'33"
C3	25.00'	39.33'	S45°11'51"E	35.40'	90°08'31"
C4	475.00'	68.41'	N85°34'35"E	68.35'	8°15'06"
C5	25.00'	39.31'	S44°56'34"E	35.38'	90°05'23"

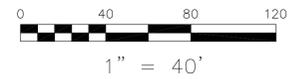
OWNER: BETTY KAY GILLIHAN  
 ADDRESS: 1380 & 1436 BUTTERFIELD COACH ROAD  
 SPRINGDALE, ARKANSAS  
 PARCEL: 815-32125-000 & 815-30488-000  
 ZONING: GENERAL COMMERCIAL DISTRICT (C-2)  
 BASIS OF BEARINGS: PLAT OF STONEHENGE SUBDIVISION  
 PLAT BOOK 13, PG. 37  
 LAND RECORDS OF WASHINGTON  
 COUNTY, ARKANSAS  
 STATE LAND SURVEYOR FILE CODE  
 500-17N-29W-0-05-310-72-1005



VICINITY MAP

**BUILDING SETBACKS (C-2 GENERAL COMMERCIAL DISTRICT)**  
 FRONT SETBACK - 30'  
 FRONT SETBACK IF PARKING IS ALLOWED BETWEEN R/W AND THE BUILDING - 50'  
 SIDE SETBACK (SUBJECT TO APPLICABLE FIRE CODES) - 0'  
 SIDE SETBACK WHEN CONTIGUOUS TO A RESIDENTIAL DISTRICT - 20'  
 REAR SETBACK - 20'

**GREENSPACE (C-2 GENERAL COMMERCIAL DISTRICT)**  
 1) A LANDSCAPED BUFFER, NOT LESS THAN TEN (10) FEET WIDE, ALONG THE FRONT PROPERTY LINE. WHEN ADJACENT TO THE PROPERTY LINE OF A RESIDENTIAL USE A FIVE (5) FOOT LANDSCAPED AREA AND A SIX (6) FOOT OPAQUE SCREEN SHALL BE REQUIRED.  
 2) LANDSCAPING, INCLUDING GRASS, SHRUBS AND TREES, AND WITHOUT STRUCTURE OR PAVEMENT, OF A MINIMUM OF TEN (10) PERCENT OF THE TOTAL SURFACE AREA OF THE LOT OR DEVELOPMENT.



LEGEND

⊠	AC UNIT	⊙	FIBER OPTICS SIGN	⊙	SANITARY SEWER MANHOLE
⊕	BACKFLOW VALVE	⊕	FIRE HYDRANT	⊕	SATELLITE DISH
⊕	BOLLARD POST	⊕	FIRE SPRINKLER	⊕	SEPTIC TANK LID
⊕	BUGGY AXLE	⊕	FLAG POLE	⊕	SET ALUMINUM MONUMENT
⊕	CABLE BOX	⊕	GAS LINE SIGN	⊕	SET COTTON SPINDLE
⊕	CABLE TV PEDESTAL	⊕	GAS METER	⊕	SET STAKE ON LINE
⊕	CHISLED 'X'	⊕	GAS STUB	⊕	SET 1/2" IRON REBAR
⊕	COMPUTED POINT	⊕	GAS REGULATOR	⊕	STATE MONUMENT
⊕	CONC. MONUMENT	⊕	GENERATOR	⊕	STONE MONUMENT
⊕	C.O.E. MONUMENT	⊕	GROUND LIGHT	⊕	STORM DRAIN MANHOLE
⊕	DOWN GUY	⊕	IRRIG. CONTROL VALVE	⊕	STREET SIGN
⊕	DRAIN GRATE	⊕	JUNCTION BOX	⊕	T-POST
⊕	ELECTRIC BOX	⊕	LAMP POST	⊕	TELEPHONE BOX
⊕	ELECTRIC METER	⊕	MAIL BOX	⊕	TELEPHONE PEDESTAL
⊕	ELECTRIC PEDESTAL	⊕	PARKING SIGN	⊕	TEMPORARY BENCHMARK
⊕	EXIST. ALUM. CAPPED MON.	⊕	PAY PHONE	⊕	TRAFFIC SIGNAL BOX
⊕	EXIST. COTTON SPINDLE	⊕	POWER POLE	⊕	TRANSFORMER BOX
⊕	EXISTING IRON PIPE	⊕	PROPANE TANK	⊕	TREE
⊕	EXISTING IRON REBAR	⊕	RAILROAD SPIKE	⊕	WATER LINE SIGN
⊕	EXISTING NAIL	⊕	READING	⊕	WATER METER
⊕	FENCE POST	⊕	RIGHT OF WAY MONUMENT	⊕	WATER SPIGOT
⊕	EXIST. IRON IN CONCRETE	⊕	SANITARY SEWER CLEANOUT	⊕	WATER VALVE
---	CENTERLINE ROAD	---	EASEMENT LINE	---	
---	RIGHT-OF-WAY LINE	---	BUILDING SETBACK LINE	---	
---	BARBED-WIRE FENCE	---	OVERHEAD ELECTRIC LINE	---	
---	CHAIN-LINK FENCE	---	UNDERGROUND ELECTRIC LINE	---	
---	PRIVACY FENCE	---	GAS LINE	---	
---	WIRE FENCE	---	SANITARY SEWER LINE	---	
---	MAJOR CONTOUR INTERVAL	---	STORM SEWER LINE	---	
---	MINOR CONTOUR INTERVAL	---	TELEPHONE LINE	---	
---	BUILDING LINE	---	WATER LINE	---	
---	FIBER-OPTICS LINE	---	PROPERTY LINE	---	
---	DITCH/WATER LINE	---		---	

TOTAL ACRES  
 (815-32125-000 & 815-30488-000)  
 4.17± ACRES

**FLOOD DESIGNATION:**  
 THIS PROPERTY DOES NOT LIE IN ZONE 'A/AE' (SPECIAL FLOOD HAZARD AREAS INUNDAED BY 100-YEAR FLOOD) AND SHADED ZONE 'X' AS DETERMINED FROM THE F.I.R.M. MAP OF WASHINGTON COUNTY, ARKANSAS, AND INCORPORATED AREAS, MAP NUMBER 05143C0090 F, EFFECTIVE DATE MAY 16, 2008.

⊠ = R-0-W DEDICATED BY THIS PLAT (0.39± ACRES)  
 LINEAR FOOTAGE OF STREET DEDICATION IS 462.09'

PLAT NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE:

EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE TITLE SEARCH MAY DISCLOSE.

THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDED THE SEAL AND SIGNATURE OF THE SURVEYOR.

THIS SURVEY MEETS OR EXCEEDS THE CURRENT "ARKANSAS MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND PLATS".

DECLARATION IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY.

SHEET	JOB NO.	REVISIONS			DATE	DRAFTSMAN
		DATE	DESCRIPTION	BY		
1 OF 2	19314	12/24/19	REVISIONS AS PER SPRINGDALE REVIEW 12/18 & 12/23	J.P.	12/03/2019	JP



Alan Reid  
 & ASSOCIATES  
 PROFESSIONAL LAND SURVEYORS  
 BOUNDARY  
 TOPD

DATE: 12/03/2019  
 CHECKED: -  
 SCALE: 1" = 40'  
 SHEET SIZE: 24" x 36"

BETTY KAY GILLIHAN  
 1380 & 1436 BUTTERFIELD COACH ROAD  
 SPRINGDALE, ARKANSAS

REPLAT OF LOT 24 OAK ADDITION PHASE XI & INFORMAL PLAT OF GILLIHAN S/D- SPRINGDALE, ARKANSAS

REPLAT OF LOT 24 OAK ADDITION PHASE XI &  
 INFORMAL PLAT OF GILLIHAN S/D  
 (SPLIT OF PARCEL 815-30488-000)

SURVEY DESCRIPTION – PARCEL 815-30488-000

A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION FIVE (5), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY-NINE (29) WEST OF THE FIFTH PRINCIPAL MERIDIAN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID 40 ACRE TRACT; THENCE N00°09'52"W 462.00 FEET TO THE POINT OF BEGINNING; THENCE N89°55'22"W 300.00 FEET TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT TWENTY-EIGHT (28) OF STONEHENGE SUBDIVISION, AS PER THE REVISED FINAL PLAT OF SAID SUBDIVISION FILED IN PLAT BOOK 13 AT PAGE 37 OF THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS; THENCE N00°05'27"W 169.32 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO AN EXISTING IRON; THENCE N00°09'52"W 292.77 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO AN EXISTING IRON; THENCE LEAVING THE EAST LINE OF SAID SUBDIVISION, S89°55'22"E 300.00 FEET TO A POINT; THENCE S00°08'15"E 462.09 FEET TO THE POINT OF BEGINNING, CONTAINING 3.18 ACRES, MORE OR LESS. THE ABOVE DESCRIBED 3.18 ACRE TRACT BEING SUBJECT TO THE RIGHT-OF-WAY OF BUTTERFIELD COACH ROAD AND ANY OTHER EASEMENTS AND/OR RIGHTS-OF-WAY WHETHER OR NOT OF RECORD. LESS AND EXCEPT, THE RIGHT-OF-WAY OF YORKSHIRE CIRCLE, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION FIVE (5), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY-NINE (29) WEST OF THE FIFTH PRINCIPAL MERIDIAN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID 40 ACRE TRACT; THENCE N00°09'52"W 462.00 FEET TO A POINT FROM WHICH A 1/2" REFERENCE IRON SET ON THE WEST RIGHT-OF-WAY LINE OF BUTTERFIELD COACH ROAD BEARS N89°55'22"W 37.83 FEET; THENCE N89°55'22"W 300.00 FEET TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT TWENTY-EIGHT (28) OF STONEHENGE SUBDIVISION, AS PER THE REVISED FINAL PLAT OF SAID SUBDIVISION FILED IN PLAT BOOK 13 AT PAGE 37 OF THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS; THENCE N00°05'27"W 118.69 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO A SET 1/2" IRON REBAR AT THE NORTHEAST CORNER OF SAID LOT TWENTY-EIGHT (28), SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF YORKSHIRE CIRCLE AND BEING THE TRUE POINT OF BEGINNING; THENCE N00°05'27"W 50.63 FEET TO AN EXISTING IRON ON THE NORTH RIGHT-OF-WAY LINE OF SAID YORKSHIRE CIRCLE, SAID POINT BEING THE SOUTHEAST CORNER OF LOT ONE (1) OF SAID SUBDIVISION; THENCE LEAVING THE EAST LINE OF SAID SUBDIVISION, N81°32'21"E 80.27 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO AN EXISTING IRON AT THE BEGINNING OF A 525.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY 76.12 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING N85°47'14"E 76.06 FEET TO AN EXISTING IRON AT THE POINT OF TANGENCY; THENCE N89°44'11"E 82.77 FEET ALONG SAID RIGHT-OF-WAY LINE TO A SET 1/2" IRON AT THE BEGINNING OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST; THENCE NORTHEASTERLY 39.12 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING N45°00'18"E 35.25 FEET TO A SET 1/2" IRON REBAR; THENCE S00°10'28"W 100.00 FEET ALONG SAID RIGHT-OF-WAY LINE TO A SET 1/2" IRON REBAR AT THE BEGINNING OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST; THENCE NORTHWESTERLY 39.33 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING N45°11'51"W 35.40 FEET TO AN EXISTING IRON AT THE POINT OF TANGENCY; THENCE S89°59'49"W 82.48 FEET ALONG SAID RIGHT-OF-WAY LINE TO AN EXISTING IRON AT THE BEGINNING OF A 475.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST; THENCE SOUTHWESTERLY 68.41 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING S85°34'35"W 68.35 FEET TO AN EXISTING IRON AT THE POINT OF TANGENCY; THENCE S81°28'58"W 87.79 FEET TO THE POINT OF BEGINNING.

SURVEY DESCRIPTION – PARCEL 815-32125-000

LOT NUMBERED TWENTY-FOUR (24) OF THE OAKS ADDITION, PHASE XI, TO THE CITY OF SPRINGDALE, ARKANSAS, AS PER THE PLAT OF SAID ADDITION FILED IN THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS.

SURVEY DESCRIPTION – AREA TRANSFERRED FROM PARCEL 815-32125-000 TO PARCEL 815-30488-000

A PART OF LOT NUMBERED TWENTY-FOUR (24) OF THE OAKS ADDITION, PHASE XI, TO THE CITY OF SPRINGDALE, ARKANSAS, AS PER THE PLAT OF SAID ADDITION FILED IN THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A SET 1/2" IRON AT THE NORTHWEST CORNER OF SAID LOT TWENTY-FOUR (24); THENCE S00°08'44"E 131.36 FEET ALONG THE WEST LINE OF SAID LOT TWENTY-FOUR (24) TO AN EXISTING IRON; THENCE S00°04'26"E 7.74 FEET ALONG THE WEST LINE OF SAID LOT TWENTY-FOUR (24) TO A SET 1/2" IRON FOR THE TRUE POINT OF BEGINNING; THENCE S89°59'15"E 278.98 FEET TO A SET 1/2" IRON ON THE EAST LINE OF SAID LOT TWENTY-FOUR (24); THENCE S00°06'08"W 62.37 FEET TO A SET 1/2" IRON AT THE SOUTHEAST CORNER OF SAID LOT TWENTY-FOUR (24); THENCE N89°55'22"W 264.31 FEET ALONG THE SOUTH LINE OF SAID LOT TWENTY-FOUR (24) TO AN EXISTING IRON; THENCE N89°39'40"W 14.48 FEET ALONG THE SOUTH LINE OF SAID LOT TWENTY-FOUR (24) TO AN EXISTING IRON AT THE SOUTHWEST CORNER OF SAID LOT TWENTY-FOUR (24); THENCE N00°04'26"W 61.99 FEET ALONG THE WEST LINE OF SAID LOT TWENTY-FOUR (24) TO THE POINT OF BEGINNING, CONTAINING 0.40 ACRES, MORE OR LESS.

SURVEY DESCRIPTION – REPLATTED PARCEL 815-32125-000

LOT NUMBERED TWENTY-FIVE (25) BEING A PART OF LOT NUMBERED TWENTY-FOUR (24) OF THE OAKS ADDITION, PHASE XI, TO THE CITY OF SPRINGDALE, ARKANSAS, AS PER THE PLAT OF SAID ADDITION FILED IN THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A SET 1/2" IRON AT THE NORTHWEST CORNER OF SAID LOT TWENTY-FOUR (24); THENCE S89°57'01"E 254.53 FEET ALONG THE NORTH LINE OF SAID LOT TWENTY-FOUR (24) TO A SET IRON AT THE BEGINNING OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY 39.31 FEET ALONG SAID CURVE, THE CHORD FOR WHICH BEING S44°56'34"E 35.38 FEET, TO A SET 1/2" IRON REBAR AT THE POINT OF TANGENCY; THENCE S00°06'08"W 113.90 FEET ALONG THE EAST LINE OF SAID LOT TWENTY-FOUR (24) TO A SET 1/2" IRON; THENCE LEAVING THE EAST LINE OF SAID LOT TWENTY-FOUR (24), N89°59'15"W 278.98 FEET TO A SET 1/2" IRON ON THE WEST LINE OF SAID LOT TWENTY-FOUR (24); THENCE N00°04'26"W 7.74 FEET ALONG THE WEST LINE OF SAID LOT TWENTY-FOUR (24) TO AN EXISTING IRON; THENCE N00°08'44"W 131.36 FEET TO THE POINT OF BEGINNING, CONTAINING 0.89± ACRES, MORE OR LESS.

TRANSMITTAL OWNERSHIP AND ORDINANCE: THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE FOR APPROVAL AND ACCEPTANCE AND CERTIFY TO THE OWNERS OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS AND OTHER OPEN SPACES TO PUBLIC AND PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LOCAL OR OTHER LAW; THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS IN ORDER HAVING BEEN APPROVED BY THE CITY ATTORNEY ON \_\_\_\_\_.

OWNER NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER NAME \_\_\_\_\_ SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF ARKANSAS COUNTY OF WASHINGTON  
 SWORN TO AND SUBSCRIBED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2019.  
 NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

SURVEYOR CERTIFICATE:  
 I HEREBY CERTIFY, THAT THIS PLAT IS A TRUE AND ACCURATE REPRESENTATION OF A SURVEY PERFORMED UNDER MY SUPERVISION IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS AND PLATS IN THE STATE OF ARKANSAS.

ALAN REID  
 PROFESSIONAL SURVEYOR  
 ARKANSAS REGISTRATION 1005

SURVEY DESCRIPTION – TRACT 'A'

A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION FIVE (5), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY-NINE (29) WEST OF THE FIFTH PRINCIPAL MERIDIAN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID 40 ACRE TRACT; THENCE N00°09'52"W 462.00 FEET TO THE POINT OF BEGINNING AND FROM WHICH A 1/2" REFERENCE IRON SET ON THE WEST RIGHT-OF-WAY LINE OF BUTTERFIELD COACH ROAD BEARS N89°55'22"W 37.83 FEET; THENCE N89°55'22"W 300.00 FEET TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT TWENTY-EIGHT (28) OF STONEHENGE SUBDIVISION, AS PER THE REVISED FINAL PLAT OF SAID SUBDIVISION FILED IN PLAT BOOK 13 AT PAGE 37 OF THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS; THENCE N00°05'27"W 118.69 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO A SET 1/2" IRON REBAR AT THE NORTHEAST CORNER OF SAID LOT TWENTY-EIGHT (28), SAID POINT BEING ON THE SOUTH RIGHT-OF-WAY LINE OF YORKSHIRE CIRCLE; THENCE LEAVING THE EAST LINE OF SAID SUBDIVISION, N81°28'58"E 87.79 FEET ALONG SAID RIGHT-OF-WAY LINE TO AN EXISTING IRON AT THE BEGINNING OF A 475.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST; THENCE NORTHEASTERLY 68.41 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING N85°34'35"E 68.35 FEET TO AN EXISTING IRON AT THE POINT OF TANGENCY; THENCE N89°59'49"E 82.48 FEET ALONG SAID RIGHT-OF-WAY LINE TO AN EXISTING IRON AT THE BEGINNING OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWEST; THENCE SOUTHEASTERLY 39.33 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING S45°11'51"E 35.40 FEET, TO A SET 1/2" IRON; THENCE THENCE N00°10'28"E 49.93 FEET TO A POINT; THENCE N89°53'25"E 37.08 FEET TO A POINT; THENCE S00°08'15"E 162.43 FEET TO THE POINT OF BEGINNING, CONTAINING 0.94 ACRES, MORE OR LESS. THE ABOVE DESCRIBED 0.94± ACRE TRACT BEING SUBJECT TO THE RIGHT-OF-WAY OF BUTTERFIELD COACH ROAD AND ANY OTHER EASEMENTS AND/OR RIGHT-OF-WAY WHETHER OR NOT OF RECORD.

SURVEY DESCRIPTION – TRACT 'B'

A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION FIVE (5), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY-NINE (29) WEST OF THE FIFTH PRINCIPAL MERIDIAN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID 40 ACRE TRACT; THENCE N00°09'52"W 462.00 FEET; THENCE N89°55'22"W 300.00 FEET TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT TWENTY-EIGHT (28) OF STONEHENGE SUBDIVISION, AS PER THE REVISED FINAL PLAT OF SAID SUBDIVISION FILED IN PLAT BOOK 13 AT PAGE 37 OF THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS; THENCE N00°05'27"W 169.32 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT ONE (1) OF SAID SUBDIVISION FOR THE TRUE POINT OF BEGINNING, SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF YORKSHIRE CIRCLE; THENCE N00°09'52"W 215.84 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO A SET 1/2" IRON; THENCE LEAVING THE EAST LINE OF SAID SUBDIVISION, S89°59'15"E 299.96 FEET TO A POINT FROM WHICH A SET 1/2" REFERENCE IRON BEARS N89°59'15"W 36.01 FEET; THENCE S00°08'15"E 223.08 FEET TO A POINT; THENCE S89°53'25"W 37.08 FEET TO A POINT; THENCE N00°10'28"E 50.07 FEET TO A SET 1/2" IRON AT THE NORTH RIGHT-OF-WAY LINE OF YORKSHIRE CIRCLE, SAID POINT BEING THE BEGINNING OF A 25.00 FOOT RADIUS CURVE CONCAVE TO THE NORTHWEST; THENCE SOUTHWESTERLY 39.12 FEET ALONG SAID CURVE AND RIGHT-OF-WAY, THE CHORD FOR WHICH BEING S45°00'18"W 35.25 FEET, TO A SET 1/2" IRON AT THE POINT OF TANGENCY; THENCE S89°44'11"W 82.77 FEET ALONG SAID RIGHT-OF-WAY LINE TO AN EXISTING IRON AT THE BEGINNING OF A 525.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHEAST; THENCE SOUTHWESTERLY 76.12 FEET ALONG SAID CURVE AND RIGHT-OF-WAY LINE, THE CHORD FOR WHICH BEING S85°47'14"W 76.06 FEET, TO AN EXISTING IRON AT THE POINT OF TANGENCY; THENCE S81°32'21"W 82.27 FEET ALONG SAID RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, CONTAINING 1.41± ACRES, MORE OR LESS. THE ABOVE DESCRIBED 1.41± ACRE TRACT BEING SUBJECT TO THE RIGHT-OF-WAY OF BUTTERFIELD COACH ROAD AND ANY OTHER EASEMENTS AND/OR RIGHT-OF-WAY WHETHER OR NOT OF RECORD.

SURVEY DESCRIPTION – TRACT 'C'

A PART OF THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF SECTION FIVE (5), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY-NINE (29) WEST OF THE FIFTH PRINCIPAL MERIDIAN, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF SAID 40 ACRE TRACT; THENCE N00°09'52"W 462.00 FEET; THENCE N89°55'22"W 300.00 FEET TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT TWENTY-EIGHT (28) OF STONEHENGE SUBDIVISION, AS PER THE REVISED FINAL PLAT OF SAID SUBDIVISION FILED IN PLAT BOOK 13 AT PAGE 37 OF THE LAND RECORDS OF WASHINGTON COUNTY, ARKANSAS; THENCE N00°05'27"W 169.32 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO AN EXISTING IRON AT THE SOUTHEAST CORNER OF LOT ONE (1) OF SAID SUBDIVISION, SAID POINT BEING ON THE NORTH RIGHT-OF-WAY LINE OF YORKSHIRE CIRCLE; THENCE N00°09'52"W 215.84 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO A SET 1/2" IRON FOR THE TRUE POINT OF BEGINNING; THENCE N00°09'52"W 76.93 FEET ALONG THE EAST LINE OF SAID SUBDIVISION TO AN EXISTING IRON; THENCE N89°39'40"W 14.48 FEET TO AN EXISTING IRON AT THE SOUTHWEST CORNER OF LOT TWENTY-FOUR (24) OF THE OAKS ADDITION, PHASE XI TO THE CITY OF SPRINGDALE, ARKANSAS; THENCE N00°04'26"W 61.99 FEET ALONG THE WEST LINE OF SAID LOT TWENTY-FOUR (24) TO A SET 1/2" IRON; THENCE LEAVING THE WEST LINE OF SAID LOT TWENTY-FOUR (24), S89°59'15"E 278.98 FEET FEET TO A SET 1/2" IRON ON THE EAST LINE OF SAID LOT TWENTY-FOUR (24); THENCE S00°06'08"W 62.37 FEET TO A SET 1/2" IRON AT THE SOUTHEAST CORNER OF SAID LOT TWENTY-FOUR (24); THENCE S89°55'22"E 35.69 FEET TO A POINT; THENCE S00°08'15"E 76.59 FEET TO A POINT FROM WHICH A SET 1/2" REFERENCE IRON ON THE WEST RIGHT-OF-WAY LINE OF BUTTERFIELD COACH ROAD BEARS N89°59'15"W 36.01 FEET; THENCE N89°59'15"W 299.96 FEET TO THE POINT OF BEGINNING, CONTAINING 0.93± ACRES, MORE OR LESS. THE ABOVE DESCRIBED 0.93± ACRE TRACT BEING SUBJECT TO THE RIGHT-OF-WAY OF BUTTERFIELD COACH ROAD AND ANY OTHER EASEMENTS AND/OR RIGHT-OF-WAY WHETHER OR NOT OF RECORD.

