

**SPRINGDALE PLANNING COMMISSION
 COUNCIL CHAMBERS
 201 SPRING
 5:00 P.M. MAY 5, 2020
 Tentative Agenda**

- I. **Pre-Meeting Activities**
 Pledge of Allegiance
 Invocation
- II. **Call to Order**
- III. **Roll Call**
- IV. **Approval of Minutes**
- V. **Other**

**Proposed Revisions to Chapter 112,
 Subdivision Regulations of the Code
 Of Ordinances Section 112-8 to update
 Procedures for Development Plan Approval**
 Presented by Patsy Christie

VI. **Public Hearing – Rezoning**

- A. **R20-13** **WT-LF, LLC**
 S. of DTP, E. side of I-49
 Presented by Expedient Civil Engineering, PLLC

VII. **Preliminary Plats, Replats & Final Plats**

- A. **RP20-05** **Replat Lots 1 2**
 Hammitt-Eoff Business Center
 SW corner of Haile Lane & 40th St.
 Presented by Engineering Services, Inc.
- B. **FP20-01** **Final Plat – Hylton Place Subdivision Phase I**
 E. side of Hylton, N. of Howard Anderson Road
 Presented by Engineering Services, Inc.

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VIII. Large Scale Developments

- A. L20-11 **Williams Tractor**
S of DTP, East side of I-49
B20-18 **Variance for deviation of landscaping per Chapter 56**
Variance for deviation of Commercial Design Standards
Presented by Expedient Civil Engineering, PLLC
- B. L20-12 **Randall Tyson Park**
SW corner of 40th St. & Watkins Ave.
Presented by Engineering Services, Inc.
- C. L20-14 **Go Punch List**
SW corner of Haile Lane & 40th St.
B20-19 **Variance for deviation of Commercial Design Standards**
Presented by Engineering Services, Inc.
- D. L20-08 **Pure Springdale-Phasing Plan**
NW corner of Gene George Blvd. & Dearing Rd.
Presented by Crafton-Tull

IX. Board of Adjustment

- A. B20-18 **Williams Tractor**
S of DTP, East side of I-49
Variance for deviation of landscaping per Chapter 56
Variance for deviation of Commercial Design Standards
Presented by Expedient Civil Engineering, PLLC
- B. B20-19 **Go Punch List**
SW corner of Haile Lane & 40th St.
Variance for deviation of Commercial Design Standards
Presented by Engineering Services, Inc.
- C. B20-20 **Kent McJunkin**
1904 Carrie Place
Variance for deviation of rear setback from 20' to 10'
Variance for deviation of height of accessory building
From 16' to 20'
Presented by John Connley

X. Waivers

- A. W20-06 **Cammie Scott**
8750 E. Brown Road
Waiver of sidewalk requirement
Presented by Cammie Scott

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XI. Planning Director's Report

XII. Adjourn

The Springdale Planning Commission met in regular session on Tuesday, April 7, 2020 at 5:00 p.m. in Council Chambers. It should be noted at this time that the meeting was via Zoom.

Prior to meeting being called to order, Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Roy covert gave the invocation.

The meeting was called to order at 5:00 p.m. by Chairman Kevin Parsley.

Roll call was answered by:

- Howard Austin (Zoom)
- Gary Compton (Zoom)
- Roy Covert (Zoom)
- Shannon Mueller (Zoom)
- Kevin Parsley (physically present)
- Ben Peters (physically present)
- Dale Tyler (Zoom)

Also physically present were Patsy Christie, Director of Planning and Community Development, Austin Thomas, Assistant Director of Planning and Community Development, Rick Barry, Senior Planner and Sarah Sparkman, Assistant City Attorney (Zoom).

Commissioners that were absent were James David and Payton Parker.

Commissioner Roy Covert moved to approve the March 2020 minutes. Commissioner Dale Tyler seconded the motion. By a voice vote of all ayes and no nays the March 3, 2020 minutes were approved by a unanimous vote.

Other

- A. Revisions to Chapter 11, Subdivision Regulations of the Code of Ordinances Section 112-2 to provide a definition for replat & Section 112-3 to update procedures for subdivision approval
Presented by Patsy Christie

Ms. Christie said Staff will be presenting in the next few months some updates that they have been working on for a while. The first change is for preliminary plats. Initially fifteen to eighteen copies was required but now the requirement will be three hard copies and a digital copy of the preliminary plat and the drainage report. Also she said there is a sort of a "short section" in the Ordinance about replats and they are specifying that the same procedure be used for replats as the preliminary plats.

Mr. Parsley asked if there were any questions from the general public.

There were none.

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Mr. Peters moved to move this forward to Council with a recommendation for approval. Mr. Covert seconded the motion.

VOTE:

YES: Austin, Compton, Covert, Mueller, Parsley, Peters, Tyler

NO: None

The motion to move forward with a recommendation for approval was approved by a unanimous vote.

Public Hearing – Rezoning

- A. R20-13 Williams Tractor
S. of Don Tyson Parkway, East side of I-49
Presented by Jason Ingalls

This project was tabled per Staff.

- B. R20-14 Adams Family Properties, LLC
1641 Butterfield Coach Road
From A-1 to C-1
Presented by Charlie Adams

Mr. Charlie Adams was present to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie said that he was here last month for a rezoning that got denied. She wanted to know what changes were made to allow him to downgrade to a C-1.

Mr. Adams said that the person that was going to rent one of the offices backed out and went to Fayetteville.

Ms. Christie asked if he still intended to have storage of equipment on site.

Mr. Adams said there was no need for it now.

Ms. Christie asked why he didn't down grade to an O-1.

Mr. Adams said that he simply went to the next lowest rezoning in commercial.

Ms. Christie then read the Staff comments.

The adopted Comprehensive Land Use Plan indicates commercial use.

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

PS

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Encourage the development of office and professional uses that provide a transition between residential areas and more intense uses, with reasonable building height limitations and adequate buffering and landscaping to ensure compatibility.

She further stated that they have a goal that encourages office and professional uses that provide a transition between residential areas and more intense uses with reasonable building type and adequate buffering.

Ms. Christie stated that she feels the more appropriate zoning for this site would be O-1 rather than C-1.

Mr. Parsley asked Ms. Christie to read what the acceptable uses are for an O-1.

Ms. Christie read the following uses for a C-1:

- City wide public uses by right
- Cultural, Recreational and Health Facilities
- Offices, Studios and Related Services
- Eating Places
- Neighborhood Shopping Goods
- Parking Lot
- Health Care Clinic

She further stated that Conditional Uses would be:

- Citywide Uses by Conditional Use
- Utility Facilities
- Single-Family Dwellings
- Home Occupation
- Home Office
- Temporary Classrooms
- Mobile Vending Site
- Flea Market-Indoor
- Commercial Assembly

Mr. Parsley asked if there were any questions or comments from the viewing public.

There were none.

Mr. Scott Wray was present on behalf of R.D. Ellenbarger who is an adjacent property owner. He further stated that from what he understands from Mr. Adams comments that there is no longer going to be equipment stored at this site. He said that even with the

downgrade, Mr. Adams is asking for a commercial zone. He further stated that they were again asking for a denial of this rezoning to a C-1.

Mr. Tyler said that he thought it would be more suited for office use. He said that he would be concerned with a C-1.

Mr. Compton agreed with Mr. Tyler. He said an office complex would be a much better option for them.

Mr. Covert asked if Mr. Adams if he would consider downgrading to an O-1.

Mr. Adams said that he would.

Mr. Covert called for the vote.

VOTE:

YES: Compton, Covert, Mueller, Parsley, Peters, Tyler, Austin

NO: None

The rezoning from an A-1 to an O-1 for 1641 Butterfield Coach Road was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, April 28, 2020 at 6:00 p.m.

- C. R20-15 C & K Karrington, LLC
 1509 S. West End Street
 From MF-12 to MF-16
 Presented via Zoom by Bates and Associates

The Large Scale development and waiver were also heard at this time,

Mr. Christian McGuire was present via Zoom on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates commercial use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Multi-family housing should be developed at a density and scale that is compatible with the surrounding neighborhood and available utilities and roadway capacity.