CERTIFICATE OF ACCEPTANCE: THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLAT AND TO THE OFFICES OF RESPONSIBILITY SHOWN BELOW.

	DATE	SIGNATURE
ACCEPTANCE OF DEDICATIONS	_____	_____ CITY CLERK
	_____	_____ MAYOR
APPROVAL FOR RECORDING	_____	_____ SECRETARY, PLANNING
	_____	_____ DIRECTOR, PLANNING & COMMUNITY DEVELOPMENT DIVISION

SHEET 2 OF 2	JOB NO. 19314	REVISIONS			 118 S. COLLEGE AVENUE FAYETTEVILLE, ARKANSAS 72701 479.444.8784 1.888.548.8784 areasurveying@alreid.com	 PROFESSIONAL LAND SURVEYORS BOUNDARY TOPO	DRAFTSMAN	JP
		DATE	12/03/2019	CHECKED			-	
		SCALE	1" = 40'	SHEET SIZE			24"x 36"	
		BETTY KAY GILLIHAN 1380 & 1436 BUTTERFIELD COACH ROAD SPRINGDALE, ARKANSAS						
REPLAT OF LOT 24 OAK ADDITION PHASE XI & INFORMAL PLAT OF GILLIHAN S/D- SPRINGDALE, ARKANSAS								

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** March 3, 2020  
**RE:** L20-06 Large Scale Development Aspen Park Building C

---

**Large-Scale Comments:**

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-06. This number should be placed on the plans and all future correspondence and plats pertaining to this development.  
(standard comment)

**Commercial Design Standard Comments:**

1. Exterior ground-mounted or building-mounted equipment including, but not limited to, mechanical equipment, utilities and banks of meters, shall be screen from public view with landscaping or with an architectural treatment compatible with the building architecture. Provide details for screening and proposed HVAC locations.
2. Provide callout for scored/stamped concrete crosswalk.

## **Engineering Comments**

### **1. Chapter 106 – Stormwater Drainage**

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.9.7** - Channel Lining Design
  - o Temporary linings and check dams are required in accordance with an approved SWPPP throughout any project.
- **106.10.5.2.5** - Straw Wattle or Hay Bale Barrier
  - o This is a temporary barrier constructed across or at the toe of the slope. Its purpose is to intercept and detain sediment from areas one-half acre or smaller where only sheet erosion may be a problem. Neither may be used in the flowline of a channel.

### **Chapter 106 – Stormwater Drainage**

- **Show swale velocity calculations. If velocity is over 3 ft/s, swale needs to be concrete lined.**

### **2. Chapter 107 – Stormwater Pollution**

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
  - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- **107.3.D.c** - A grading and drainage plan is required for all developments showing that each lot drains to the street right-of-way, a dedicated drainage easement with improvements, or an existing drainage way without flowing across a neighboring lot. No drainage from roof drains, landscaping, or lot runoff may be directed or diverted onto neighboring properties.

### **3. Chapter 130 – Zoning Ordinance**

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
  - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

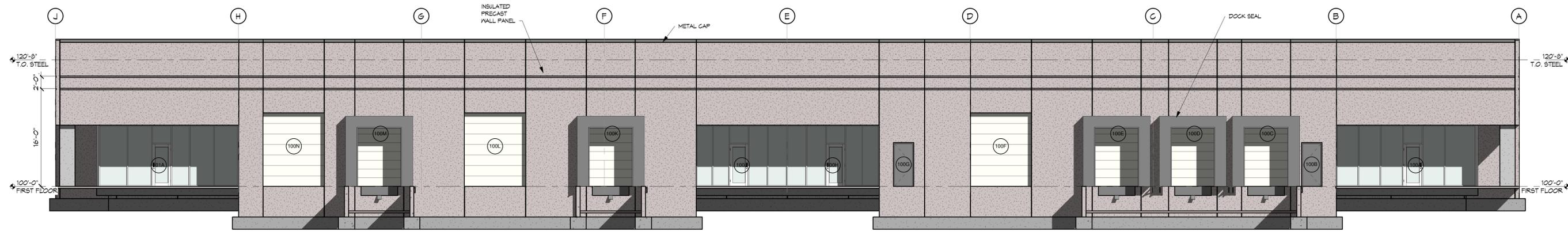
### **4. Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being

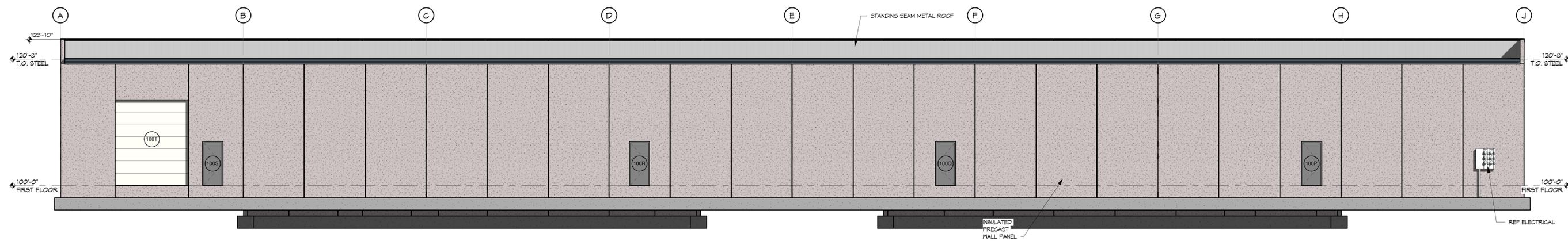
proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
  - **Set monuments at property corners.**
  - **Modified curb at Crutcher Street.**
  - **Streetlight at the intersection.**
  - **Is existing concrete drive private? Label as such.**
  - **Wheel locks may be needed with a 6' sidewalk.**
  - **Provide swale cross-section and show sod.**
  - **Is the existing storm-water basin WSEL below the flowline elevation?**
  -

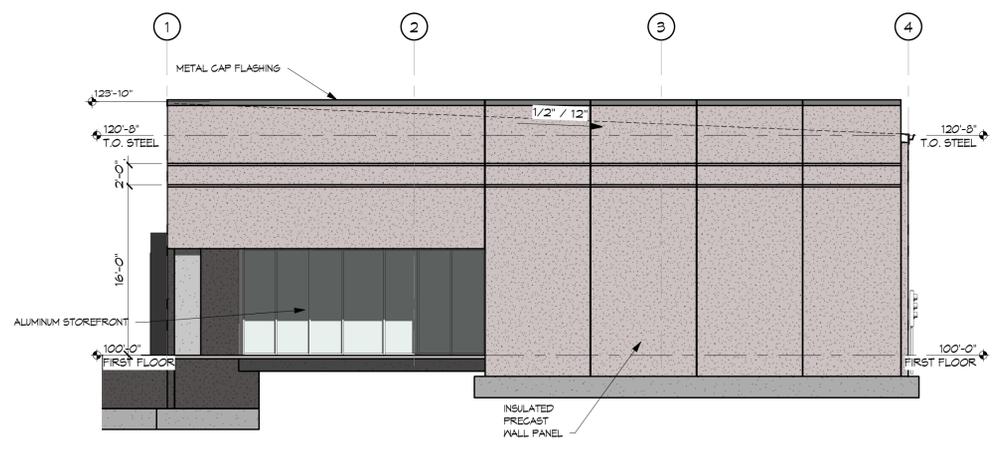
**PRELIMINARY**  
NOT FOR CONSTRUCTION



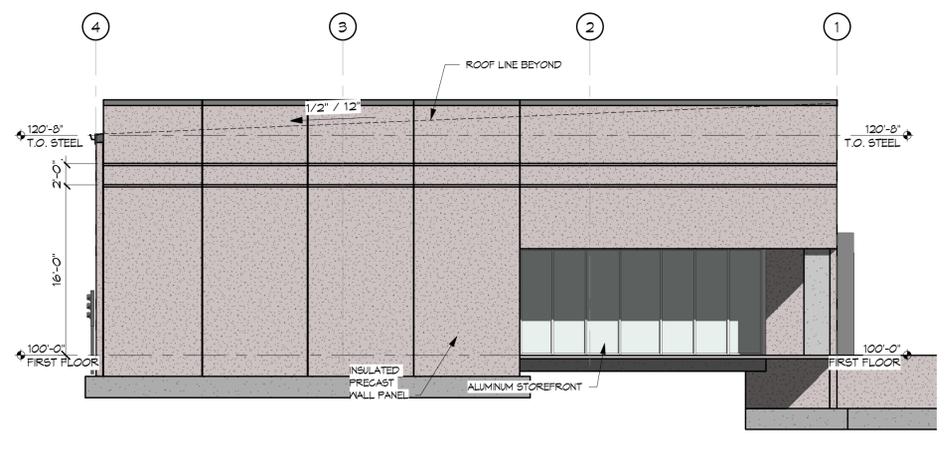
1 EAST ELEVATION COLOR  
1/8" = 1'-0"



2 WEST ELEVATION COLOR  
1/8" = 1'-0"



3 NORTH ELEVATION COLOR  
1/8" = 1'-0"



4 SOUTH ELEVATION COLOR  
1/8" = 1'-0"

**Burris Architecture**  
820 Tiger Blvd, Suite 4, Bentonville, Ar 72712  
479-319-6045

**ASPEN PARK BLDG C**  
GAGE PLACE  
SPRINGDALE, AR

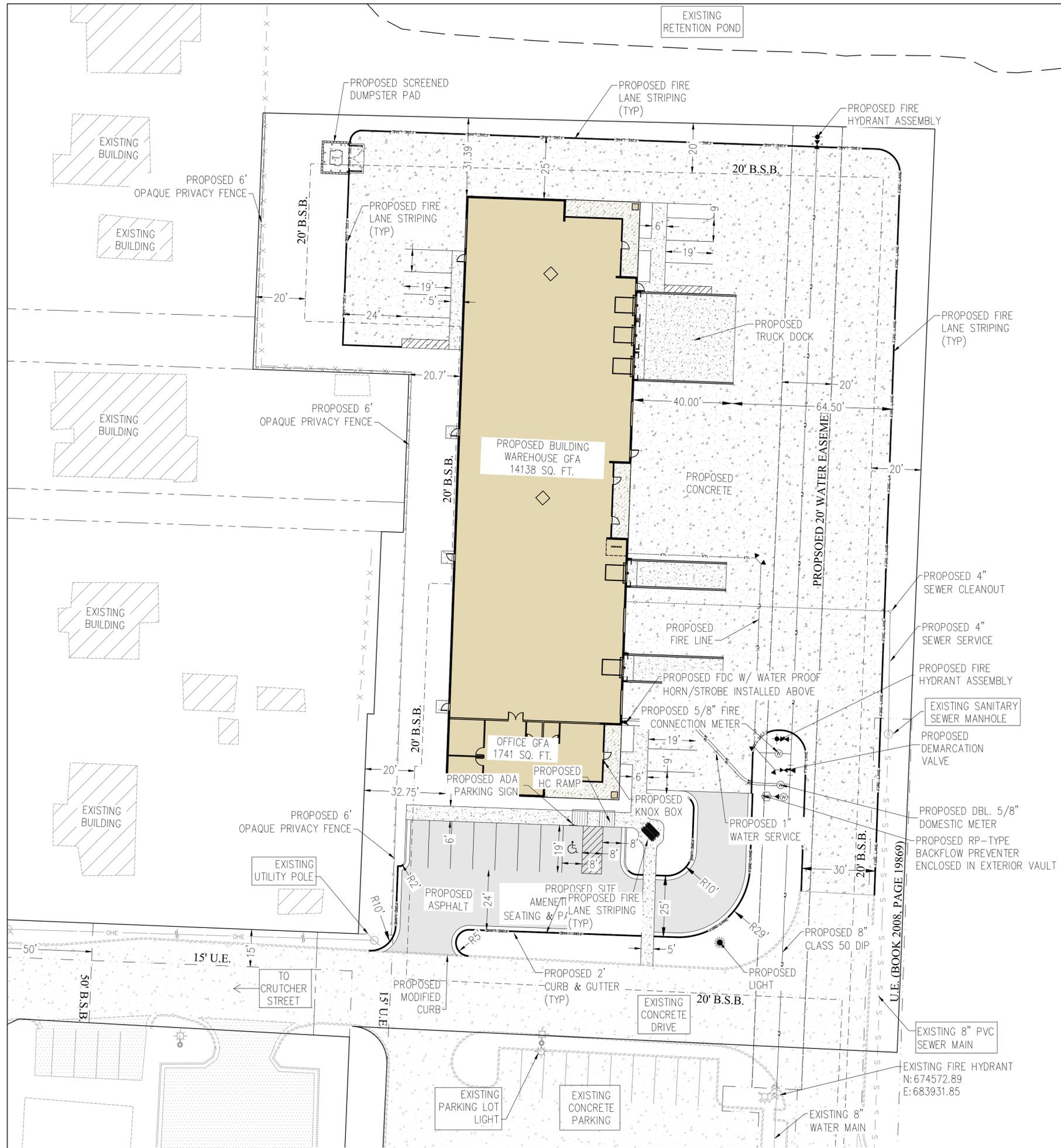
DATE	12-20-19
JOB NO.	19178
REVISIONS	

**A7.0**  
COLOR ELEVATIONS

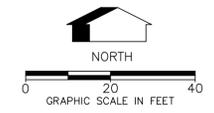




Drawing Name: 14\000\14-065\Engineering\02 Site Plan.dwg  
 Scale: 1"=20' (PS)  
 Date: 12/17/2014  
 Xrefs Used: 24\36 base, CDA BBA, BATES-AR



A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT. HTTP://WWW.SPRINGDALE.AR.GOV/DOCUMENTCENTER/HOME/VIEW/3315



**CITY CONSTRUCTION NOTES:**

- \*STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:
- a) DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
- b) THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
- c) NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
- d) NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
- e) ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.\*

**GENERAL NOTES:**

1. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS OR DAMAGE TO THE EXISTING UTILITIES DUE TO SITE GRADING, PAVING, OR LOT LINE ADJUSTMENTS.
2. SPRINGDALE WATER UTILITIES WILL INSTALL THE PROPOSED WATER METER SERVICE AT THE OWNER/DEVELOPER'S EXPENSE.
3. REQUESTS FOR METER SERVICES LARGER THAN A 3/4" WATER METER SETTER FOR IRRIGATION OR LARGER THAN 1" METER SETTER FOR POTABLE WATER WILL HAVE TO BE APPROVED IN WRITING BY THE ENGINEERING DIRECTOR OF SPRINGDALE WATER UTILITIES.
4. INSTALL DOMESTIC METER AND IRRIGATION METER WITH A BACKFLOW PREVENTER.
5. EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES, AND BANKS OF METERS SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
6. ALL UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND, EXCLUDING 12KV AND ABOVE.
7. HANDICAPPED RAMPS SHALL BE PROVIDED WHEREVER A SIDEWALK CROSSES A CURB AT CROSSWALKS, DRIVEWAYS, AND STREET INTERSECTIONS.
8. ALL MATERIAL AND COMPONENTS INSTALLED AFTER JANUARY 3, 2014 IN DRINKING WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.
9. ANY RELOCATION OF EXISTING FACILITIES OR EXTENSION OF LINE THAT HAS TO BE BUILT SPECIFICALLY TO FEED THIS PROJECT WILL BE AT FULL COST TO THE DEVELOPER.
10. IF OFF SITE EASEMENTS ARE NEEDED FOR SWEPCO TO PROVIDE ELECTRICITY TO THE DEVELOPMENT, EASEMENTS MUST BE OBTAINED BY DEVELOPER AND PROVIDED TO SWEPCO BEFORE THE DESIGN WILL BEGIN. ON SITE EASEMENTS MUST BE SHOWN ON PLAN AND RECORDED WITH THE COUNTY.
11. ALL PROPERTY CORNERS AND EASEMENTS MUST BE CLEARLY MARKED BEFORE CONSTRUCTION WILL BEGIN.
12. ALL CONDUITS PLACED AT ROAD CROSSINGS BY DEVELOPER MUST HAVE 48 INCH OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY END OF CONDUITS. (3 - 4 INCH SCHEDULE CONDUITS TO BE USED FOR ELECTRIC ONLY AT ALL ROAD CROSSINGS, CONDUITS MUST EXTEND PAST THE EDGE OF ANY OBSTRUCTIONS SO THAT THEY ARE ACCESSIBLE DURING CONSTRUCTION) THERE MUST BE MINIMUM SEPARATION OF 12 INCHES BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES. THIS IS NESC CODE 354. ALL CONDUITS FOR ROAD CROSSINGS AND SPECIFIC WIDTHS OF U.E. MUST BE SHOWN ON FINAL PLAN BEFORE SWEPCO ELECTRIC WILL SIGN THE FINAL PLAN.
13. TRANSFORMER MUST HAVE A MINIMUM OF 30 FEET CLEARANCE FROM ANY STRUCTURE. ANY VARIATION OF THIS REQUIREMENT MUST HAVE WRITTEN APPROVAL FROM AN SWEPCO REPRESENTATIVE.
14. TRANSFORMER WILL NEED TO BE LOCATED IN AN AREA EASILY ACCESSIBLE TO SWEPCO LINE TRUCKS FOR INSTALLATION AND CONTINUED MAINTENANCE.
15. BOLLARDS WILL NEED TO BE INSTALLED AT ALL FOUR CORNERS OF TRANSFORMER PAD
16. A MINIMUM 15' UTILITY EASEMENT WILL BE REQUIRED FOR ALL UNDERGROUND CONDUCTORS UP TO AND INCLUDING THE LOCATION OF THE PAD MOUNT TRANSFORMER.
16. DEVELOPER WILL NEED TO CONTACT NANCY GUISINGER AT SWEPCO (479-225-0913) AND PROVIDE HER WITH ELECTRICAL LOAD INFORMATION BEFORE ANY COST TO DEVELOPER CAN BE DETERMINED.
17. DEVELOPER TO PROVIDE ALL TRENCH AND PVC CONDUITS INCLUDING PVC SWEEPS IN ACCORDANCE WITH SWEPCO SPECIFICATIONS. NO METAL CONDUIT OR METAL SWEEPS ARE TO BE USED.
19. ALL UTILITY EASEMENTS TO BE CLEARED OF ALL TREES, BRUSH, DIRT PILES, BUILDINGS AND DEBRIS SO THAT THE EASEMENT IS ACCESSIBLE WITH EQUIPMENT. IF EASEMENT IS NOT CLEARED DEVELOPER MAY BE SUBJECT TO EXTRA CHARGES.
19. DEVELOPER OR CONTRACTOR MUST APPLY FOR ELECTRIC TEMPORARY CONSTRUCTION AND PERMANENT SERVICE BEFORE ANY DESIGN AND COST IS DETERMINED BY SWEPCO.
20. ANY ADDITIONAL WATER METER SERVICES OR SANITARY SEWER SERVICES NEEDED IN THE FUTURE SHALL BE INSTALLED BY SPRINGDALE WATER UTILITIES AT THE OWNER/DEVELOPER'S EXPENSE.
21. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE.
22. WHEN A COMMERCIAL DEVELOPMENT INCLUDES A FENCE OR WALL, THE FOLLOWING GUIDELINES AND STANDARDS APPLY:
  - A. MAXIMUM HEIGHT OF A FENCE OR WALL SHALL BE 8'.
  - B. CONSTRUCTED OF HIGH QUALITY MATERIALS SUCH AS, DECORATIVE BLOCKS, BRICK, STONE, CYPRESS, CEDAR, REDWOOD, AND/OR WROUGHT IRON.
  - C. MAXIMUM LENGTH OF A CONTINUOUS, UNBROKEN, AND UNINTERRUPTED FENCE OR WALL SHALL BE 50'. BREAKS SHALL BE PROVIDED THROUGH THE USE OF COLUMNS, LANDSCAPING POCKETS, TRANSPARENT SECTIONS, AND/OR A CHANGE TO DIFFERENT MATERIALS.
23. STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:

- A) DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
- B) THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
- C) NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
- D) NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
- E) ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.

**FENCE NOTES:**

1. MAXIMUM HEIGHT OF A FENCE OR WALL SHALL BE 8'.
2. THE FENCE SHALL BE CONSTRUCTED OF HIGH QUALITY MATERIALS SUCH AS DECORATIVE BLOCKS, BRICK, STONE, CYPRESS, CEDAR, REDWOOD, AND/OR WROUGHT IRON.
3. MAXIMUM LENGTH OF A CONTINUOUS, UNBROKEN AND UNINTERRUPTED FENCE OR WALL SHALL BE 50'. BREAKS SHALL BE PROVIDED THROUGH THE USE OF COLUMNS, LANDSCAPING POCKETS, TRANSPARENT SECTION, AND/OR A CHANGE IN MATERIALS.
- 3.1. IN THIS PARTICULAR DEVELOPMENT THERE SHOULD BE NO BREAKS IN THE FENCE BETWEEN THE RESIDENTIAL AND DELIVERY/WAREHOUSE DEVELOPMENT.

**ADA NOTES:**

1. HANDICAP SPACES MUST HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS.
2. CONTACT THE CITY OF SPRINGDALE AND REQUEST AN INSPECTION PRIOR TO POURING ANY SIDEWALK OR DRIVEWAY IN THE RIGHT-OF-WAY.

**FIRE DEPARTMENT NOTES:**

1. "NO PARKING FIRE LANE" SIGNS SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS. SIGNS SHALL BE LOCATED AT EACH END OF A PAINTED CURB, WITH A MAXIMUM SPACING OF 100 LINEAR FEET.
2. UNOBSTRUCTED ACCESS TO FIRE HYDRANTS SHALL BE MAINTAINED AT ALL TIMES.

PROPOSED	EXISTING	DESCRIPTION
---	---	ASPHALT (EDGE)
---	---	ASPHALT (SURFACE)
---	---	BUILDING SETBACK LINE
---	---	BOLLARD
---	---	CABLE TV (UNDERGROUND)
---	---	CABLE TV (OVERHEAD)
---	---	CONCRETE
---	---	CONCRETE SURFACE
---	---	CONDUIT
---	---	CONTAINERS
---	---	CURB & GUTTER
---	---	ELECTRICAL (UNDERGROUND)
---	---	ELECTRICAL (OVERHEAD)
---	---	ELECT. TRANSFORMER
---	---	EASEMENT
---	---	FIRE LINE (W/AND/OVERHEAD)
---	---	FIBER OPTIC CABLE
---	---	FIRE HYDRANT ASSEMBLY
---	---	FRONTIER
---	---	GAS METER
---	---	GRAVEL SURFACE (EDGE)
---	---	GRAVEL SURFACE
---	---	IRON PIP (5/8" RE-BAR)
---	---	LIGHT
---	---	MONUMENT (CONCRETE)
---	---	POLE
---	---	POWER POLE
---	---	PROPERTY LINE (EXTERNAL)
---	---	RETAINING WALL
---	---	RIGHT-OF-WAY
---	---	SANITARY SEWER PIPE
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER SERVICE
---	---	SECTION LINE
---	---	SEWER
---	---	SILT FENCE
---	---	SPOT ELEVATION
---	---	STORM SEWER PIPE
---	---	STORM SEWER INLET
---	---	STORM SEWER MANHOLE
---	---	TELEPHONE PIP/MANHOLE
---	---	TELEPHONE (UNDERGROUND)
---	---	TELEPHONE (OVERHEAD)
---	---	TIME LINE CONDP
---	---	UTILITY TO BE REMOVED
---	---	UTILITY EASEMENT
---	---	WATER MAIN PIPE
---	---	WATER VALVE
---	---	WATER METER
---	---	WATER THURST BLOCK
---	---	WATER MAIN REDUCER
---	---	WATER MAIN BLOWOFF VALVE

STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 9810  
 GEOFFREY H. BATES  
 2/12/20  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 ARKANSAS DRIVER  
 Copyright 2020, Bates and Associates, Inc.