Larger multi-family developments should be located on sites with adequate space for off-street parking, accessory structures and recreational activity and toward the edge of

single-family residential areas where higher traffic generation and taller building heights can be better accommodated.

Mr. Parsley asked if anyone had called in with questions or comments.

No one had.

Mr. Covert called for the question.

VOTE:

YES: Covert, Mueller, Parsley, Peters, Tyler, Austin, Compton
NO None

The rezoning was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, April 28, 2020 at 6: 00 p.m. in Council Chambers.

L20-10	<u>Elder Multi-family</u> <u>1509 S. West End Street</u>
W20-04	<u>Waiver of street improvements</u> Presented by Bates and Associates

Mr. Christian McGuire was present through Zoom to answer any questions or comments. He said the proposal is for four additional apartment complexes with four additional units for a total of 16 units.

He said the waiver request for the street improvements is to S. West End Street since they aren't doing any development along that street.

Mr. Parsley asked for Staff comments.

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-10. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Multi-Family Design Comments

1. Remove note referring to pool/variance.
2. Provide windows for North/East facades at elevations per crime prevention through environmental design.
3. Is shown siding vinyl or cementitious/hardi panels?
4. Provide repair for existing fences on the property.
5. Provide lighting for shown public area/amenities.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.9.7** - Channel Lining Design
 - o Temporary linings and check dams are required in accordance with an approved SWPPP throughout any project.
- **106.10.5.2.1** - Temporary Construction Entrances
 - o Course Aggregate 2-3 inch stone required at Construction Entrances.
 - o Construction entrance must be a minimum of 50' long and 12' wide.
 - o Required at all locations where construction traffic moves to public road or other paved areas.
 - **Provide a detail.**

Chapter 106 – Stormwater Drainage

- Drainage report
 - o Page 3 references detention pond next to West End, is that included in analysis? This pond is not mapped in our stormwater network, were you able to find an original drainage report?
 - o Page 3 references drainage swale at southeast that east basin flows to. This is also not mapped in our stormwater network or drainage easements. Where does this swale go? Runoff must be contained in drainage structures and cannot flow to neighboring sites.
- Drainage easements
 - o Detention pond and swale should be dedicated as drainage easements

2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

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3. Chapter 110 – Streets, Sidewalks and Other Public Places

(Ord. No. 3258, § 1, 11-12-02)

- **110.31** - Sidewalks are required one-foot (1') inside the right-of-way line.
 - o Sidewalks shall be constructed with a minimum transverse slope of one-fourth inch (1/4") per foot.
 - o The sidewalk shall have a minimum width of five feet (5') and a minimum thickness of four inches (4").
 - o The sidewalk shall have expansion joints at each structure, curb and at minimum intervals of 200 feet. Transverse joints between expansion joints shall be scored at five-foot (5') intervals.
 - o Need to show details of sidewalks on the right-of-way.
 - **Provide details.**
- **110.54** - All crossings under roadways by open cut must be backfilled with flowable fill.
- **110.111** - The developer is required to improve the abutting street to the City of Springdale standards and in accordance with the Master Street Plan, including constructing sidewalks, curb and gutter, pave or widen the existing street, or install or construct drainage facilities.

4. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - Label all lights as Proposed or Existing
 - Show the direction of the mast arm
 - Show the size and type of lights based on the location and classification of the street
 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

5. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.9** Entrance/Exit Drives
 - o Need to note that modified curb is required at the drives and a modified curb detail.
 - **Provide details.**
- **130.7.6.1** ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

6. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - Provide fencing details and describe on the plans.
 - Show complete parking lot striping with ADA spaces.
 - Screening fence adjacent to residential.
 - Show existing/proposed street lights on South West End Street
 - Parking stops as necessary.
 - Area Lighting?
 - Is there an existing fence on the east property line, will it remain?
 - What does the north exit tie into?
 - Where does the water go at the north entrance? Is it trapped?
 - Provide all details necessary to construct the project.

Ms. Christie asked if they were removing the pool and replacing it with a playground area.

Mr. McGuire said that was correct.

She pointed out that there were no windows on the ends of the buildings.

Mr. McGuire said that they would be added.

Ms. Christie said that the fence needs to be repaired or replaced.

Mr. McGuire said that they would take care of that and that they have a lighting plan.

Ms. Christie said that there were some drainage questions that have not been addressed and there was no one from the Engineering Department to answer those questions.

Mr. Parsley asked if Ms. Christie was o.k. with the Planning Commission to move forward without answers to the drainage issue.

Ms. Christie said that she can't address those issues as they belong to Engineering.

Mayor Sprouse said that he is trying to reach Brad Baldwin to see if he has any comments.

Mr. Parsley asked if there were questions or comments from the public.

There were none.

Mr. Covert said that he was uncomfortable voting on the large scale because of the drainage issues.

It was decided to return to this after the Mayor contacts Mr. Baldwin.

Public Hearing – Conditional Use

- A. C20-11 The Pits Meatery
106 S. Main
Use Unit 44 (Mobile Vending) in Form Based code
District NC-1
- B20-11 Variance for deviation of 3 parking space requirement
Presented by Nathan Wilkerson

Mr. Wilkerson was present to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Acceptable Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control and access in case of fire or catastrophe.

Unknown shown on site plan Off-street parking and loading areas where required, with particular attention to the items mentioned above and the economic, noise, glare, or odor effects of the conditional use on adjoining properties and properties generally in the district.

Acceptable Refuse and service areas, with particular reference to the item in 1 and 2 above.

Acceptable Utilities, with reference to locations, availability and compatibility.

N/A Screening and buffering with reference to type, dimension and character.

Acceptable Sign, if any, and proposed exterior lighting with reference to glare, traffic, safety, economic effect, and compatibility and harmony with properties in the district.

Acceptable Yard requirements and other open space requirements.

Acceptable The size and shape of the site, including the size, shape and arrangement of proposed structures in keeping with the intent of this chapter.

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Acceptable Proposed landscaping meeting the requirements of this ordinance. Landscaping may be increased in accordance with the judgment of the planning commission to accomplish the desired protective and aesthetic effect.

Acceptable General compatibility with adjacent properties and other property in the general district; **with the following conditions:**

1. **Designation of parking spaces for use on this site**
2. **May not operate between the hours of 10:00 p.m. and 7:00 a.m.**
3. **If a health certificate is required, display the health certificate in a manner visible to customers.**
4. **No obstruction of pedestrian or motor vehicle traffic flow.**
5. **No obstruction of traffic signals or regulatory signs.**
6. **No vending upon a public way.**
7. **No sound device that produces a loud and raucous noise in violation of city ordinance, or violate any other city ordinances in connection with the vending operation.**
8. **Sites to remain clean and free of paper or refuse of any kind generated from the operation of the business with all trash or debris accumulating with twenty (20) feet of any vending stand to be collected and deposited into a trash container.**

Mr. Parsley asked if there were questions or comments from the public.

There were none.

Ms. Christie said they need to vote on the variance request first.

Mr. Covert called for the vote for the variance.

VOTE:

YES: Mueller, Parsley, Peters, Tyler, Austin, Compton, Covert

NO: None

The variance was approved by a unanimous vote.

Mr. Peters called for the vote on the Conditional Use.

VOTE:

YES: Parsley, Peters, Tyler, Austin, Compton, Covert, Mueller

NO: None

The conditional use was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution to go to Council on Tuesday, April 28, 2020 at 6:00 p.m.

Preliminary Plats, Replats, & Final Plats

- A. PP20-02 McJunkins Place Lots 1, 2, 3, & 4
N. of Mayo Road, E. side of Luper
Presented by Satterfield Land Surveyors, P.A.

Mr. Ricky Hill with Satterfield Land Surveyors, P.A. was present via Zoom on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie said that this tract is outside the City limits but within the Springdale Planning Area. She said that there are no comments from Planning or Engineering that are left to be addressed.

Mr. Parsley asked if there were those in the general public that had questions or comments.

There were none.

Mr. Covert moved to approve the preliminary plat subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Peters, Tyler, Austin, Compton, Covert, Mueller, Parsley

NO: None

The preliminary plat was approved by a unanimous vote.