REVISIONS	DATE
FIRST SUBMITTAL	01/2/20
REVISIONS PER 1/16/20 TECHNICAL REVIEW COMMENTS	2/12/20

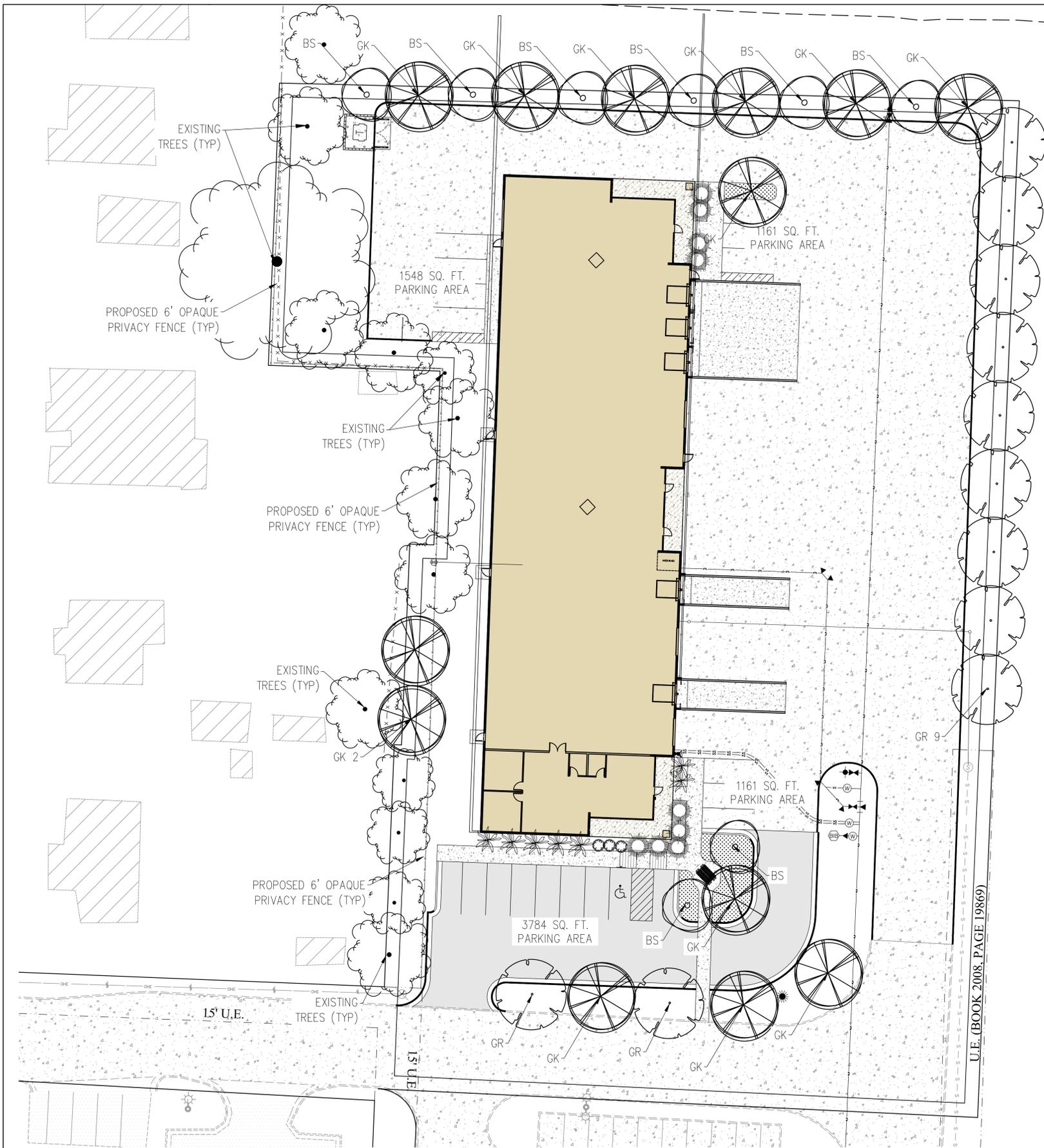
ASPEN PARK BUILDING C  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-06  
 SITE & UTILITY PLAN  
 SPRINGDALE, ARKANSAS

**Bates & Associates, Inc.**  
 www.bateswa.com  
 Civil Engineering & Surveying  
 7220 S. Pleasant Ridge Dr.  
 Fayetteville, Arkansas 72704  
 Phone: 479.442.9350 Fax: 479.521.9350

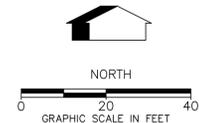
PROJECT NO: 14-065

DRAWING NO: 03





U.E. (BOOK 2008, PAGE 19869)



- LANDSCAPING**
1. PREPARE TOPSOIL FOR SHRUB AND GROUND COVER BEDS BY TILLING A 2 INCH LAYER (165 CF PER 1000 SQ. FT.) OF COMPOST INTO THE UPPER 6 INCHES OF SOIL.
  2. ALL PLANTING BEDS THAT ABUT LAWN AREAS TO BE BORDERED BY STEEL EDGING.
  3. SOLID SLAB SOD BERMUDA GRASS OR BERMUDA SEED TO BE PLANTED IN ALL TURF AREAS.
  4. TOPSOIL DEPTH SHALL BE MINIMUM 18" IN ALL SHRUB AND GROUND COVER BEDS.
  5. APPLY 3" OF ORGANIC MULCH TO ALL SHRUB AND GROUND COVER BEDS.
  6. APPLY 1/2 POUND OSMOCOTE 8-6-12 EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
  7. IRRIGATION SHALL BE EITHER UNDERGROUND AUTOMATIC SYSTEM OR SHALL UTILIZE HOSE BIBS EVERY 100'.
  8. TREAT ALL LANDSCAPE AREAS TO CONTROL WEED GROWTH PRIOR TO STARTING CONSTRUCTION.
  9. ALL LANDSCAPE BEDS SHALL BE FREE OF SOD AND MULCH SHALL COVER THE BARE SOIL TO EASE MAINTENANCE.
  10. DIG DOWN THE EDGE OF ALL BEDS WHERE THEY ARE ADJACENT TO WALLS, WALKWAYS OR CURBS, SO THAT THE WALL, WALKWAY, OR CURB WILL WORK AS A BED EDGE TO CONTAIN THE MULCH OR GRAVEL.
  11. PLANTING BEDS SHALL HAVE AMENDED SOIL TO INSURE THE HEALTH OF THE PLANT MATERIALS.

- TREES**
01. EXCAVATION FOR TREE PITS SHALL BE 8" IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM.
  02. STAKE ALL TREES BY USING THREE METAL FENCE POST STAKES AND THREE TIES. DRIVE STAKES APPROXIMATELY 6" OUTSIDE OF TREE ROOTBALL AND AN EQUAL DISTANCE FROM TREE TRUNK.
  03. ALL PRESERVED MATURE TREES ON THE SITE SHALL HAVE A MULCH RING ADDED AROUND THE TRUNK.
  04. ALL PLANTING HOLES FOR TREES AND SHRUBS SHALL BE BACKFILLED WITH AMENDED SOIL, FREE OF SOD.
  05. ALL LANDSCAPE TREES PLANTED TO MEET STREET TREE, MITIGATION TREE OR OTHER LANDSCAPE CODE REQUIREMENTS MUST BE SINGLE STEM, MINIMUM 2" CALIPER TREES. NO DOUBLE OR TRI-STEM TREES WILL BE COUNTED TOWARDS MEETING REQUIREMENTS.
  06. IF PLANTING MATERIAL IS TO BE B&B THEN THE B&B MUST BE NATURAL FIBERS AND NOT SYNTHETIC.

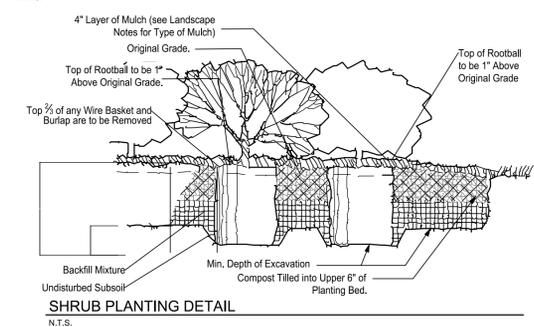
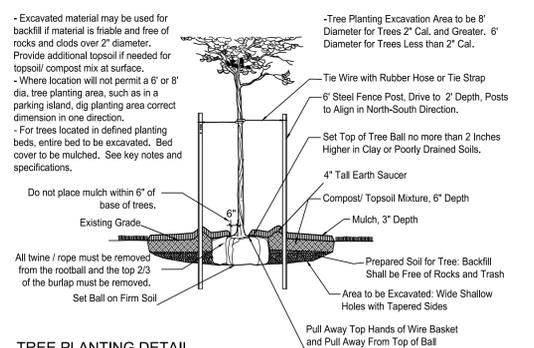
**PLANT WARRANTY**

WARRANT ALL PLANT MATERIAL TO BE IN HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 2 YEARS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

**LANDSCAPE IRRIGATION**

1. ALL LANDSCAPE AREAS WILL BE IRRIGATED BY AUTOMATIC IRRIGATION OR HOSE BIBS.

<b>INTERIOR LANDSCAPING:</b>	
PROPOSED PARKING LOT AREA:	7,654 S.F.
INTERIOR LANDSCAPE AREA REQUIRED (8%):	612 SF
INTERIOR LANDSCAPE AREA PROVIDED:	672 SF
INTERIOR TREES PROVIDED:	4
<b>PERIMETER LANDSCAPING:</b>	
5-FOOT LANDSCAPED STRIP ALONG THE SIDE AND REAR LOT LINES OF A DEVELOPMENT WITH ONE TREE PER 25 LINEAR FEET REQUIRED ALONG LOT LINES.	
TOTAL SIDE AND REAR LOT LINE DISTANCE:	1814 FT
PERIMETER LANDSCAPING REQUIRED:	73 TREES
PERIMETER LANDSCAPING PROVIDED:	28 TREES*
*DUE TO EXISTING PAVING AND UTILITIES, IT IS NOT FEASIBLE TO INSTALL STREET LANDSCAPING ALONG CRUTCHER STREET. EXISTING MATURE TREES EXIST ALONG WESTERN BOUNDARY, AND SCREENING HAS ADDED IN GAPS BETWEEN EXISTING TREES WHERE NEW PLANTINGS CAN GROW TO MATURITY.	



**PLANT LIST**

QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT MIN. SIZE	NOTES
11	GR	GOLDEN RAIN TREE <i>Koeleruteria paniculata</i>	B&B 2" CAL	8' TALL MIN.
8	BS	COLORADO BLUE SPRUCE <i>Picea pungens</i>	B&B 2" CAL	8' TALL MIN.
13	GK	GINKGO (MALE ONLY) <i>Ginkgo biloba</i>	B&B 2" CAL	8' TALL MIN.
9	BH	SOUTHERN BLACK-HAW VIBURNUM <i>Viburnum nudiflorum</i>	CONT. 3 GAL	
3	JH	JAPANESE HOLLY <i>Ilex crenata 'Compacta'</i>	CONT. 3 GAL	
7	CM	CRAPEMYRTLE <i>Lagerstroemia indica</i>	CONT. 3 GAL	

STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 9810  
 GEOFFREY H. BATES  
 12/12/20  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 #335  
 LICENSED ENGINEER

DATE	REVISIONS
01/12/20	
2/12/20	
FIRST SUBMITTAL	
REVISIONS PER 1/16/20 TECHNICAL REVIEW COMMENTS	

ASPEN PARK BUILDING C  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-06  
 LANDSCAPE PLAN  
 SPRINGDALE, ARKANSAS

**Bates & Associates, Inc.**  
 www.batesnwa.com  
 Civil Engineering & Surveying  
 7230 S. Pleasant Ridge Dr.  
 Fayetteville, Arkansas 72704  
 Phone -479.442.9350 Fax 479.521.9350

PROJECT NO: 14-065  
 DRAWING NO: 05

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** March 3, 2020  
**RE:** L20-08 Large Scale Development Pure Springdale

---

## Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-08. This number should be placed on the plans and all future correspondence and plats pertaining to this development.  
(standard comment)

## Multi-Family Design Comments

1. Provide greater pedestrian connectivity to the shown common areas. The original PUD documents indicated a pedestrian walkway around the ponds.
2. It appears that the stamped concrete cross section originally shown in the PUD documents has been removed in lieu of striping. While the shown striping meets the minimum requirements, substantial departures in the design from what was approved within the original PUD documents may require re-approval of the PUD reflecting the changes as shown.
3. Provide details on the lighting fixture heights in addition to the submitted foot candle calculations and specs.

## Engineering Comments

### 1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1** - The Grading Plan & SWPPP and Specifications shall be prepared by the Engineer of Record, who is a licensed professional engineer of the State of Arkansas.
  - ~~o Requires a 1"=200' minimum scale 2-foot contour map.~~
  - ~~o Show existing and proposed contours.~~

### Chapter 106 – Stormwater Drainage

- **106.5.4.11.1\*\*** - A General Note is needed on the Site Plan stating that "A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department." <http://www.springdalear.gov/DocumentCenter/View/4652/DetentionRetention-Certification-Form-2020>
  - o FYI: Link to Detention/Retention Certification form has changed, see above

### 2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
  - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
  - o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

### 3. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
  - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
    - Label all lights as Proposed or Existing
    - Show the direction of the mast arm
    - Show the size and type of lights based on the location and classification of the street

- Add note to determine if the light is designed for area parking lot lights or as a street illuminator
- Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

#### 4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.9** Entrance/Exit Drives
  - o Need to note that modified curb is required at the drives and a modified curb detail.
- **130.7.6.1** ADA requirements.
  - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current *ADA* and as may from time to time be amended.

#### 5. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.





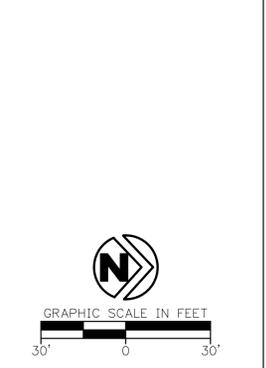
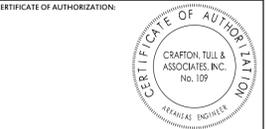




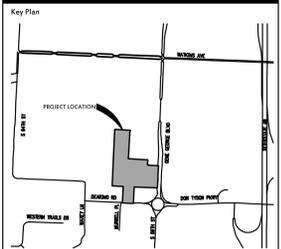








**L20-08**  
**PURE SPRINGDALE**  
SPRINGDALE, AR



No.	Description	Date

This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

PROJECT NO: 19111100  
ISSUE DATE: 1/30/20  
CONTACT: T. HENNELLY  
CHECKED BY: [Signature]

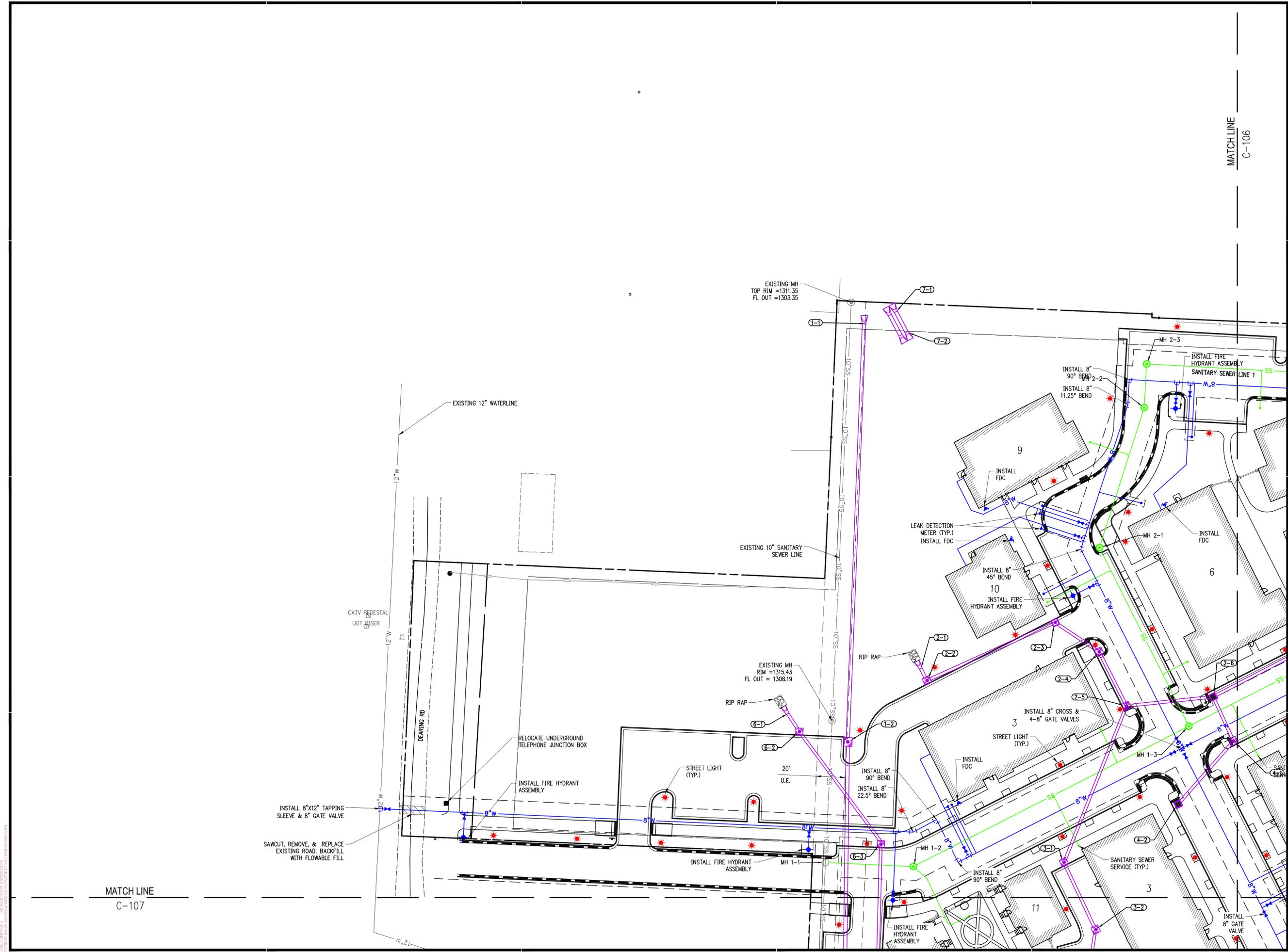
**PRELIMINARY PLANS**

THIS DOCUMENT IS PRELIMINARY IN NATURE AND IS NOT A FINAL, SIGNED AND SEALED DOCUMENT

© 2020 Crafton, Tull & Associates, Inc.

L20-08  
UTILITY PLAN A (C)

**C-105**



MATCH LINE  
C-107

MATCH LINE  
C-106

DRAWING QUANTITY TAKE OFF AND QUANTITY ESTIMATION ARE THE RESPONSIBILITY OF THE USER. CRAFTON TULL & ASSOCIATES, INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.











































ARCHITECTURAL SHINGLES, SLATE COLOR

PAINTED EAVE & FRIEZE TRIM

STONE VENEER

SIGNAGE BAND

FIBER CEMENT PANELS

TINTED CONCRETE BLOCK

GALVANIZED METAL ROOF ON STEEL AWNING FRAME

**FRONT & SIDE FACADE - BUILDING ONE & TWO**

PURE Springdale

ARCHITECTURAL  
SHINGLES, SLATE  
COLOR

STEEL CANOPY

LAPPED SIDING

FIBER CEMENT  
PANEL

STONE VENEER

**FRONT FACADE - BUILDING THREE**

PURE Springdale





PAINTED RAKE, EAVE  
& FASCIA TRIM

DIVIDED LIGHT VINYL  
WINDOW

ARCHITECTURAL  
SHINGLES, SLATE  
COLOR

BOARD & BATTEN  
SIDING

CEDAR LINTEL

STONE VENEER

BRICK ROWLOCK  
SILL

CEDAR BRACKETS

GALVANIZED METAL  
ROOF ON STEEL  
AWNING FRAME

**FRONT FACADE - BUILDING FOUR & SIX**

PURE Springdale

GALVANIZED STEEL  
ROOF VENTS

SIGNAGE BAND

PAINTED STEEL  
CHANNEL

GALVANIZED METAL  
ROOF FOR STEEL  
AWNING FRAME

GARAGE DOORS

ALUMINUM DOORS

ARCHITECTURAL  
SHINGLES, SLATE  
COLOR

PAINTED EAVE &  
TRIM

BRICK ROWLOCK  
SILL

STONE VENEER

TINTED CONCRETE  
BLOCK



**FRONT FACADE - BUILDING FIVE**

PURE Springdale



GALVANIZED STEEL  
ROOF VENTS

ARCHITECTURAL  
SHINGLES, SLATE  
COLOR

PAINTED EAVE &  
TRIM

BRICK ROWLOCK  
SILL

STONE VENEER

TINTED CONCRETE  
BLOCK

ALUMINUM DOORS

**FRONT FACADE - BUILDING SEVEN**

PURE Springdale



ARCHITECTURAL SHINGLES, SLATE COLOR

PAINTED RAKE, EAVE & FASCIA TRIM

BOARD & BATTEN SIDING

LAPPED SIDING

STONE VENEER

CEDAR BRACKETS

**FRONT FACADE - BUILDING NINE**

PURE Springdale



ARCHITECTURAL  
SHINGLES, SLATE  
COLOR

LAP SIDING

SHUTTERS

BRICK ROWLOCK  
SILL

STONE VENEER

**FRONT FACADE - BUILDING TEN**

PURE Springdale



PAINTED RAKE,  
EAVE, & FASCIA TRIM

LAPPED SIDING

ARCHITECTURAL  
SHINGLES,  
WEATHERED WOOD  
COLOR

BOARD & BATTEN  
SIDING

GALVANIZED METAL  
ROOF ON STEEL  
AWNING FRAME

STONE VENEER

**FRONT FACADE - BUILDING ELEVEN**

PURE Springdale



**FRONT FACADE - BUILDING EIGHT**

PURE Springdale

**FRONT FACADE - BUILDING TWELVE**

PURE Springdale

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** March 3, 2020  
**RE:** L20-09 Large Scale Development S. 48<sup>th</sup> Street Storage

---

## Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-09. This number should be placed on the plans and all future correspondence and plats pertaining to this development.  
(standard comment)
5. Remove note indicating residential use.

## Commercial Design Standards Comments

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade. Developments shall use articulating features such as arcades; display windows, entry areas, or awnings along at least sixty (60) percent of the façade.

2. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan.

Provide roofline breaks for the storage buildings.

3. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
  - o Smooth-faced concrete block
  - o Tilt-up concrete panels
  - o Pre-fabricated steel panels

The proposed storage units consist predominately of metal paneling. A variance will be required for deviation as shown.

4. Provide a unified lighting plan for this development.

### **Engineering Comments**

#### **Chapter 50 – Floods**

*(Ord. No. 4110, § 1, 9-11-07)*

- Previous comment said a Floodplain Development permit was required. After reviewing the draft of floodplain map changes, this flood zone is reduced and no longer appears to be on the property. Floodplain Development permit is not required for this project.

# SOUTH 48TH STREET STORAGE SPRINGDALE, ARKANSAS

## LARGE SCALE DEVELOPMENT PLAN L20-09



DATE	REVISIONS
1/31/2020	
2/20/2020	
2/20/2020	1ST SUBMITTAL
2/20/2020	REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW

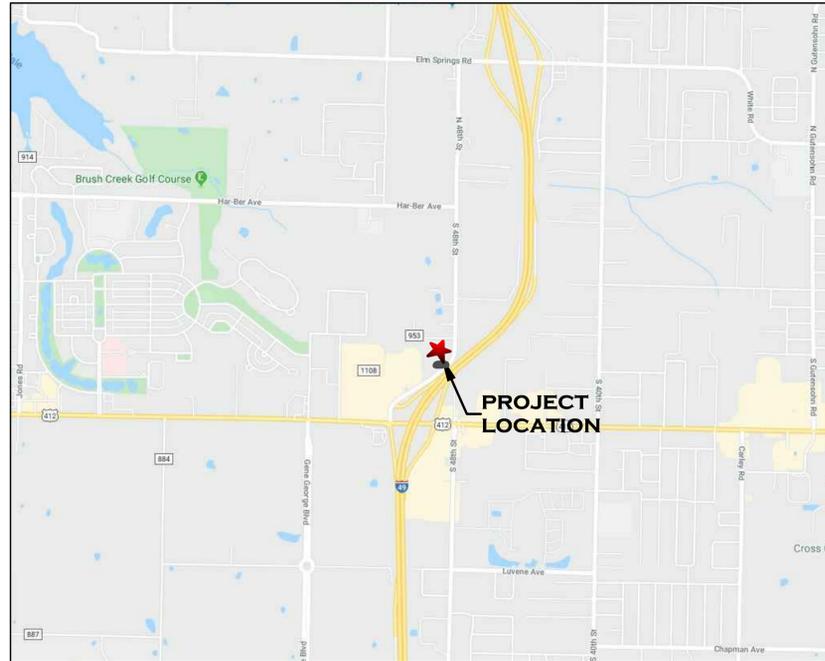
S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 COVER SHEET  
 SPRINGDALE, ARKANSAS



DRAWING NO  
**01**

### GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
- CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
- THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF SPRINGDALE'S WATER AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF SPRINGDALE'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- IN ALL RESIDENTIAL, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS SUBMITTED AFTER AUGUST 30, 2007, ALL UTILITY WIRES, LINES, AND/OR CABLE IN SAID DEVELOPMENTS UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND. EXCLUDING 12KV AND ABOVE.
- CODES TO BE REFERENCED AS PART OF THIS DEVELOPMENT:  
2009 ARKANSAS PLUMBING CODE  
2012 INTERNATIONAL BUILDING CODE  
2014 NATIONAL ELECTRIC CODE  
2010 ARKANSAS MECHANICAL CODE



VICINITY MAP  
N.T.S. NORTH

### INDEX OF DRAWINGS

- COVER SHEET
- SITE + UTILITY PLAN
- GRADING, DRAINAGE + EROSION CONTROL PLAN
- TREE PRESERVATION PLAN
- LANDSCAPE PLAN
- DETAILS

I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS THE 20TH DAY OF NOVEMBER, 2016.



IF THE SIGNATURE ON THIS SEAL IS NOT AN ORIGINAL AND NOT BLUE IN COLOR THEN IT SHOULD BE ASSUMED THAT THIS PLAT MAY HAVE BEEN ALTERED. THE ABOVE CERTIFICATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.  
<http://www.springdalear.gov/documentcenter/home/view/3315>

**BASIS OF ELEVATION:**  
SPRINGDALE MONUMENT #3505 (NAVD 88 VERTICAL DATUM)

**BASIS OF BEARING:**  
GPS OBSERVATION - AR NORTH ZONE (NAD 83 HORIZONTAL DATUM)

**FLOOD CERTIFICATION:**  
A PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.  
(FIRM PANEL #051430070F. DATED 05/16/2008)

**GENERAL SURVEY NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**SURVEY DESCRIPTION:**  
A PART OF THE NORTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING PIPE MARKING THE SOUTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE N04°52'07"E 629.96' TO AN EXISTING PIPE, THENCE S87°46'40"E 314.31' TO AN EXISTING REBAR, THENCE S02°13'36"W 329.80' TO AN EXISTING REBAR, THENCE S87°48'59"E 250.04' TO AN EXISTING REBAR ON THE WEST RIGHT-OF-WAY OF CENTRAL DRIVE, THENCE ALONG SAID RIGHT-OF-WAY S02°12'57"W 79.38' TO AN EXISTING REBAR ON THE SOUTH RIGHT-OF-WAY OF CENTRAL DRIVE, THENCE ALONG SAID RIGHT-OF-WAY S87°47'32"E 741.73' TO THE EAST LINE OF SAID FORTY ACRE TRACT, THENCE ALONG SAID EAST LINE S03°06'47"W 183.63' TO A POINT ON THE WEST RIGHT-OF-WAY OF SOUTH 48TH STREET, THENCE ALONG SAID RIGHT-OF-WAY N88°05'14"W 22.01', THENCE CONTINUING ALONG SAID RIGHT-OF-WAY S13°23'47"W 38.33' TO THE SOUTH LINE OF SAID FORTY ACRE TRACT, THENCE ALONG SAID SOUTH LINE N87°44'23"W 1302.86' TO THE POINT OF BEGINNING, CONTAINING 10.21 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN CENTRAL DRIVE MASTER STREET PLAN ON THE NORTH SIDE, SUBJECT TO THAT PORTION IN SOUTH 48TH STREET MASTER STREET PLAN RIGHT-OF-WAY ON THE SOUTH SIDE OF HEREIN DESCRIBED TRACT AND SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

#### SITE AMENITIES:

- BENCH SEATING
- PATIO WITH PICNIC TABLE

AMENITIES ARE TO BE COMPLEMENTARY TO THE PRINCIPAL MATERIALS OF THE BUILDING AND LANDSCAPE

#### SITE AREA INFORMATION

GROSS SITE AREA	444,550 SQ FT
SITE AREA IN RIGHT OF WAY	7,223 SQ FT
NET SITE AREA	437,227 SQ FT

#### GREENSPACE CALCULATIONS:

TOTAL AREA OF SITE	437,227 SQ FT
PROPOSED IMPERMEABLE AREA	279,794 SQ FT
POST-DEVELOPED GREENSPACE	157,433 SQ FT
TOTAL PERCENTAGE GREENSPACE:	36%

#### BUILDING SETBACKS (C-2):

FRONT	30ft
FRONT (W/ PARKING BETWEEN R/W AND BLDG)	50ft
SIDE	00ft
REAR	25ft
REAR (ADJACENT TO RESIDENTIAL USES)	50ft

#### PARKING REQUIREMENTS:

CHAPTER 130, ARTICLE 7, SECTION 7.4 - PARKING STANDARDS	
BUSINESS & PROFESSIONAL OFFICE:	1 SPACE PER 300 SQ. FT.
WAREHOUSE & STORAGE:	1 SPACE PER 1,200 SQ. FT.
OFFICE AREA:	4800 SQ. FT.
SPACES REQUIRED:	16
WAREHOUSE AREA:	123,629 SQ. FT.
SPACES REQUIRED:	103 SPACES*
TOTAL PARKING SPACES REQUIRED:	16
TOTAL PARKING SPACES PROVIDED:	18
ADA SPACES REQUIRED/PROVIDED:	1
*PARKING FOR STORAGE UNITS IS PROVIDED IN FRONT OF INDIVIDUAL UNITS	

PROPOSED	EXISTING	LEGEND	DESCRIPTION
			ASPHALT (EDGE)
			ASPHALT (SURFACE)
			BUILDING
			BUILDING SETBACK LINE
			BOLLARD
			CABLE TV (UNDERGROUND)
			CABLE TV (OVERHEAD)
			CENTERLINE
			CONCRETE SURFACE
			CONDUIT
			CONTOURS
			CURB & GUTTER
			ELECTRICAL (UNDERGROUND)
			ELECTRICAL (OVERHEAD)
			ELECT. TRANSFORMER
			EASEMENT
			FENCE (WIRE/WOOD/CHAIN)
			FIBER OPTIC CABLE
			FIRE HYDRANT ASSEMBLY
			FLOWLINE
			FORCE MAIN
			GAS MAIN
			GAS METER
			GRAVEL SURFACE (EDGE)
			GRAVEL SURFACE
			IRON PIN (5/8" RE-BAR)
			LIGHT
			MONUMENT (CONCRETE)
			POND
			POWER POLE
			PROPERTY LINE (EXTERNAL)
			RETAINING WALL
			RIGHT-OF-WAY
			SANITARY SEWER PIPE
			SANITARY SEWER MANHOLE
			SANITARY SEWER SERVICE
			SECTION LINE
			SIDEWALK
			SIGN
			SILT FENCE
			SPOT ELEVATION
			STORM SEWER PIPE
			STORM SEWER INLET
			STORM SEWER BALES
			TELEPHONE PED/MANHOLE
			TELEPHONE (UNDERGROUND)
			TELEPHONE (OVERHEAD)
			TREE LINE CANOPY
			TREE/TREE TO BE REMOVED
			UTILITY EASEMENT
			WATER MAIN PIPE
			WATER VALVE
			WATER METER
			WATER THRUST BLOCK
			WATER MAIN REDUCER
			WATER MAIN BLOWOFF VALVE

### ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

### OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

### SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.



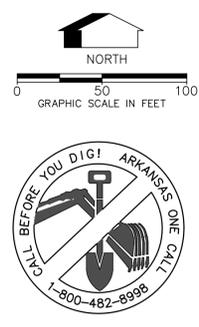
### UTILITY CONTACT INFORMATION

<b>CABLE:</b>	COX COMMUNICATIONS JASON COMBS / MICHAEL MOORE 4901 S. 48th STREET SPRINGDALE, AR 72762 PHONE: (479) 717-3730	<b>FIRE:</b>	CITY OF SPRINGDALE 417 HOLCOMB STREET SPRINGDALE, AR 72764 PHONE: (479) 750-4510	<b>WATER &amp; SEWER:</b>	SPRINGDALE WATER UTILITIES RICK RUSSELL 526 OAK AVE. SPRINGDALE, AR 72764 PHONE: (479) 571-5751
<b>CITY:</b>	CITY OF SPRINGDALE ENGINEERING/PLANNING 201 SPRING STREET SPRINGDALE, AR 72764 PHONE: (479) 750-8550	<b>GAS:</b>	BLACK HILLS ENERGY 655 E. MILLSAP DRIVE FAYETTEVILLE, AR 72703 PHONE: (800) 563-0012	<b>WASTE:</b>	WASTE MANAGEMENT 11979 ARBOR ACRES RD. FAYETTEVILLE, AR 72701 PHONE: (800) 443-5558
<b>ELECTRIC:</b>	AEP/SWPCO NANCY S. GUISINGER 101 W. TOWNSHIP STREET FAYETTEVILLE, AR 72703 PHONE: (479) 225-0813	<b>TELEPHONE:</b>	SOUTHWESTERN BELL SUE CLOUSER FAYETTEVILLE, AR 72701 PHONE: (479) 442-3107		



- ADJACENT PROPERTY OWNERS:**
- 1) PARCEL #815-30054-130  
 WILLEY, LEV & JANIS  
 REVOCABLE FAMILY TRUST  
 556 S 48TH ST  
 SPRINGDALE, AR 72762-4871  
 ZONED: A-1
  - 2) PARCEL #815-30054-180  
 PICKEN FAMILY TRUST  
 5131 CENTRAL  
 SPRINGDALE, AR 72762  
 ZONED: O-1
  - 3) PARCEL #815-30054-140  
 GRIGG, KAREN J, EDMON,  
 SUSAN A; STACY, CARLA J  
 16724 STAGECOACH RD  
 GRAVETTE, AR 72736  
 ZONED: A-1
  - 4) PARCEL #815-30054-170  
 DELGADO, ELIZABETH  
 5053 CENTRAL DR  
 SPRINGDALE, AR 72762  
 ZONED: A-1
  - 5) PARCEL #815-30054-060  
 FERRELL, DONALD & BETTY  
 5000 CENTRAL DR  
 SPRINGDALE, AR 72762-4836  
 ZONED: A-1
  - 6) PARCEL #815-30054-120  
 U S BANK NATIONAL ASSOCIATION  
 OPTION ONE MORTGAGE  
 650 IRVIN CENTER DR  
 IRVIN, CA 92618  
 ZONED: A-1
  - 7) PARCEL #815-30054-110  
 FERRELL, VIRGIL & JUANITA  
 4950 CENTRAL DR  
 SPRINGDALE, AR 72762  
 ZONED: A-1
  - 8) PARCEL #815-30054-191  
 FERRELL, VIRGIL & JUANITA  
 4950 CENTRAL DR  
 SPRINGDALE, AR 72762  
 ZONED: A-1
  - 9) PARCEL #815-30054-090  
 PARTNERS CONSTRUCTION LLC  
 5100 S THOMPSON ST  
 SPRINGDALE, AR 72764  
 ZONED: A-1
  - 10) PARCEL #815-30047-150  
 BERAN PROPERTIES LLC  
 218 PINKLEY RD  
 SPRINGDALE, AR 72762  
 ZONED: C-5

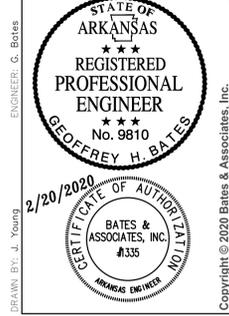
- 11) PARCEL #815-30047-140  
 RNR INVESTMENTS LLC  
 PO BOX 8140  
 SPRINGDALE, AR 72766  
 ZONED: C-2
- 12) PARCEL #815-30054-002  
 ARKANSAS STATE HIGHWAY COMM  
 PO BOX 2261  
 LITTLE ROCK, AR 72203  
 ZONED: A-1
- 13) PARCEL #815-30054-014  
 ARKANSAS STATE HIGHWAY COMM  
 PO BOX 2261  
 LITTLE ROCK, AR 72203  
 ZONED: C-5
- 14) PARCEL #815-30054-270  
 DONAHOE, JACK & NANCY  
 JOINT REVOCABLE TRUST  
 3406 NORTH 13TH ST  
 ROGERS, AR 72756  
 ZONED: C-5
- 15) PARCEL #815-30054-291  
 DONAHOE, JACK & NANCY  
 JOINT REVOCABLE TRUST  
 3406 NORTH 13TH ST  
 ROGERS, AR 72756  
 ZONED: C-5
- 16) PARCEL #815-30054-320  
 MATHIAS SHOPPING CENTERS INC  
 PO BOX 6485  
 SPRINGDALE, AR 72766-6485  
 ZONED: C-2
- 17) PARCEL #815-35579-000  
 MATHIAS SHOPPING CENTERS INC  
 PO BOX 6485  
 SPRINGDALE, AR 72766-6485  
 ZONED: C-2
- 18) PARCEL #815-35578-000  
 MATHIAS SHOPPING CENTERS INC  
 PO BOX 6485  
 SPRINGDALE, AR 72766-6485  
 ZONED: C-2
- 19) PARCEL #815-35577-000  
 MATHIAS SHOPPING CENTERS INC  
 PO BOX 6485  
 SPRINGDALE, AR 72766-6485  
 ZONED: C-2



- GENERAL NOTES:**
1. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING, PAVING, LOT LINE ADJUSTMENTS OR OTHER MATTERS.
  2. SPRINGDALE WATER UTILITIES WILL INSTALL THE PROPOSED WATER METER SERVICE AT THE OWNER/DEVELOPER'S EXPENSE.
  3. REQUESTS FOR METER SERVICES LARGER THAN A 3/4" WATER METER SETTER FOR IRRIGATION OR LARGER THAN 1" METER SETTER FOR POTABLE WATER WILL HAVE TO BE APPROVED IN WRITING BY THE ENGINEERING DIRECTOR OF SPRINGDALE WATER UTILITIES.
  4. INSTALL DOMESTIC METER AND IRRIGATION METER WITH A BACKFLOW PREVENTER.
  5. EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES, AND BANKS OF METERS SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
  6. ALL UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND. EXCLUDING 12KV AND ABOVE.
  7. HANDICAPPED RAMPS SHALL BE PROVIDED WHEREVER A SIDEWALK CROSSES A CURB AT CROSSWALKS, DRIVEWAYS, AND STREET INTERSECTIONS.
  8. ALL MATERIAL AND COMPONENTS INSTALLED AFTER JANUARY 3, 2014 IN DRINKING WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.
  9. ANY RELOCATION OF EXISTING FACILITIES OR EXTENSION OF LINE THAT HAS TO BE BUILT SPECIFICALLY TO FEED THIS PROJECT WILL BE AT FULL COST TO THE DEVELOPER.
  10. IF OFF SITE EASEMENTS ARE NEEDED FOR SWPCO TO PROVIDE ELECTRICITY TO THE DEVELOPMENT, EASEMENTS MUST BE OBTAINED BY DEVELOPER AND PROVIDED TO SWPCO BEFORE THE DESIGN WILL BEGIN. ON SITE EASEMENTS MUST BE SHOWN ON PLAT AND RECORDED WITH THE COUNTY.
  11. ALL PROPERTY CORNERS AND EASEMENTS MUST BE CLEARLY MARKED BEFORE CONSTRUCTION WILL BEGIN.
  12. ALL CONDUITS PLACED AT ROAD CROSSINGS BY DEVELOPER MUST HAVE 48 INCH OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY END OF CONDUITS. (3-4 INCH SCHEDULE CONDUITS TO BE USED FOR ELECTRIC, ONLY AT ALL ROAD CROSSINGS. CONDUITS MUST EXTEND PAST THE EDGE OF ANY OBSTRUCTIONS SO THAT THEY ARE ACCESSIBLE DURING CONSTRUCTION.) THERE MUST BE MINIMUM SEPARATION OF 12 INCHES BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES. THIS IS NESC CODE 354. ALL CONDUITS FOR ROAD CROSSINGS AND SPECIFIC WIDTHS OF U.E. MUST BE SHOWN ON FINAL PLAT BEFORE SWPCO ELECTRIC WILL SIGN THE FINAL PLAT.
  13. TRANSFORMER MUST HAVE A MINIMUM OF 30 FEET CLEARANCE FROM ANY STRUCTURE. ANY VARIATION OF THIS REQUIREMENT MUST HAVE WRITTEN APPROVAL FROM A SWPCO REPRESENTATIVE.
  14. TRANSFORMER WILL NEED TO BE LOCATED IN AN AREA EASILY ACCESSIBLE TO SWPCO LINE TRUCKS FOR INSTALLATION AND CONTINUED MAINTENANCE.
  15. BOLLARDS WILL NEED TO BE INSTALLED AT ALL FOUR CORNERS OF TRANSFORMER PAD.
  16. A MINIMUM 15' UTILITY EASEMENT WILL BE REQUIRED FOR ALL UNDERGROUND CONDUCTORS UP TO AND INCLUDING THE LOCATION OF THE PAD MOUNT TRANSFORMER.
  17. DEVELOPER WILL NEED TO CONTACT NANCY GUISINGER AT SWPCO (479-225-0813) AND PROVIDE HER WITH ELECTRICAL LOAD INFORMATION BEFORE ANY COST TO DEVELOPER CAN BE DETERMINED.
  18. DEVELOPER TO PROVIDE ALL TRENCH AND PVC CONDUITS INCLUDING STEEL SWEEPS IN ACCORDANCE WITH SWPCO SPECIFICATIONS.
  19. ALL UTILITY EASEMENTS TO BE CLEARED OF ALL TREES, BRUSH, DIRT PILES, BUILDINGS AND DEBRIS SO THAT THE EASEMENT IS ACCESSIBLE WITH EQUIPMENT. IF EASEMENT IS NOT CLEARED DEVELOPER MAY BE SUBJECT TO EXTRA CHARGES.
  20. CONTRACTOR MUST APPLY FOR ELECTRIC TEMPORARY CONSTRUCTION AND PERMANENT SERVICE BEFORE ANY DESIGN AND COST IS DETERMINED BY SWPCO.
  21. ANY ADDITIONAL WATER METER SERVICES OR SANITARY SEWER SERVICES NEEDED IN THE FUTURE SHALL BE INSTALLED BY SPRINGDALE WATER UTILITIES AT THE OWNER/DEVELOPER'S EXPENSE.
  22. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE. WHEN A COMMERCIAL DEVELOPMENT INCLUDES A FENCE OR WALL, THE FOLLOWING GUIDELINES AND STANDARDS APPLY:
    - A. MAXIMUM HEIGHT OF A FENCE OR WALL SHALL BE 8'
    - B. CONSTRUCTED OF HIGH QUALITY MATERIALS SUCH AS, DECORATIVE BLOCKS, BRICK, STONE, CYPRESS, CEDAR, REDWOOD, AND/OR WROUGHT IRON.
    - C. MAXIMUM LENGTH OF A CONTINUOUS, UNBROKEN, AND UNINTERRUPTED FENCE OR WALL SHALL BE 50'. BREAKS SHALL BE PROVIDED THROUGH THE USE OF COLUMNS, LANDSCAPING POCKETS, TRANSPARENT SECTIONS, AND/OR A CHANGE TO DIFFERENT MATERIALS.
  23. STREETLIGHTS TO BE PAID FOR BY DEVELOPER. THE STREETLIGHT FIXTURE SHALL BE THE MOST ENERGY EFFICIENT MODEL PROVIDED BY THE ELECTRIC UTILITY AT THE TIME OF INSTALLATION, OR AS DIRECTED BY THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR OR HIS/HER DESIGNATED REPRESENTATIVE. THE MINIMUM INITIAL RATING FOR THE STREETLIGHT AT THE INTERSECTION OF CENTRAL AND 48TH SHALL BE 11,000 LUMENS. THE MINIMUM INITIAL RATING FOR THE STREETLIGHTS ALONG CENTRAL SHALL BE 6,800 LUMENS.
  24. WATER AND SEWER LINES MUST BE LOCATED A MINIMUM OF 7.5 FEET FROM THE TOP OF AN EMBANKMENT OR THE TOP OF ANY DETENTION POND SLOPE.
  25. ALL WATER AND SANITARY SEWER TAP WHICH ARE NOT INDICATED ON THE PLANS SHALL BE IN ACCORDANCE WITH SPRINGDALE WATER UTILITIES STANDARD SPECIFICATIONS.
  26. STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT EXCEEDING (6) MONTHS. PRIOR TO A FINAL INSPECTION OF GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:
    - A.) DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY PLANNING COMMISSION AND
    - B.) THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
    - C.) NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
    - D.) NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SID BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
    - E.) ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM CONSTRUCTION SITE

TOTAL ACREAGE  
 PARCELS  
 #815-30054-210  
 #815-30054-070  
 10.21 ACRES +/-  
 444550.19 SQ. FT.

LINE BEARING	DISTANCE
1. N 88°05'14" W	12.01'
2. S 13°23'47" W	48.33'

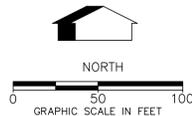


REVISIONS	DATE
1ST SUBMITTAL	1/31/2020
REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW	2/20/2020

S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 SITE PLAN  
 SPRINGDALE, ARKANSAS



A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.  
 HTTP://WWW.SPRINGDALEAR.GOV/DOCUMENTCENTER/HOME/VIEW/3315



- SEDIMENT & EROSION CONTROL NOTES:**
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND CITY REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR SHALL POST STORM WATER POLLUTION PREVENTION PLAN.
  - ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
  - ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL ALL EXCAVATION IS COMPLETE.
  - THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION

**HANDICAP SPACE NOTES:**

- HANDICAP SPACES MUST HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS.

**CITY OF SPRINGDALE STANDARD NOTES:**

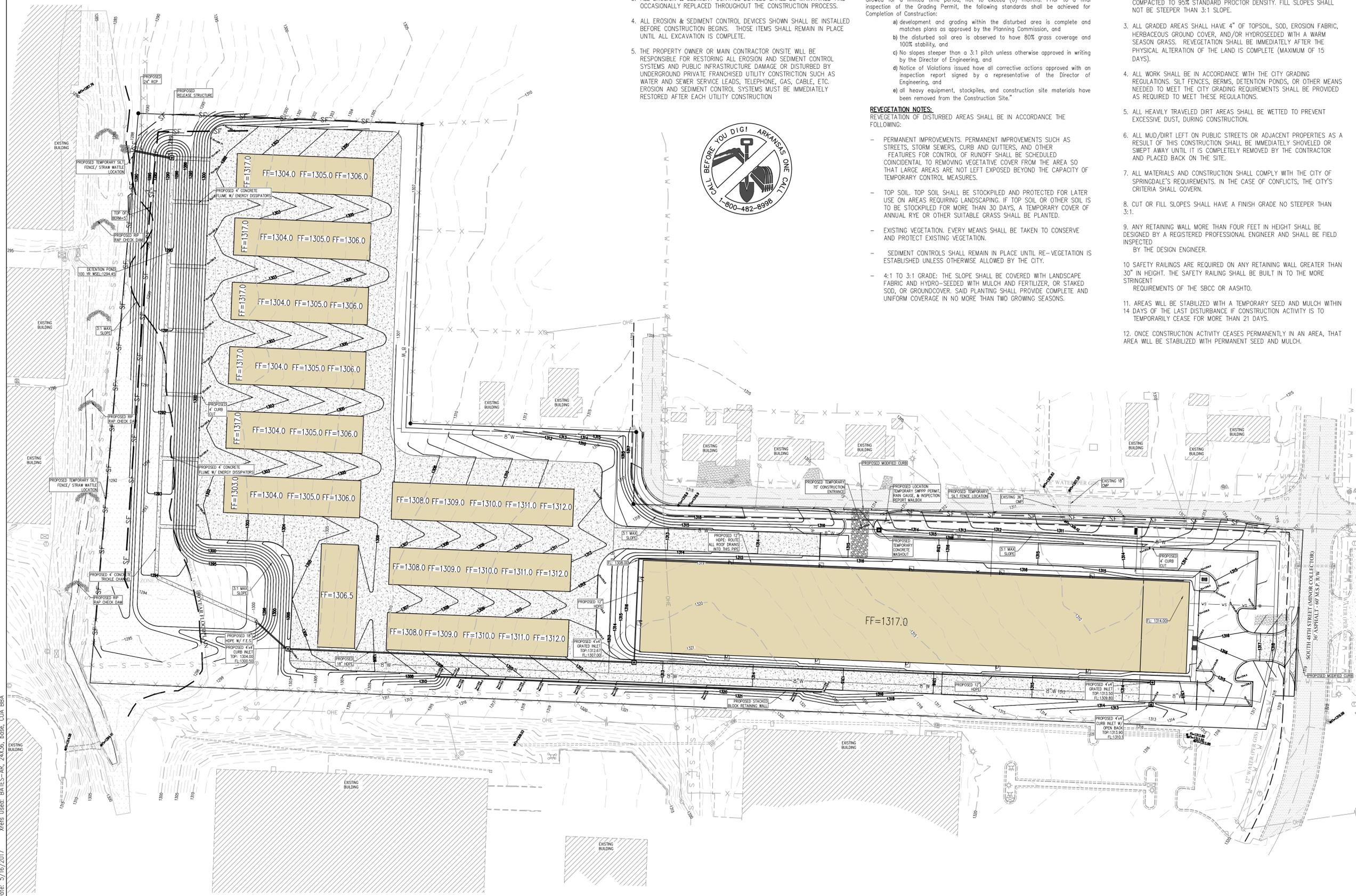
"Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:

- development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
- the disturbed soil area is observed to have 80% grass coverage and 100% stability, and
- No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
- Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
- all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site."

**REVEGETATION NOTES:**

REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- PERMANENT IMPROVEMENTS. PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- TOP SOIL. TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- EXISTING VEGETATION. EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
- SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED UNLESS OTHERWISE ALLOWED BY THE CITY.
- 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDING WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.



**CONSTRUCTION NOTES:**

- ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
- ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDING WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS. SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
- ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
- ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELLED OR SWEEP AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR AND PLACED BACK ON THE SITE.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF SPRINGDALE'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- CUT OR FILL SLOPES SHALL HAVE A FINISH GRADE NO STEEPER THAN 3:1.
- ANY RETAINING WALL MORE THAN FOUR FEET IN HEIGHT SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND SHALL BE FIELD INSPECTED BY THE DESIGN ENGINEER.
- SAFETY RAILINGS ARE REQUIRED ON ANY RETAINING WALL GREATER THAN 30" IN HEIGHT. THE SAFETY RAILING SHALL BE BUILT IN TO THE MORE STRINGENT REQUIREMENTS OF THE SBCC OR AASHTO.
- AREAS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE IF CONSTRUCTION ACTIVITY IS TO TEMPORARILY CEASE FOR MORE THAN 21 DAYS.
- ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH.

REVISIONS	DATE
1ST SUBMITTAL	1/31/2020
REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW	2/20/2020

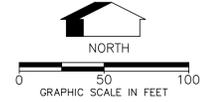
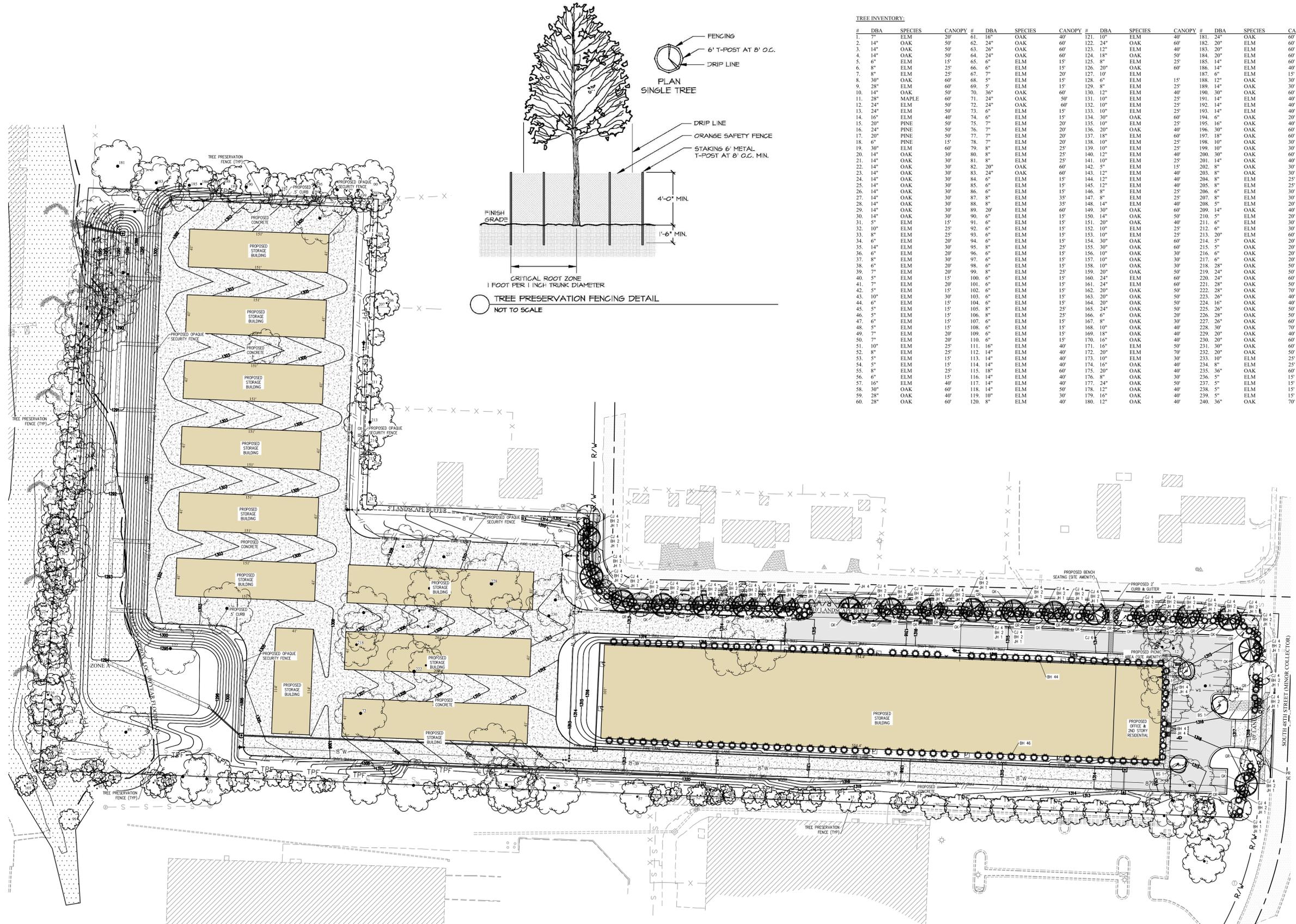
S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 GRADING, DRAINAGE &  
 EROSION CONTROL PLAN  
 SPRINGDALE, ARKANSAS

**Bates & Associates, Inc.**  
 www.batesinc.com  
 Civil Engineering & Surveying  
 7230 S. Pleasant Ridge Dr - Fayetteville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350

PROJECT NO: 19-356  
 DRAWING NO: 03

Time: 10:11 am  
 Scale: 1"=20' (FS)  
 Date: 5/16/2017  
 Drawing Name: 17\000\17-017\Engineering\04 Grading Plan.dwg  
 Xrefs Used: BATES-AR\_24\36\_bssa\_COA\_BSA

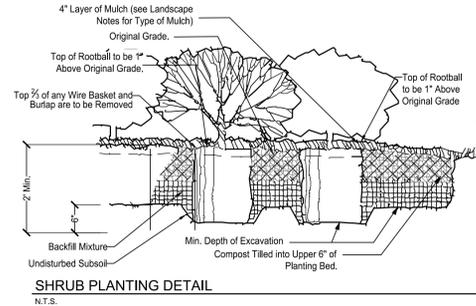
ENGINEER: G. Bates  
 DRAWN BY: J. Young  
 2/20/2020  
 STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 GEOFFREY H. BATES  
 No. 9810  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER  
 Copyright © 2020 Bates & Associates, Inc.



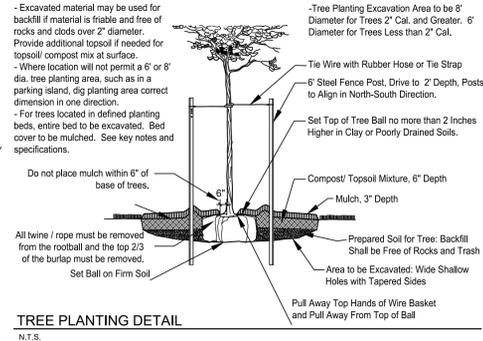
TREE INVENTORY:

#	DBA	SPECIES	CANOPY #	DBA	SPECIES	CANOPY #	DBA	SPECIES	CANOPY #	DBA	SPECIES	CANOPY #
1.	7"	ELM	20	61.16"	OAK	40	121.10"	ELM	40	181.24"	OAK	60
2.	14"	OAK	50	62.24"	OAK	60	122.24"	OAK	60	182.20"	ELM	60
3.	14"	OAK	50	63.20"	OAK	60	123.12"	ELM	40	183.20"	ELM	60
4.	14"	OAK	50	64.24"	OAK	60	124.18"	OAK	50	184.20"	ELM	60
5.	6"	ELM	15	65.6"	ELM	15	125.8"	ELM	25	185.14"	ELM	60
6.	8"	ELM	25	66.6"	ELM	15	126.20"	OAK	60	186.14"	ELM	40
7.	8"	ELM	25	67.7"	ELM	20	127.10"	ELM	60	187.6"	ELM	15
8.	30"	OAK	60	68.5"	ELM	15	128.6"	ELM	15	188.12"	OAK	30
9.	28"	ELM	60	69.5"	ELM	15	129.8"	ELM	25	189.14"	OAK	30
10.	14"	OAK	50	70.36"	OAK	60	130.12"	ELM	40	190.30"	OAK	60
11.	28"	MAPLE	60	71.24"	OAK	50	131.10"	ELM	25	191.14"	ELM	40
12.	24"	ELM	50	72.24"	OAK	60	132.10"	ELM	25	192.14"	ELM	40
13.	24"	ELM	50	73.6"	ELM	15	133.10"	ELM	25	193.14"	ELM	40
14.	16"	ELM	40	74.6"	ELM	15	134.30"	OAK	60	194.6"	OAK	20
15.	20"	PINE	50	75.7"	ELM	20	135.10"	ELM	25	195.16"	OAK	40
16.	24"	PINE	50	76.7"	ELM	20	136.20"	OAK	40	196.30"	OAK	60
17.	20"	PINE	50	77.7"	ELM	20	137.18"	ELM	60	197.18"	OAK	60
18.	6"	PINE	15	78.7"	ELM	20	138.10"	ELM	25	198.10"	OAK	30
19.	30"	ELM	60	79.8"	ELM	25	139.10"	ELM	25	199.10"	OAK	30
20.	14"	OAK	30	80.8"	ELM	25	140.12"	ELM	40	200.30"	OAK	60
21.	14"	OAK	30	81.8"	ELM	25	141.10"	ELM	25	201.14"	OAK	40
22.	14"	OAK	30	82.20"	OAK	60	142.5"	ELM	15	202.8"	OAK	30
23.	14"	OAK	30	83.24"	OAK	60	143.12"	ELM	40	203.8"	OAK	30
24.	14"	OAK	30	84.6"	ELM	15	144.12"	ELM	40	204.8"	ELM	25
25.	14"	OAK	30	85.6"	ELM	15	145.12"	ELM	40	205.8"	ELM	25
26.	14"	OAK	30	86.6"	ELM	15	146.8"	ELM	25	206.6"	ELM	30
27.	14"	OAK	30	87.8"	ELM	35	147.8"	ELM	25	207.8"	ELM	30
28.	14"	OAK	30	88.8"	ELM	35	148.14"	ELM	40	208.5"	ELM	20
29.	14"	OAK	30	89.20"	OAK	60	149.30"	OAK	60	209.14"	OAK	40
30.	14"	OAK	30	90.6"	ELM	15	150.14"	OAK	50	210.5"	ELM	20
31.	5"	ELM	15	91.6"	ELM	15	151.20"	OAK	40	211.6"	ELM	30
32.	10"	ELM	25	92.6"	ELM	15	152.10"	ELM	25	212.6"	ELM	30
33.	8"	ELM	25	93.6"	ELM	15	153.10"	ELM	25	213.20"	ELM	60
34.	6"	ELM	20	94.6"	ELM	15	154.30"	OAK	60	214.5"	OAK	20
35.	14"	ELM	30	95.8"	ELM	25	155.30"	OAK	60	215.5"	OAK	20
36.	6"	ELM	20	96.6"	ELM	15	156.10"	OAK	30	216.6"	OAK	20
37.	8"	ELM	30	97.6"	ELM	15	157.10"	OAK	30	217.6"	OAK	20
38.	6"	ELM	20	98.6"	ELM	15	158.10"	OAK	30	218.28"	OAK	50
39.	7"	ELM	20	99.8"	ELM	25	159.20"	OAK	50	219.24"	OAK	50
40.	5"	ELM	15	100.6"	ELM	15	160.24"	ELM	60	220.24"	OAK	60
41.	7"	ELM	20	101.6"	ELM	15	161.24"	ELM	60	221.28"	OAK	50
42.	5"	ELM	15	102.6"	ELM	15	162.20"	OAK	50	222.28"	OAK	70
43.	10"	ELM	30	103.6"	ELM	15	163.20"	OAK	50	223.26"	OAK	40
44.	6"	ELM	15	104.6"	ELM	15	164.30"	OAK	50	224.16"	OAK	40
45.	5"	ELM	15	105.8"	ELM	25	165.24"	OAK	50	225.26"	OAK	50
46.	5"	ELM	15	106.8"	ELM	25	166.6"	OAK	20	226.28"	OAK	50
47.	6"	ELM	15	107.6"	ELM	15	167.8"	OAK	30	227.26"	OAK	60
48.	5"	ELM	15	108.6"	ELM	15	168.10"	OAK	40	228.30"	OAK	70
49.	7"	ELM	20	109.6"	ELM	15	169.18"	OAK	40	229.20"	OAK	40
50.	7"	ELM	20	110.6"	ELM	15	170.16"	OAK	40	230.20"	OAK	60
51.	10"	ELM	25	111.16"	ELM	15	171.30"	ELM	50	231.30"	OAK	60
52.	8"	ELM	25	112.14"	ELM	40	172.20"	ELM	70	232.20"	OAK	50
53.	5"	ELM	15	113.14"	ELM	40	173.10"	ELM	30	233.10"	ELM	25
54.	5"	ELM	15	114.14"	ELM	40	174.16"	OAK	40	234.8"	ELM	25
55.	5"	ELM	15	115.18"	ELM	60	175.30"	OAK	40	235.36"	OAK	60
56.	6"	ELM	15	116.14"	ELM	40	176.8"	OAK	30	236.5"	ELM	15
57.	16"	ELM	40	117.14"	ELM	40	177.24"	OAK	50	237.5"	ELM	15
58.	30"	OAK	60	118.14"	ELM	50	178.12"	ELM	40	238.5"	ELM	15
59.	28"	OAK	40	119.10"	ELM	30	179.16"	OAK	40	239.5"	ELM	15
60.	28"	OAK	60	120.8"	ELM	40	180.12"	OAK	40	240.36"	ELM	70

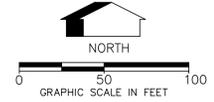
REVISIONS	DATE
1ST SUBMITTAL	1/31/2020
REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW	2/20/2020



- TREES**
1. EXCAVATION FOR TREE PITS SHALL BE 8' IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM.
  2. STAKE ALL TREES BY USING THREE METAL FENCE POST STAKES AND THREE TIES. DRIVE STAKES APPROXIMATELY 6" OUTSIDE OF TREE ROOTBALL AND AN EQUAL DISTANCE FROM TREE TRUNK.
  3. ALL PRESERVED MATURE TREES ON THE SITE SHALL HAVE A MULCH RING ADDED AROUND THE TRUNK.
  4. ALL PLANTING HOLES FOR TREES AND SHRUBS SHALL BE BACKFILLED WITH AMENDED SOIL, FREE OF SOD.
  5. ALL LANDSCAPE TREES PLANTED TO MEET STREET TREE, MITIGATION TREE OR OTHER LANDSCAPE CODE REQUIREMENTS MUST BE SINGLE STEM, MINIMUM 2" CALIPER TREES. NO DOUBLE OR TRI-STEM TREES WILL BE COUNTED TOWARDS MEETING REQUIREMENTS.
  6. IF PLANTING MATERIAL IS TO BE B&B THEN THE B&B MUST BE NATURAL FIBERS AND NOT SYNTHETIC.



- TREES**
- LANDSCAPING**
1. PREPARE TOPSOIL FOR SHRUB AND GROUND COVER BEDS BY TILLING A 2 INCH LAYER (165 CF PER 1000 SQ. FT.) OF COMPOST INTO THE UPPER 6 INCHES OF SOIL.
  2. ALL PLANTING BEDS THAT ADJUT LAWN AREAS TO BE BORDERED BY STEEL EDGING.
  3. SOLID SLAB SOD BERMUDA GRASS OR BERMUDA SEED TO BE PLANTED IN ALL TURF AREAS.
  4. TOPSOIL DEPTH SHALL BE MINIMUM 18" IN ALL SHRUB AND GROUND COVER BEDS.
  5. APPLY 3" OF ORGANIC MULCH TO ALL SHRUB AND GROUND COVER BEDS.
  6. APPLY 1/2 POUND OSMOCOTE 8-6-12 EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
  7. IRRIGATION SHALL BE EITHER UNDERGROUND AUTOMATIC SYSTEM.
  8. TREAT ALL LANDSCAPE AREAS TO CONTROL WEED GROWTH PRIOR TO STARTING CONSTRUCTION.
  9. ALL LANDSCAPE BEDS SHALL BE FREE OF SOD AND MULCH SHALL COVER THE BARE SOIL TO EASE MAINTENANCE.
  10. DIG DOWN THE EDGE OF ALL BEDS WHERE THEY ARE ADJACENT TO WALLS, WALKWAYS OR CURBS, SO THAT THE WALL, WALKWAY, OR CURB WILL WORK AS A BED EDGE TO CONTAIN THE MULCH OR GRAVEL.
  11. PLANTING BEDS SHALL HAVE AMENDED SOIL TO INSURE THE HEALTH OF THE PLANT MATERIALS.



**LANDSCAPE REQUIREMENTS:**

**FRONTAGE LANDSCAPING: OPTION 1 (SEC. 56-31)**  
 1 SHADE TREE & 7 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE  
 LINEAR STREET FRONTAGE: 1018 FT.

**REQUIRED:** 40 TREES / 285 SHRUBS  
**PROVIDED:** 40 TREES / 286 SHRUBS

**INTERIOR LANDSCAPING:**  
 PROPOSED PARKING LOT AREA: 8,704 S.F.

**INTERIOR LANDSCAPE AREA REQUIRED (8%):** 696 SF  
**INTERIOR LANDSCAPE AREA PROVIDED:** 1012 SF  
**INTERIOR TREES PROVIDED:** 3

**PERIMETER LANDSCAPING:**  
 5'-FOOT LANDSCAPED STRIP ALONG THE SIDE AND REAR LOT LINES OF A DEVELOPMENT WITH ONE TREE PER 25 LINEAR FEET REQUIRED ALONG LOT LINES.