- B. RP20-04 Replat Lot 7A Oakwood Park
5400 Greathouse Springs Road
Presented by Steve Miller

Mr. Miller was present to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie said that it was a little complicated in that part of the acreage that is not in the subdivision is being added to a lot that already exists and they are putting the other so it is a replat in that subdivision.

She then read the Staff comments.

Planning Comments

1. Remove signature blank for streets and drainage.

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Engineering Comments

- Add required Signatures.
- Label structure as existing or proposed, proposed structures cannot be included in a replat.

Mr. Parsley asked if there were those in the general public with questions or comments.

There were none.

Mr. Peters moved to approve the replat subject to Staff comments. Mr. Covert seconded the motion.

VOTE:

YES: Tyler, Austin, Compton, Covert, Mueller, Parsley, Peters
NO: None

The replat was approved by a unanimous vote subject to Staff comments.

Ms. Christie stated for the record that if Mr. Miller wanted this to go to Council on Tuesday, April 14, 2020 he needs to have the Ordinance to the Planning office by noon on Thursday, April 9, 2020.

Large Scale Developments

- | | | |
|----|--------|--|
| A. | L20-08 | <u>Pure Springdale</u>
<u>NW corner of Gene George Blvd. & Dearing Road</u> |
| | B20-15 | Variance for deviation of lighting requirement |
| | W20-03 | Waiver of street improvements to Dearing Road
Presented by Crafton Tull |

Bradley Bridges with Crafton Tull was present via Zoom on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Planning Comments

Large-Scale Comments:

1. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
2. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by

- electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
3. This development has been given the number L20-08. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Multi-Family Design Comments

1. Provide pole heights for shown lighting fixtures at photometric plan.
2. There appear to be two pedestrian crosswalks on the site without striping.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1** - The Grading Plan & SWPPP and Specifications shall be prepared by the Engineer of Record, who is a licensed professional engineer of the State of Arkansas.
 - o ~~Requires a 1"=200' minimum scale 2-foot contour map.~~
 - o ~~Show existing and proposed contours.~~

Chapter 106 – Stormwater Drainage

- **106.5.4.11.1**** - A General Note is needed on the Site Plan stating that "A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department." <http://www.springdalear.gov/DocumentCenter/View/4652/DetentionRetention-Certification-Form-2020>
 - o FYI: Link to Detention/Retention Certification form has changed, see above

2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
 - o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

3. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

P16

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
 - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - Label all lights as Proposed or Existing
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 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.9** Entrance/Exit Drives
 - o Need to note that modified curb is required at the drives and a modified curb detail.
- **130.7.6.1** ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current *ADA* and as may from time to time be amended.

5. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Mayor Sprouse said that he spoke with Brad Baldwin, Director of Engineering, and he stated that Mr. Baldwin's department is comfortable with the comments that are left and know that they will be addressed upon resubmission.

Mr. Parsley asked if there was anyone from the general public that had questions or comments.

There were none.

Mr. Covert moved to forward the waiver to Council with a recommendation to approve. Mr. Austin seconded the motion.

VOTE:

YES: Austin, Compton, Covert, Muller, Parsley, Peters, Tyler
NO: None

The waiver motion to forward to Council with a recommendation to approve was approved by a unanimous vote.

Mr. Peters called for the vote for the variance.

VOTE:

YES: Compton, Covert, Mueller, Parsley, Peters, Tyler, Austin
NO: None

The variance was approved by a unanimous vote.

Mr. Covert moved to approve the Large Scale subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Covert, Mueller, Parsley, Peters, Tyler, Austin, Compton
NO: None

The large scale was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution that will go to Council on Tuesday, April, 28, 2020 at 6:00 p.m. in Council Chambers.

- B. L20-10 Elder Multi-family
1509 S. West End Street
- W20-04 Waiver of street improvements
Presented by Bates Associates

Mr. Christian McGuire was present via Zoom on behalf of his client to answer any questions.

Mr. Parsley noted that Engineering has noted that there are no issues that can't be resolved with this project moving forward.