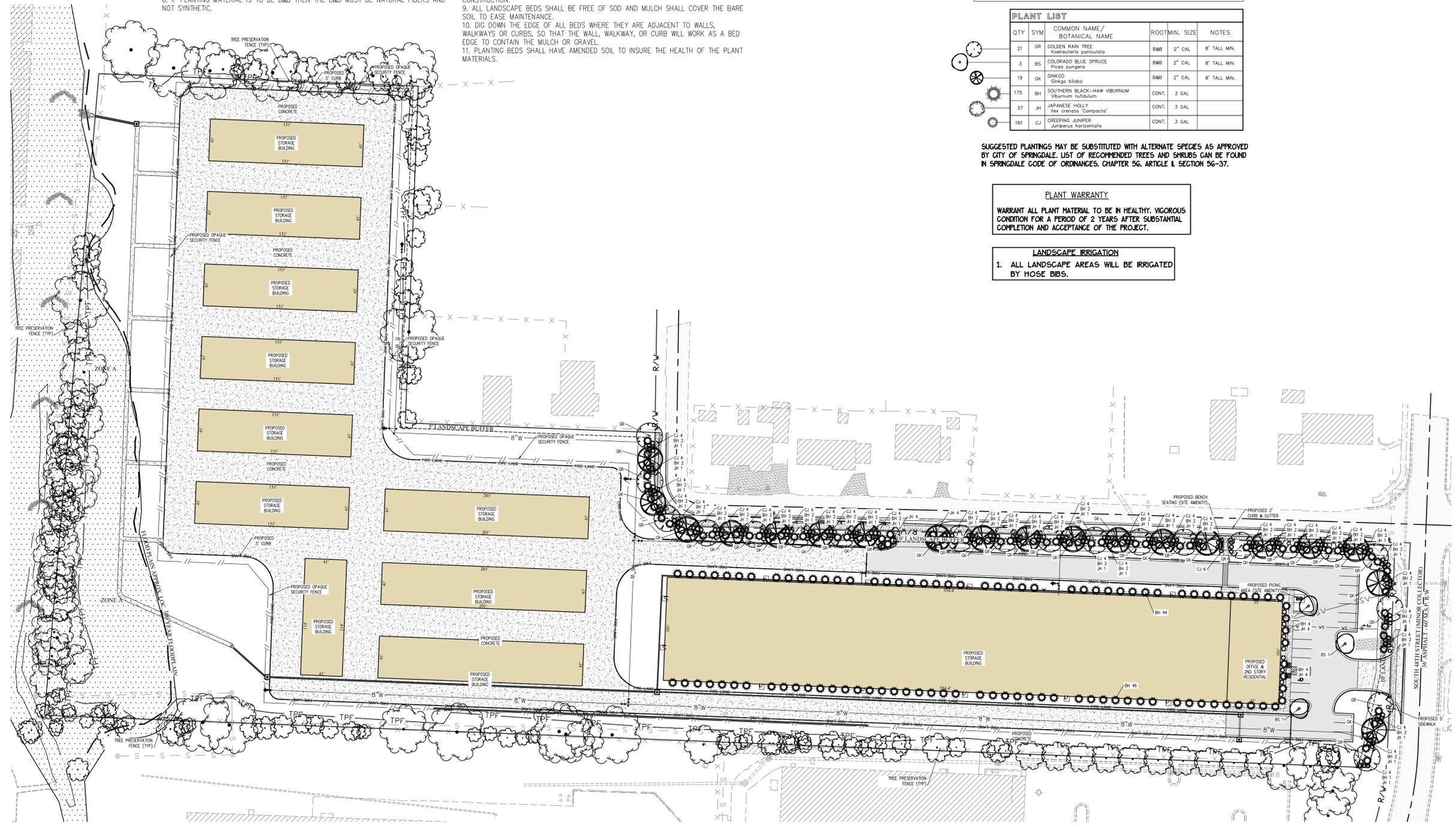
\*VARIANCE FROM PERIMETER LANDSCAPING REQUESTED

PLANT LIST				
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT MIN. SIZE	NOTES
21	GR	GOLDEN RAIN TREE <i>Koeleruteria paniculata</i>	B&B	8" TALL MIN.
3	BS	COLORADO BLUE SPRUCE <i>Picea pungens</i>	B&B	2" CAL. 8" TALL MIN.
19	OK	GINKGO <i>Ginkgo biloba</i>	B&B	2" CAL. 8" TALL MIN.
175	BH	SOUTHERN BLACK-HAW VIBURNUM <i>Viburnum nudum</i>	CONT.	3 GAL.
37	JH	JAPANESE HOLLY <i>Ilex crenata 'Compacta'</i>	CONT.	3 GAL.
161	CJ	CREeping JUNIPER <i>Juniperus horizontalis</i>	CONT.	3 GAL.

SUGGESTED PLANTINGS MAY BE SUBSTITUTED WITH ALTERNATE SPECIES AS APPROVED BY CITY OF SPRINGDALE. LIST OF RECOMMENDED TREES AND SHRUBS CAN BE FOUND IN SPRINGDALE CODE OF ORDINANCES, CHAPTER 56, ARTICLE 1 SECTION 56-37.

**PLANT WARRANTY**  
 WARRANT ALL PLANT MATERIAL TO BE IN HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 2 YEARS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

**LANDSCAPE IRRIGATION**  
 1. ALL LANDSCAPE AREAS WILL BE IRRIGATED BY HOSE BIBS.



STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 9810  
 GEOFFREY H. BATES

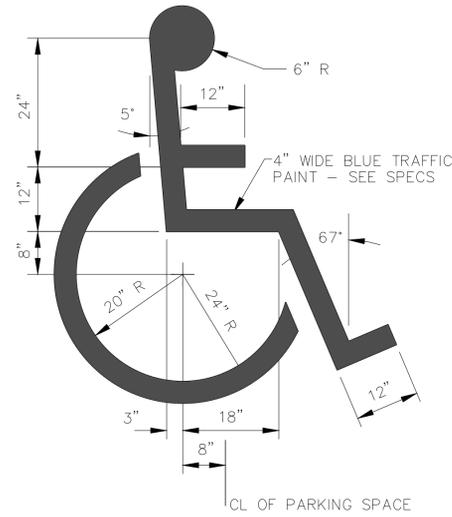
2/20/2020  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER

ENGINEER: G. Bates  
 DRAWN BY: J. Young  
 Copyright © 2020 Bates & Associates, Inc.

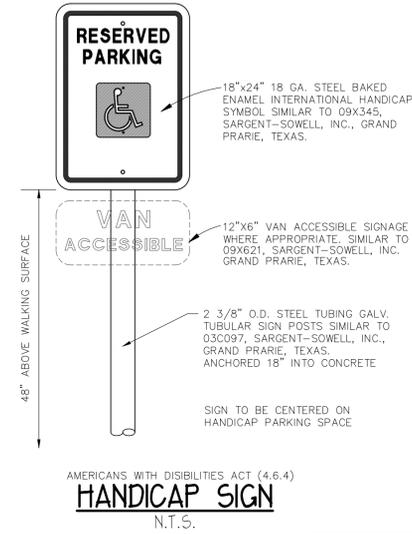
REVISIONS	DATE
1ST SUBMITTAL	1/31/2020
REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW	2/20/2020

S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 LANDSCAPE PLAN  
 SPRINGDALE, ARKANSAS

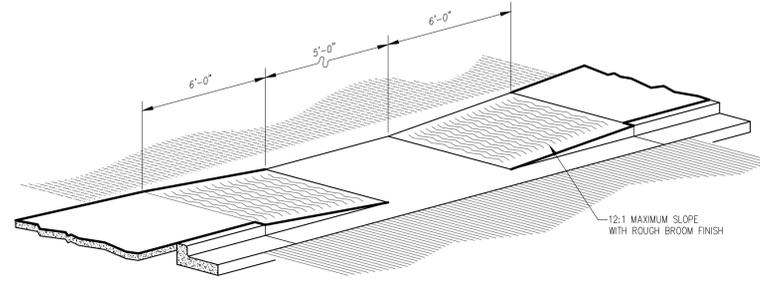
**Bates & Associates, Inc.**  
 Civil Engineering & Surveying  
 www.batesinc.com  
 7230 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350



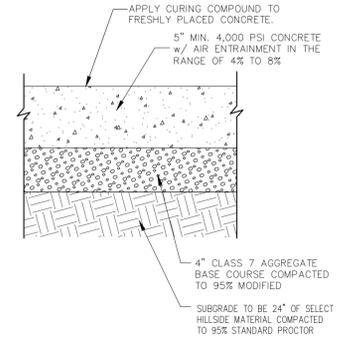
**HANDICAP PAVEMENT SYMBOL**  
N.T.S.



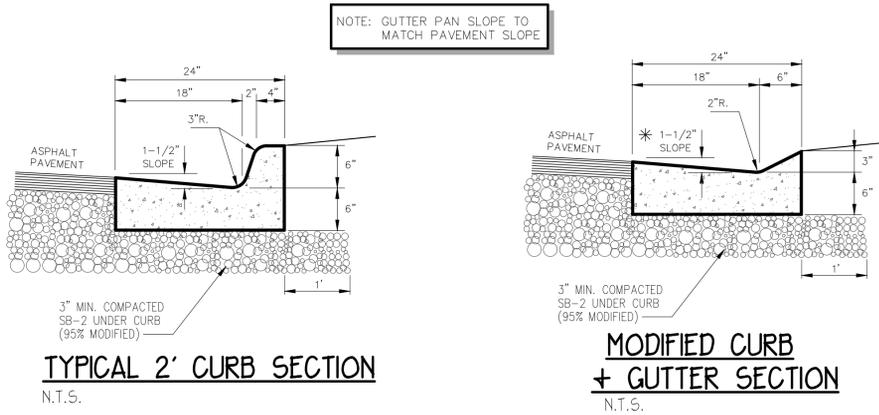
**HANDICAP SIGN**  
N.T.S.



**HANDICAP RAMP**  
AMERICANS WITH DISABILITIES ACT (4.7)

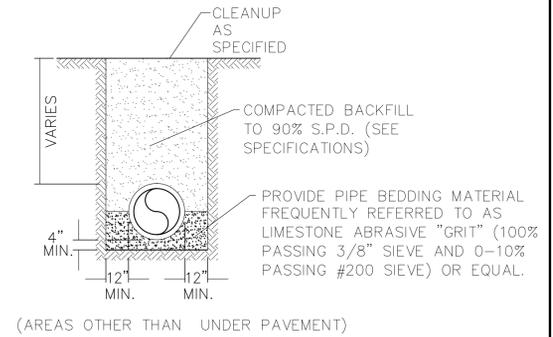


**CONCRETE PAVEMENT SECTION**  
N.T.S.

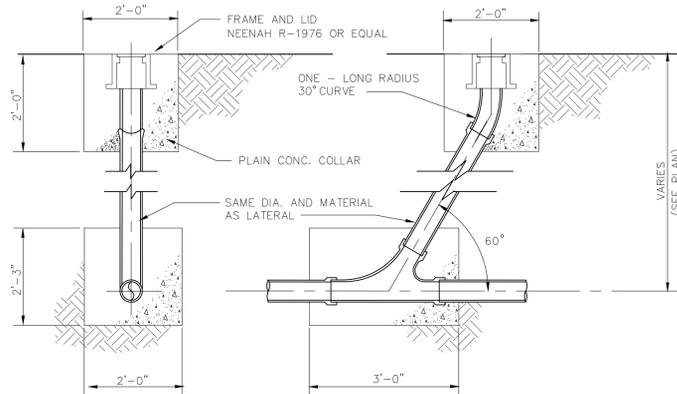


**TYPICAL 2' CURB SECTION**  
N.T.S.

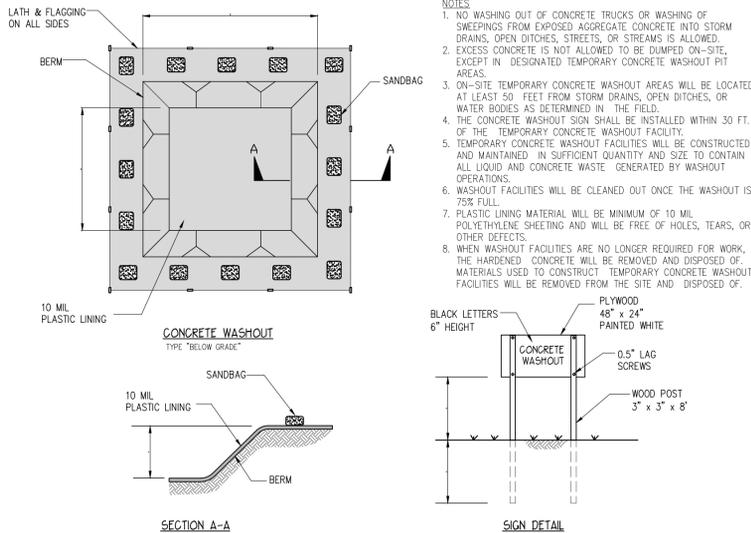
**MODIFIED CURB + GUTTER SECTION**  
N.T.S.



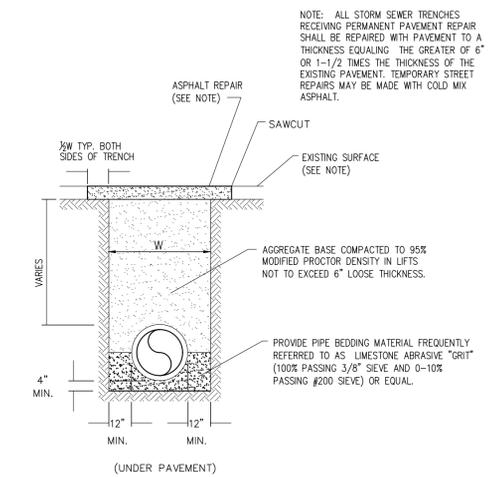
(AREAS OTHER THAN UNDER PAVEMENT)



**TYP. SANITARY SERVICE CLEANOUT**  
N.T.S.



**CONCRETE WASTE MANAGEMENT DETAIL**  
N.T.S.



**STORM SEWER BEDDING AND BACKFILL**  
N.T.S.

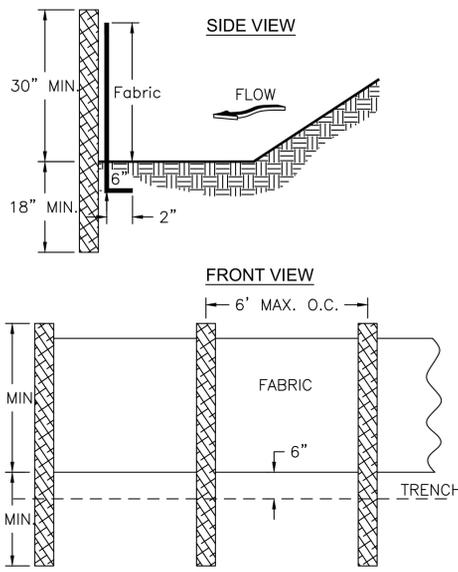
STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES  
2/20/2020  
BATES & ASSOCIATES, INC.  
#1335  
ARIZONA ENGINEER

REVISIONS	DATE
1ST SUBMITTAL	1/31/2020
REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW	2/20/2020

S. 48TH STREET STORAGE  
LARGE SCALE DEVELOPMENT PLANS  
L20-09  
DETAILS  
SPRINGDALE, ARKANSAS

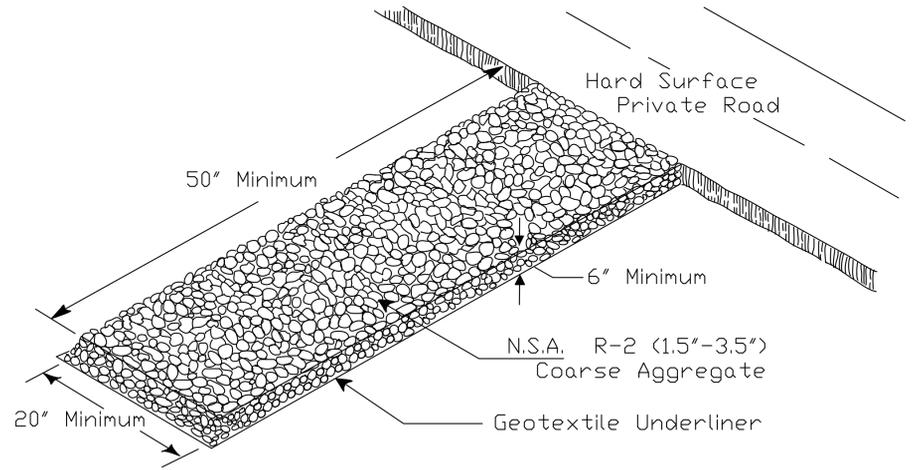
**Bates & Associates, Inc.**  
Civil Engineering & Surveying  
www.batesandassociates.com  
7230 S. Pleasant Ridge Dr - Fayetteville, Arkansas 72704 · 479.442.9350 · Fax 479.521.9350

Time: 10:14 am  
Scale: 1/1 (PS)  
Date: 5/16/2017  
Drawing Name: 17A000V17-017.Engineering07\_Details.dwg  
Xrefs Used: BATES-AR\_COA\_BBA\_24X36



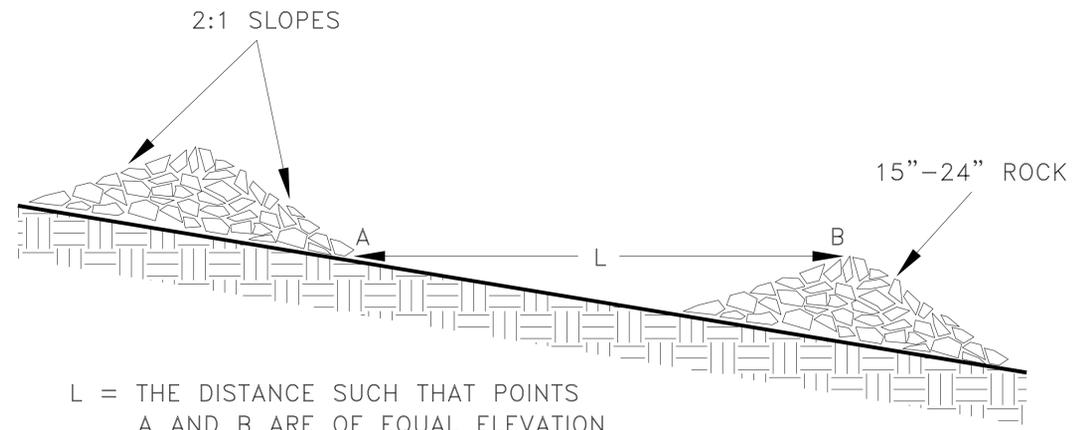
- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  2. HEIGHT (\*) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  3. LOCAL REGULATIONS OFTEN TAKE PRECEDENCE OVER FEDERAL LAW AND MAY INCLUDE ADDITIONAL SPECIFIC REQUIREMENTS.

**SILT FENCE DETAIL**

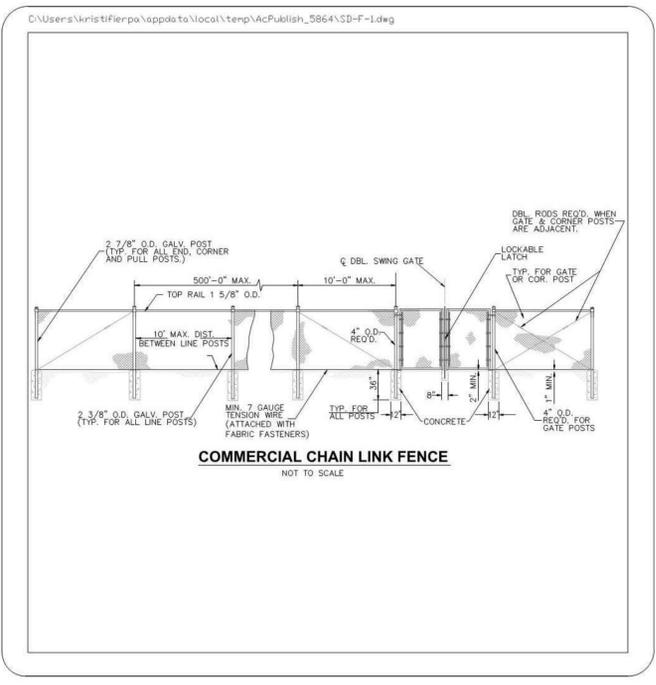


**CONSTRUCTION ENTRANCE**

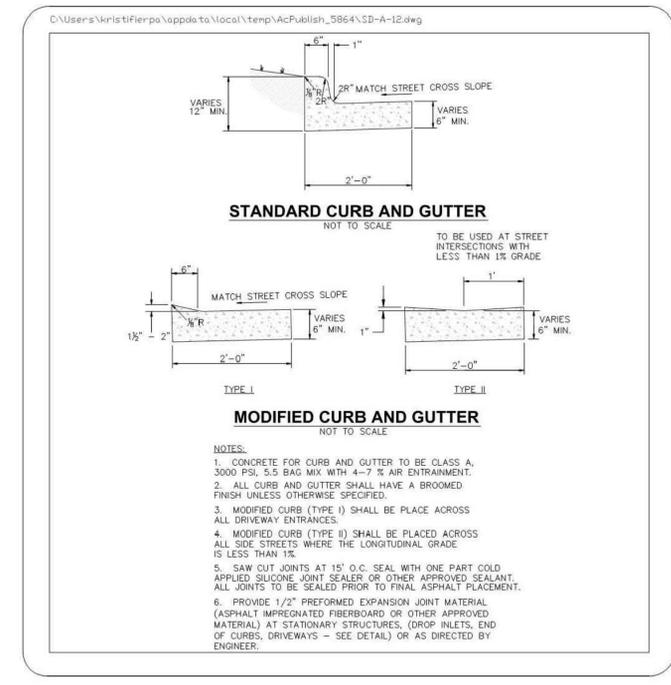
N.T.S.



L = THE DISTANCE SUCH THAT POINTS A AND B ARE OF EQUAL ELEVATION  
**RIP RAP DETAIL**  
 N.T.S.



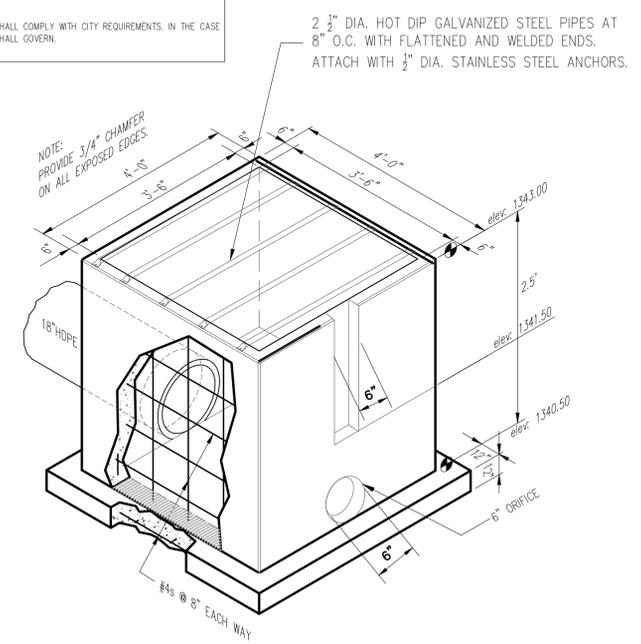
STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016	 <b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN
	DESIGNED BY: WWP	
SECTION F FENCES	DRAWN BY: WWP	
	CHECKED BY: KPP	
	APPROVED BY: BNB	
	FILE NO. SD-F-1	



STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016	 <b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN
	DESIGNED BY: WWP	
SECTION A TYPICAL STREET SECTIONS & DETAILS	DRAWN BY: WWP	
	CHECKED BY: KPP	
	APPROVED BY: BNB	
	FILE NO. SD-A-12	

ALL INLETS SHALL BE CONSTRUCTED OF PORTLAND CONCRETE WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI WHEN TESTED. ALL CONCRETE SHALL CONTAIN AN AIR ENTRAINING AGENT WHICH PRODUCES FIVE PERCENT PLUS OR MINUS TWO PERCENT AIR ENTRAINMENT IN THE CONCRETE.

ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH CITY REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.



**DETENTION OUTLET STRUCTURE**  
 N.T.S.

STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 9810  
 GEOFFREY H. BATES  
 2/20/2020  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER

DATE	REVISIONS
1/31/2020	
2/20/2020	REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW

S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 DETAILS  
 SPRINGDALE, ARKANSAS

**Bates & Associates, Inc.**  
 www.batesinc.com  
 Civil Engineering & Surveying  
 7230 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72704 · 479.442.9350 · Fax 479.521.9350

PROJECT NO. 19-356  
 DRAWING NO. 07

**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

Note to Engineers: Paving depths and other dimensions to be per ordinance or formal design.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION A TYPICAL STREET SECTIONS & DETAILS	FILE NO. SD-A-7	

**CONCRETE PAVEMENT JOINT LAYOUT PLAN**  
(OF STREET WIDTH)  
NOT TO SCALE

Note to Engineers: Joint layout for other street widths to be similar in joint spacing.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION A TYPICAL STREET SECTIONS & DETAILS	FILE NO. SD-A-10	

**FULL DEPTH ASPHALT SECTION**  
NOT TO SCALE

Note to Engineers: Paving depth to be per ordinance or formal design.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION A TYPICAL STREET SECTIONS & DETAILS	FILE NO. SD-A-5	

**HANDICAP RAMP DETAILS**  
NOT TO SCALE

NOTES:  
 1. THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.  
 2. THE NORMAL GUTTER SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP.  
 3. THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".  
 4. DETECTABLE WARNING DEVICES SHALL BE PLACED AT ALL LOCATIONS WHERE RAMP'S CROSS A CURB.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: NOVEMBER 2016 DESIGNED BY: KPP DRAWN BY: KPP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION B TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS	FILE NO. SD-B-2	

**JOINTS FOR CONCRETE PAVEMENT**  
NOT TO SCALE

NOTES:  
 1. ALL CONCRETE JOINTING AND CONSTRUCTION METHODS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE PORTLAND CEMENT ASSOCIATION FOR CONCRETE STREET PAVEMENTS.  
 2. CONCRETE FOR PAVEMENTS SHALL BE CLASS B - 3000 PSI, 5.5 BAG MIX WITH 4-7" AIR ENTRAINMENT.  
 3. ALL CONCRETE PAVEMENT SHALL HAVE A TYPICAL FINISH EXCEPT FOR THE OUTSIDE 2' OF THE PAVEMENT WHICH SHALL HAVE A BROWN FINISH.  
 4. THE CURB SHALL BE PLACED MONOLITHICALLY WITH THE PAVEMENT. ALL CURB JOINTS SHALL CONFORM WITH PAVEMENT JOINTS.  
 5. ALL DOWEL BARS SHALL BE PLACED IN THE PAVEMENT BEFORE INITIAL SET UNLESS OTHERWISE APPROVED BY THE ENGINEER.  
 6. EXPANSION MATERIAL SHALL BE PLACED AT ALL STRUCTURES AND THE PAVEMENT.  
 7. TRANSVERSE EXPANSION JOINTS SHALL BE CONSTRUCTED AT THE CURB RETURN OF ALL INTERSECTIONS.  
 8. THE EXPANSION MATERIAL SHALL BE PREFORMED ASPHALT IMPREGNATED FIBERBOARD CONFORMING TO AASHTO M 213.  
 9. ALL JOINTS SHALL BE SEALED WITH APPROVED JOINT SEALER. SEE JOINT DETAIL FOR JOINT SEALER.  
 10. CONSTRUCTION JOINTS SHALL CONFORM WITH PAVEMENT JOINTS. SEE TYPICAL DETAILS.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION A TYPICAL STREET SECTIONS & DETAILS	FILE NO. SD-A-11	

**STANDARD CURB AND GUTTER**  
NOT TO SCALE

TO BE USED AT STREET INTERSECTIONS WITH LESS THAN 1% GRADE

**MODIFIED CURB AND GUTTER**  
NOT TO SCALE

NOTES:  
 1. CONCRETE FOR CURB AND GUTTER TO BE CLASS A, 3000 PSI, 5.5 BAG MIX WITH 4-7" AIR ENTRAINMENT.  
 2. ALL CURB AND GUTTER SHALL HAVE A BROOKED FINISH UNLESS OTHERWISE SPECIFIED.  
 3. MODIFIED CURB (TYPE I) SHALL BE PLACED ACROSS ALL DRIVEWAY ENTRANCES.  
 4. MODIFIED CURB (TYPE II) SHALL BE PLACED ACROSS ALL SIDE STREETS WHERE THE LONGITUDINAL GRADE IS LESS THAN 1%.  
 5. SAW CUT JOINTS AT 15' O.C. SEAL WITH ONE PART COLD APPLIED SILICONE JOINT SEALER OR OTHER APPROVED SEALANT. ALL JOINTS TO BE SEALED PRIOR TO FINAL ASPHALT PLACEMENT.  
 6. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGNATED FIBERBOARD OR OTHER APPROVED MATERIAL) AT STATIONARY STRUCTURES, DRAIN INLETS, END OF CURBS, DRIVEWAYS - SEE DETAIL OR AS DIRECTED BY ENGINEER.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION A TYPICAL STREET SECTIONS & DETAILS	FILE NO. SD-A-12	

**SIDEWALK DETAIL**  
NOT TO SCALE

NOTES:  
 1. 1/2" ASPHALT IMPREGNATED W/ FIBERBOARD EXPANSION MATERIAL CONFORMING TO AASHTO M213 IS TO BE PLACED AT ALL DRIVEWAYS, AT MAXIMUM 200' INTERVALS, OR AS DIRECTED BY ENGINEER.  
 2. TRANSVERSE JOINTS TO BE PLACED AT 5' INTERVALS PERPENDICULAR TO SIDEWALK.  
 3. SAWED JOINTS MAY BE USED INSTEAD OF TOOLED JOINTS. ALL SAWED JOINTS SHALL BE SEALED USING AN APPROVED SEALANT.  
 4. OTHER JOINTS MAY BE REQUIRED IF DIRECTED BY THE ENGINEER.  
 5. CONCRETE FOR SIDEWALK TO BE CLASS A, 3000 PSI, 5.5 BAG MIX W/ 4-7% AIR ENTRAINMENT.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION B TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS	FILE NO. SD-B-1	

**COMMERCIAL DRIVEWAY DETAIL**  
NOT TO SCALE

NOTES:  
 1. DRIVEWAY TO BE CONSTRUCTED TO THE RADIIUS TANGENT POINTS AND ALSO TO STREET R/W AS DIRECTED, IF NEEDED.  
 2. 1" PREFORMED EXPANSION MATERIAL CONFORMING TO AASHTO M213 SUBSTITUTED TYPE I OR FIBERBOARD SHALL BE PLACED AS SHOWN, OR AS DIRECTED BY THE ENGINEER.  
 3. CONCRETE CURB TO BE SAW CUT AT 15' INTERVALS PERPENDICULAR TO THE GUTTER LINE AND SEALED SEE DETAIL.  
 4. HANDICAP RAMP CONFORMING WITH A.D.A. REQUIREMENTS TO BE CONSTRUCTED AT ALL COMMERCIAL DRIVEWAYS.  
 5. CONSTRUCTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY SO THAT NO SLAB DIMENSION IS MORE THAN 15'.  
 6. DRIVEWAY SECTION TO BE 2" ASPHALT WITH 6" AGGREGATE BASE COURSE UNLESS OTHERWISE SPECIFIED.

STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION	DATE: OCTOBER 2016 DESIGNED BY: WWP DRAWN BY: WWP CHECKED BY: KPP APPROVED BY: BNB	<p><b>SPRINGDALE</b> WE'RE MAKING IT HAPPEN</p>
SECTION B TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS	FILE NO. SD-B-3	

DATE	REVISIONS
1/31/2020	
2/20/2020	TECHNICAL PLAT REVIEW

DATE	REVISIONS
1/31/2020	
2/20/2020	TECHNICAL PLAT REVIEW

DATE	REVISIONS
1/31/2020	
2/20/2020	TECHNICAL PLAT REVIEW

DATE	REVISIONS
1/31/2020	
2/20/2020	TECHNICAL PLAT REVIEW

ENGINEER: G. Bates  
 DRAWN BY: J. Young  
 2/20/2020  
 STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 9810  
 GEOFFREY H. BATES  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER  
 Copyright © 2020 Bates & Associates, Inc.

DATE	REVISIONS
1/31/2020	
2/20/2020	TECHNICAL PLAT REVIEW

S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 DETAILS  
 SPRINGDALE, ARKANSAS

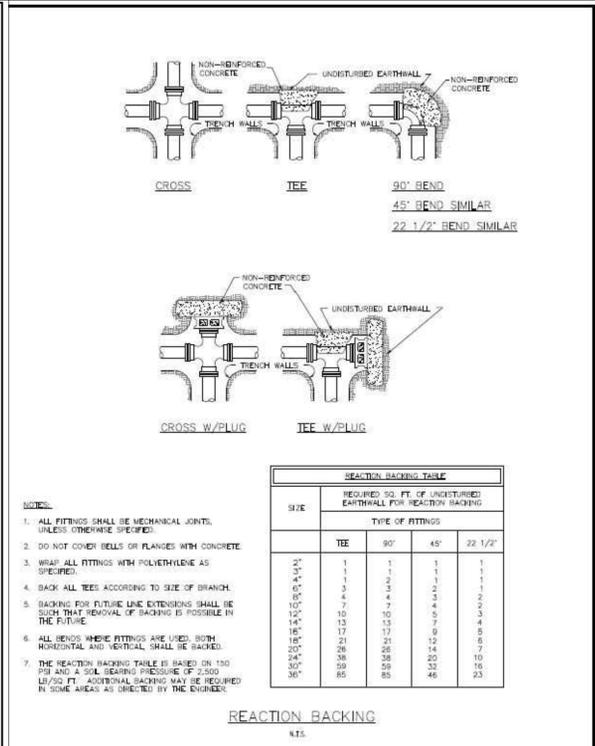
**Bates & Associates, Inc.**  
 www.batesandassociates.com  
 Civil Engineering & Surveying  
 7230 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350

PROJECT NO: 19-356  
 DRAWING NO: 08

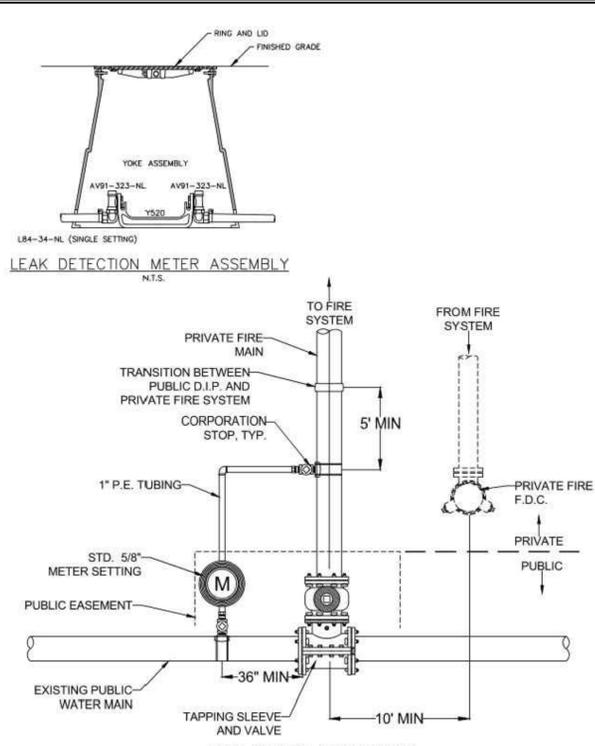
DATE	REVISIONS
1/31/2020	
2/20/2020	LIST SUBMITTAL
2/20/2020	REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW

S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 DETAILS  
 SPRINGDALE, ARKANSAS

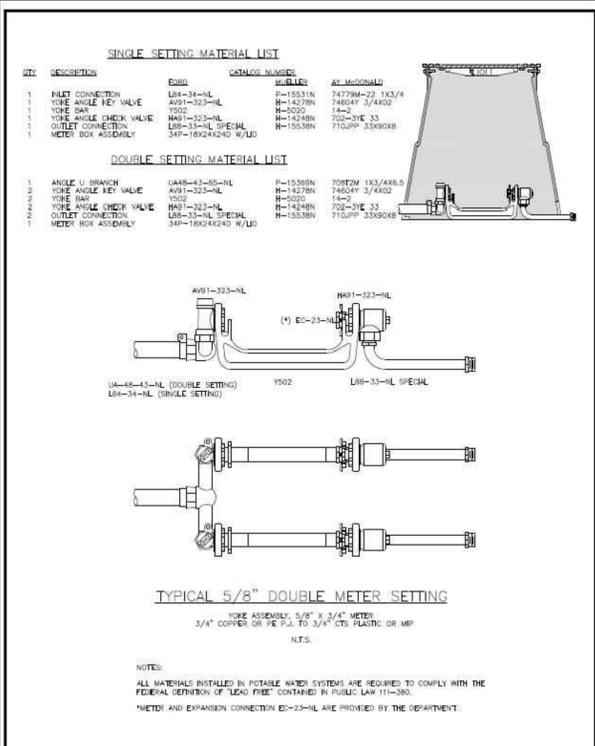
**Bates & Associates, Inc.**  
 www.batesinc.com  
 Civil Engineering & Surveying  
 7230 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350



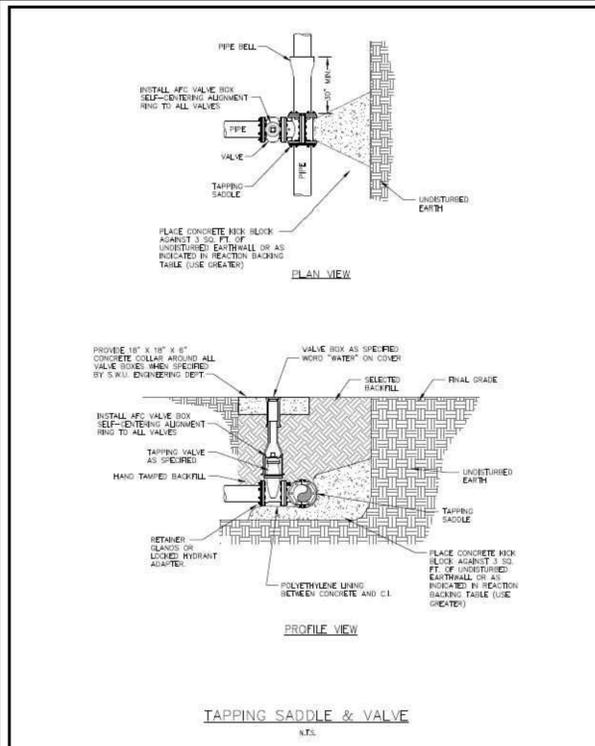
**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: KML/nk DRAWING NO. S-3 DATE: MARCH 2008



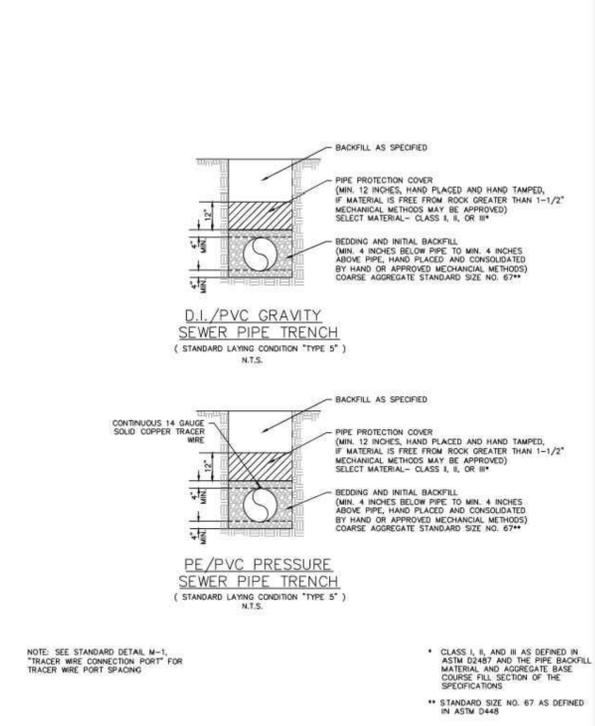
**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: KML DRAWING NO. S-1 DATE: MARCH 2008



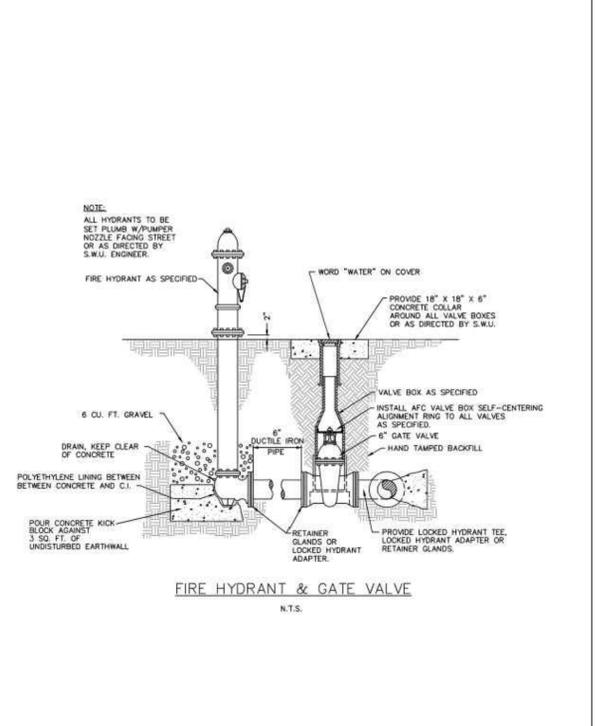
**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: TJS DRAWING NO. S-25 DATE: AUGUST 2014



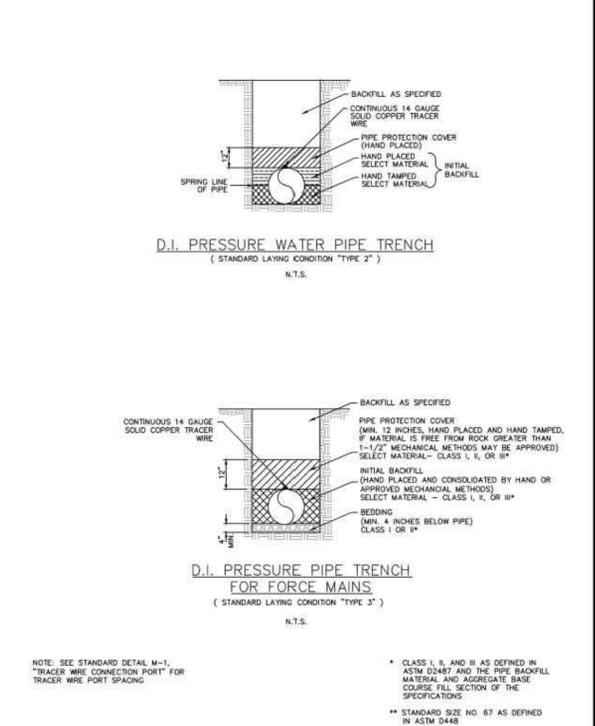
**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: CAG DRAWING NO. S-5 DATE: AUGUST 2014



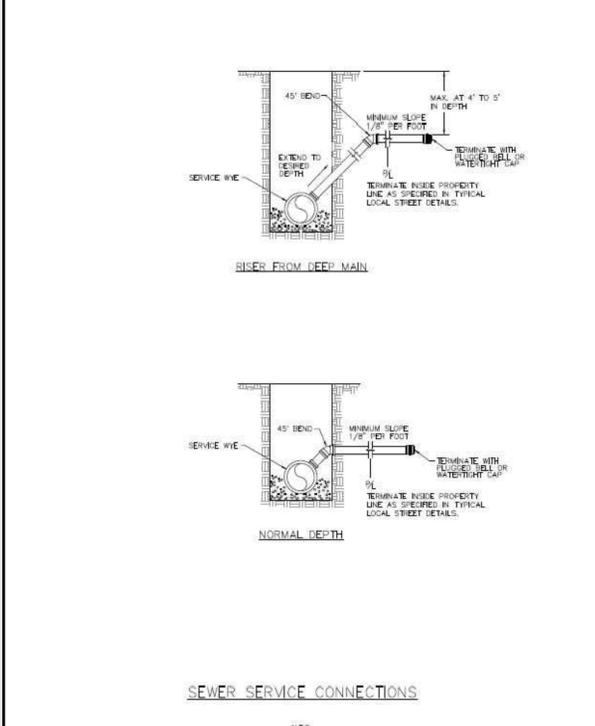
**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: TJS DRAWING NO. S-16 DATE: MARCH 2008



**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: KML DRAWING NO. S-1 DATE: MARCH 2008

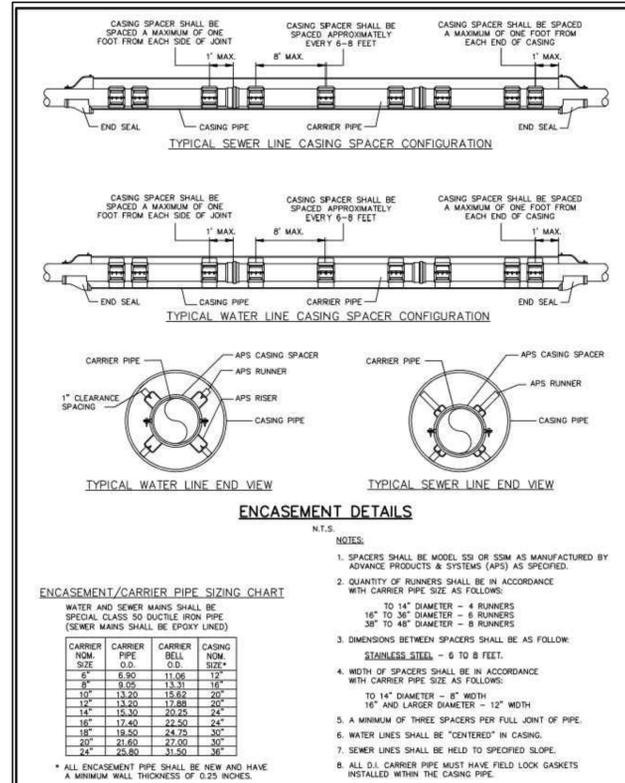


**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: TJS DRAWING NO. S-19 DATE: AUGUST 2014



**SPRINGDALE WATER UTILITIES**  
 STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION  
 DRAWN BY: TJS DRAWING NO. S-16 DATE: MARCH 2008

Drawing Name: 17A00017-017(Engineering)07 Details.dwg  
 Scale: 1"=1' (PS)  
 Date: 5/16/2017  
 Xrefs Used: BATES-AR\_COA\_BBA\_24X36

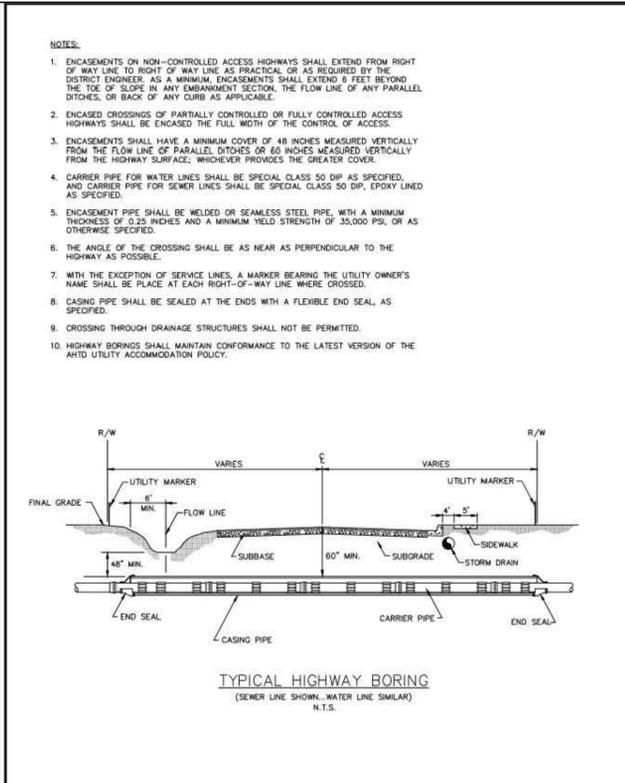


**SPRINGDALE WATER UTILITIES**

326 OAK AVENUE • P.O. BOX 789 • SPRINGDALE, ARKANSAS • 72765-0789 • (479) 751-5751

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: KM/BNK DRAWING NO: S-31 DATE: MARCH 2008

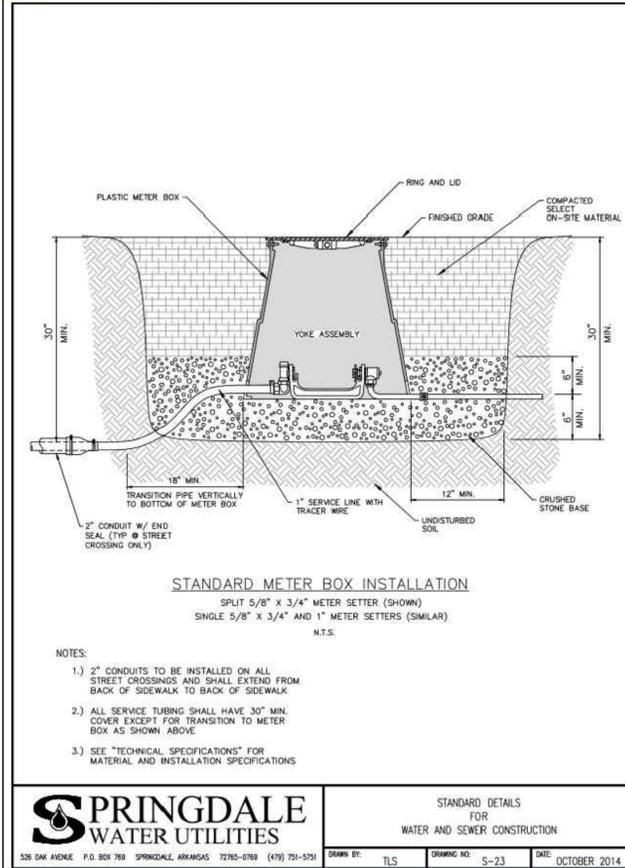


**SPRINGDALE WATER UTILITIES**

326 OAK AVENUE • P.O. BOX 789 • SPRINGDALE, ARKANSAS • 72765-0789 • (479) 751-5751

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: KM/BNK DRAWING NO: S-32 DATE: AUGUST 2014

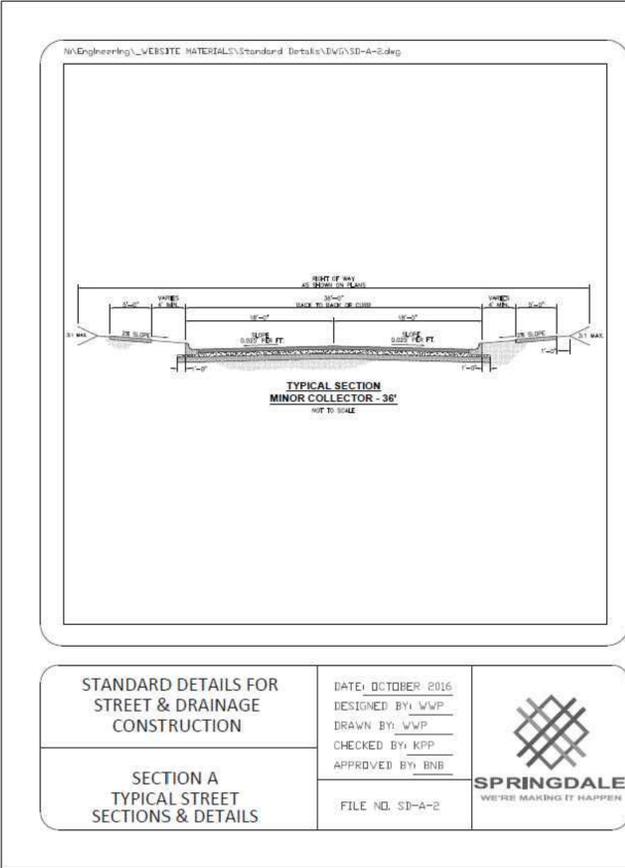


**SPRINGDALE WATER UTILITIES**

326 OAK AVENUE • P.O. BOX 789 • SPRINGDALE, ARKANSAS • 72765-0789 • (479) 751-5751

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

DRAWN BY: TJS DRAWING NO: S-23 DATE: OCTOBER 2014



STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 GEOFFREY H. BATES  
 No. 9810

2/20/2020  
 CERTIFICATE OF AUTHORITY  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER

ENGINEER: G. Bates  
 DRAWN BY: J. Young  
 Copyright © 2020 Bates & Associates, Inc.

REVISIONS	DATE
1ST SUBMITTAL	1/31/2020
REVISIONS PER 2/05/2020 TECHNICAL PLAT REVIEW	2/20/2020

S. 48TH STREET STORAGE  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-09  
 DETAILS  
 SPRINGDALE, ARKANSAS

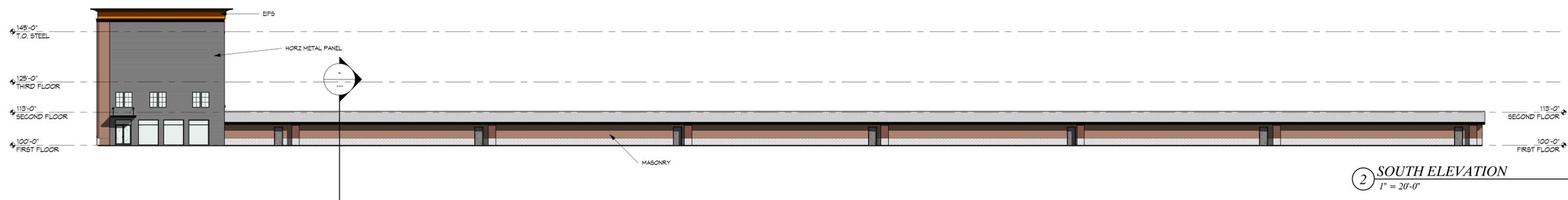
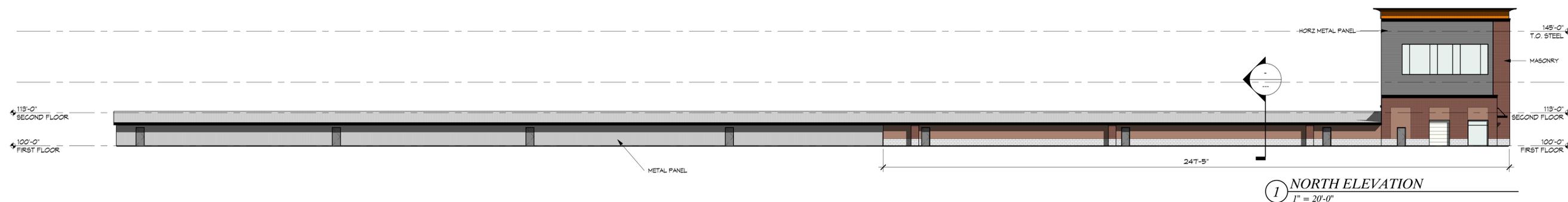
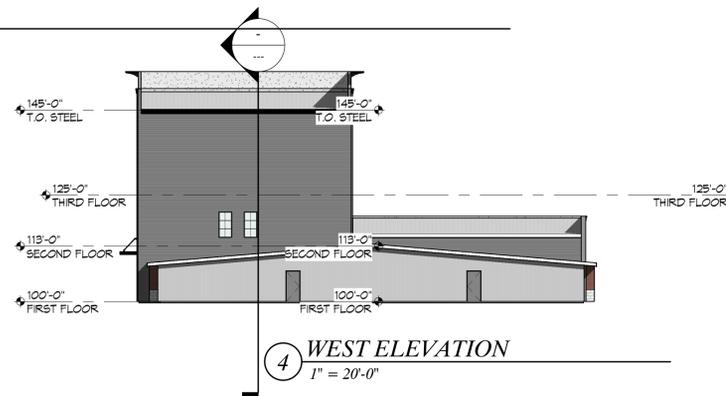
**Bates & Associates, Inc.**  
 www.batesinc.com  
 Civil Engineering & Surveying  
 7230 S. Pleasant Ridge Dr - Fayetteville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350

**PRELIMINARY**  
NOT FOR CONSTRUCTION



5 3D View 1

6 3D View 2



**Burris Architecture**  
820 Tiger Blvd, Suite 4, Bentonville, Ar 72712  
479-319-6045

**SPRINGDALE S.S. OPT 2**  
S 48TH ST  
SPRINGDALE, AR

DATE	2-20-20
JOB NO.	2008
REVISIONS	

**A2.0**  
EXTERIOR ELEVATIONS

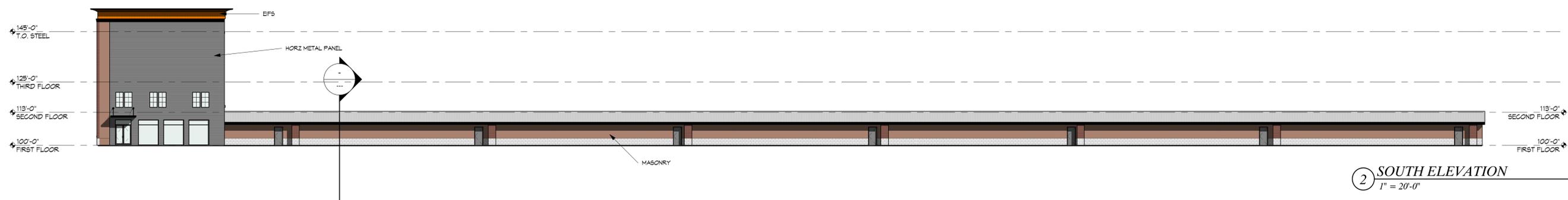
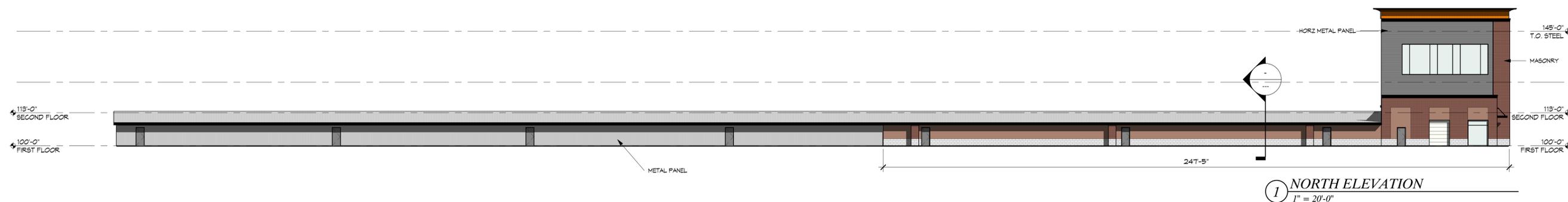
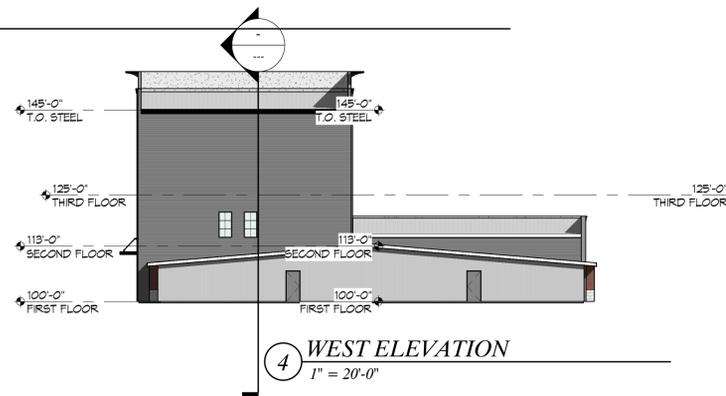
THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE TO THE ARCHITECT AND SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION, USE, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED.

**PRELIMINARY**  
NOT FOR CONSTRUCTION



5 3D View 1

6 3D View 2



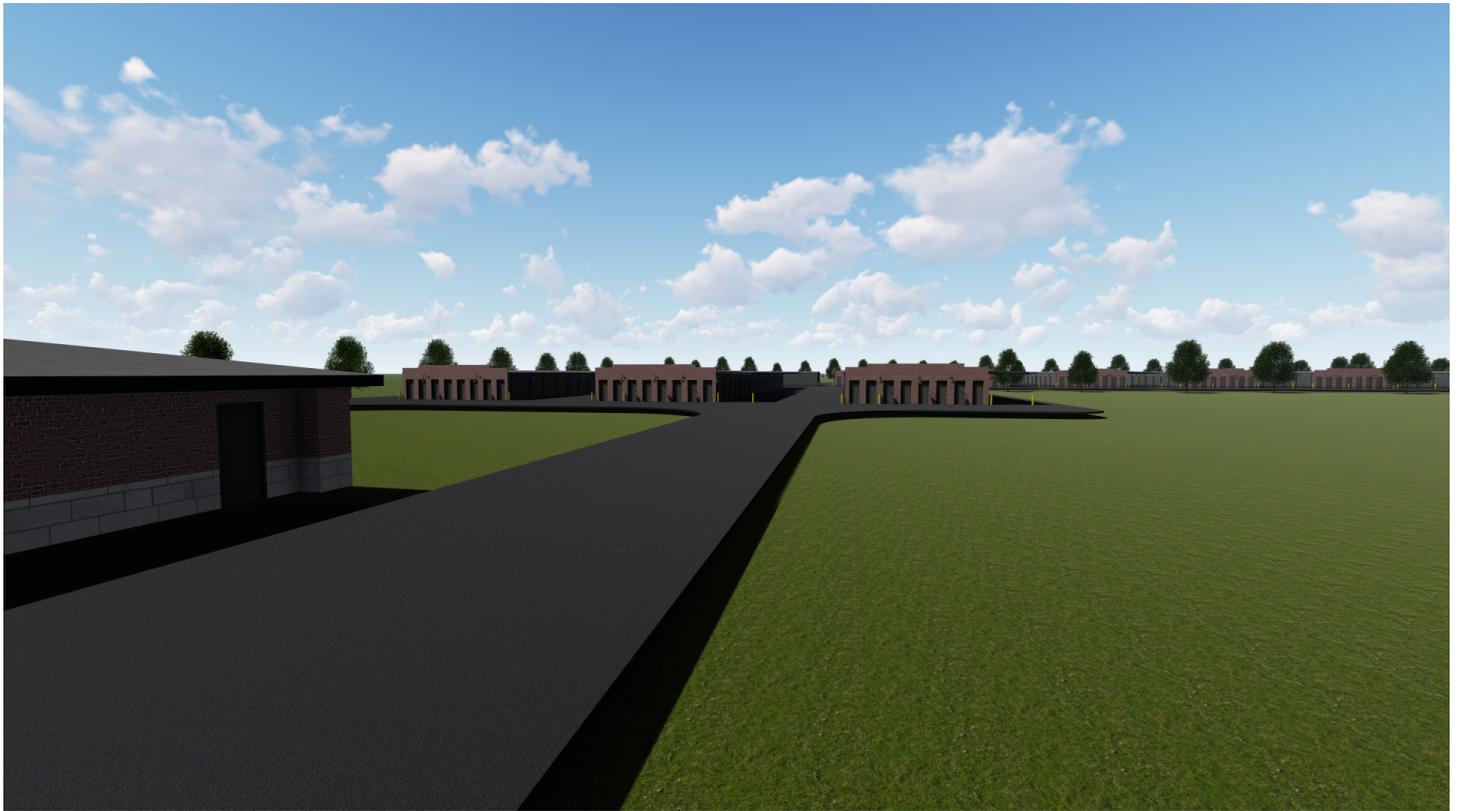
**Burris Architecture**  
820 Tiger Blvd, Suite 4, Bentonville, Ar 72712  
479-319-6045

**SPRINGDALE S.S. OPT 2**  
S 48TH ST  
SPRINGDALE, AR

DATE	2-20-20
JOB NO.	2008
REVISIONS	

**A2.0**  
EXTERIOR ELEVATIONS

THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE TO THE ARCHITECT AND SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ANY REPRODUCTION, USE, OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS STRICTLY PROHIBITED.



Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # 020-08

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: VICTOR BARRIOS

Applicant's Mailing Address:

6018 S THOMPSON ST

Street Address or P.O. Box

479 725 2566

Telephone Number

SPRINGDALE AR 72764

City, State & Zip Code

Property Owner's Name  
(If different from Applicant): Michael Boivin

Property Owner's Mailing Address:  
(If different from Applicant):

3276 Habberton Rd

Street Address or P.O. Box

479 879 5821

Telephone Number

Springdale AR 72764

City, State & Zip Code

Address of Variance Request: 1630 SISCO AVE Springdale AR 72762

Zoning District: SF-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: 30 Side: 8 Back: 10  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 22 Side: 8 Back: 10 (OFF STEPHENS ST.)  
(if granted what the setback would be.)

Variance: Front: 8 Side: 0 Back: 0  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

---



---



---



---

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

LOT ON SUBJECT ADDRESS ~~IS~~ HAS  
WIDTH DIMENSIONS OF 54' 30 OF THOSE  
FEET ACCORDING TO FRONTAGE REGULATIONS  
CAN'T BE USE FOR BUILDING OF HOME.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

~~THE RIGHTS ARE BEING DEPRIVED~~  
ON SEPERATE SHEET.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

STEPHEN ST WAS ADDED YEARS AGO  
NEXT TO SUBJECT PROPERTY THEREFORE  
~~HAVING~~ GIVING PROPERTY TWO FRONTAGE (30')  
SETBACKS.





Public Hearing Sign Posted Prior/On: 2/14/2020

Public Hearing Sign Posted By: RB

Public Hearing Sign Location S

HORSESHOE DR

STEPHENS ST

SISCO AVE

P174

FILE NO. B20-08

APPLICANT: Victor Barrios

REQUEST: Variance for of rear setback  
from 30' to 22' located at 1630 Sisco Ave

PLANNING COMMISSION MEETING  
March 3, 2020



0 15 30 60 90 120 Feet



For Location Reference Only

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC  
 Warranty Deed  
 Authorization of Representation  
 Drawing/Photo or Other Exhibit

File #

B20-9

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: JUSTIN & BOBBIE LOONEY

Applicant's Mailing Address:

4721 CORY STREET

Street Address or P.O. Box

SPRINGDALE, AR 72762

City, State & Zip Code

479-215-9828

Telephone Number

Property Owner's Name

(If different from Applicant): JUSTIN & BOBBI LOONEY

Property Owner's Mailing Address:

(If different from Applicant):

\_\_\_\_\_  
Street Address or P.O. Box

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
City, State & Zip Code

Address of Variance Request: 4897 WHITTLE ROAD, SPRINGDALE, AR 72762

Zoning District: A-1 AGRICULTURAL

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

X

Required:      Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested:      Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance:      Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.*

---

---

---

---

**The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

A VARIANCE IS BEING REQUESTED FOR THE EXISTING 10' X 20' WELL HOUSE TO REMAIN IN ITS CURRENT LOCATION. THE WELL HOUSE IS ONLY BEING USED BY THE PROPERTY OWNER'S GRAND PARENTS WHO LIVE DIRECTLY TO THE SOUTH OF THE WELL HOUSE. THE GRAND PARENTS HAVE A LIFE LEASE ON THE "OLD HOUSE" AND SURROUNDING AREAS, AND FOR ACCESS TO THE "OLD HOUSE AND "SHOP BUILDING, AS SHOWN ON ATTACHED DRAWING.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

THE APPLICANT IS NOT BEING DEPRIVED OF ANY ACCESS OR UTILITY RIGHTS BASED ON THE REQUESTED VARIANCE AS DESCRIBED ON THIS APPLICATION.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

THE SPECIAL CONDITIONS OCCURRED WHEN THE CURRENT OWNER (MR. LOONEY) WAS SOLD "OLD TRACT B" BY HIS GRAND FATHER (MR. FOSTER). MR FOSTER NOW RESIDES IN THE "OLD HOUSE" AND HAS A LIFE LEASE, WHICH INCLUDES ASSESS TO THE DRIVEWAY AND THE "WELL HOUSE". THE "WELL HOUSE" IS WITHIN THE 20 FEET SETBACK LINE ALONG THE NORTH PROPERTY LINE, AS SHOWN ON THE ATTACHED SURVEY DRAWING.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

**I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.**

Bobbi Lowmy  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

Austin Lowmy  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

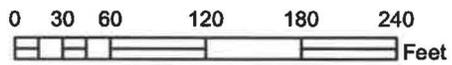
State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 11<sup>th</sup> day of February, 2020.

[Signature]  
Notary Public



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



**FILE NO. B20-09**  
**APPLICANT: Justin & Bobbi Looney**  
**REQUEST: Variance to allow building to remain as is**

PLANNING COMMISSION MEETING  
March 3, 2020

B2010

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # \_\_\_\_\_

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
**ZONING BOARD OF ADJUSTMENT**  
**SPRINGDALE PLANNING COMMISSION**  
**CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: David Mancina

Applicant's Mailing Address:

P.O. Box 1217  
 Street Address or P.O. Box  
Springdale AR 72765  
 City, State & Zip Code

429-318-2400  
 Telephone Number

Property Owner's Name  
(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:  
(If different from Applicant):

\_\_\_\_\_  
 Street Address or P.O. Box  
 \_\_\_\_\_  
 City, State & Zip Code

\_\_\_\_\_  
Telephone Number

Address of Variance Request: 1102 Backus Ave, Springdale AR 72765

Zoning District: C-2

**The following information should be attached to this application:**

1. \$75.00 Fee
2. ✓ Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. ✓ The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. ✓ The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

✓ **VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Requesting the use of gravel to  
convert back yard into parking lot to  
park more cars to sell.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

Car lot building used to be a home  
back yard is wasted space. requesting to  
add gravel and park cars for sale.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

~~At~~ Back yard is not being used,  
to benefit building as car lot

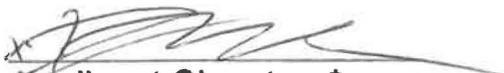
3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

Car lot building used to be a home.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

**I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.**

  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

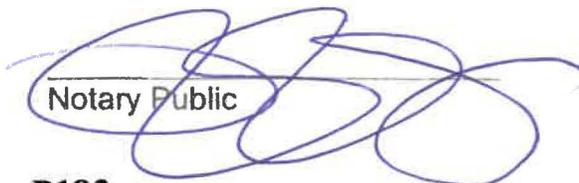
\_\_\_\_\_  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

*\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas            )  
  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 3<sup>rd</sup> day of February, 2020.

  
\_\_\_\_\_  
Notary Public



Public Hearing Sign Posted Prior/On: 2/14/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location 



BACKUS AVE

FILE NO. B20-10

APPLICANT: David Mancia

REQUEST: Variance for deviation of paved parking requirement at 1102 Backus

PLANNING COMMISSION MEETING  
March 3, 2020