Mr. Covert moved to forward the waiver to Council with a recommendation for approval. Ms. Mueller seconded the motion.

VOTE:

YES: Mueller, Parsley, Peters, Tyler, Austin, Compton, Covert
NO: None

The motion to forward the waiver with a recommendation for approval was approved by a unanimous vote.

Mr. Peters moved to approve the Large Scale subject to Staff comments. Mr. Covert seconded the motion.

VOTE:

YES: Parsley, Peters, Tyler, Austin, Compton, Covert, Mueller

NO: None

The large scale was approved subject to Staff comments by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution for the waiver that will go to Council on Tuesday, April 28, 2020 at 6:00 p.m. in Council Chambers.

- C. L20-11 Williams Tractor
S. of DTP, east side of I-49
- B20-18 Variance for deviation of landscaping per Chapter 56
Variance for deviation of Commercial Design Standards
Presented by Jason Ingalls

This project was tabled per Staff.

- D. L20-13 Mill Creek Nursing Facility
Off of 48th St. between DTP & Johnson Mill Blvd.
- W20-05 Waiver of Street improvements for 48th Street
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services was present via Zoom on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

1. Foundation landscaping is required.

Additional landscaping has been added to meet this requirement

Per Commercial Design Standards:

Sidewalks, no less than five (5) feet in width, shall be provided along the full length of the building along any façade featuring a customer entrance, and along any façade abutting public parking areas. Such sidewalk shall be located at least six (6) feet from the façade of the building to provide planting beds for foundation landscaping, except where features such as arcades or entryways are part of the façade.

2. Please provide perimeter landscaping on the western side of the development meeting the requirements outlined in Chapter 56.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1** - The Grading Plan & SWPPP and Specifications shall be prepared by the Engineer of Record, who is a licensed professional engineer of the State of Arkansas.
 - o ~~Requires a 1"=200' minimum scale 2-foot contour map.~~
 - o ~~Show existing and proposed contours.~~
- **106.10.5.2.1** - Temporary Construction Entrances
 - o ~~Course Aggregate 2-3 inch stone required at Construction Entrances.~~
 - o Construction entrance must be a minimum of 50' long and **12' wide.**
 - o ~~Required at all locations where construction traffic moves to public road or other paved areas.~~
 - **Show the width in the detail.**

2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.1** - Show & Label all temporary construction stockpiles, parking, entrances, egress, roads, or access as **"Temporary"** on the Grading or Erosion Control Plan.
- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
 - o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

3. Chapter 110 – Streets, Sidewalks and Other Public Places

(Ord. No. 3258, § 1, 11-12-02)

- **110.54** - All crossings under roadways by open cut must be backfilled with flowable fill.
- **110.111** - The developer is required to improve the abutting street to the City of Springdale standards and in accordance with the Master Street Plan, including constructing sidewalks, curb and gutter, pave or widen the existing street, or install or construct drainage facilities.

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.

5. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - Set monuments at all property corners.
 - Street lights every 300' for the entire length of street frontage, if existing show on the plans.
 - Sidewalk connection across parking with different pattern or material.
 - Provide a Rip Rap pad at the pipe discharge.
 - Public amenities?
 - Sidewalk to be 8' wide.
 - Add a note to sod the detention pond to at least the 100 year water elevation.
 - Concrete apron at the entrance should extend to the R.O.W. line.
 - Provide a stop sign at the exit.
 - Will the existing pond remain?
 - Provide the required drainage easement for the detention pond.
 - Provide the length and size of all pipes.
 - Show details about the retaining wall, top of wall, bottom of wall, length and provide an elevation.
 - Where does the water go from the outflow?
 - Dimension pond.
 - Provide a detail of the outfall structure.
 - Dimension areas of Rip Rap.
 - Is there an inlet in the entrance drive?

Mr. Parsley asked if there were those in the general public with questions or comments.

There were none.

Mr. Covert moved to forward the waiver to Council with a recommendation for approval. Mr. Peters seconded the motion.

VOTE:

YES: Peters, Tyler, Austin, Compton, Covert, Mueller, Parsley

NO: None

The motion to forward the waiver to Council with a recommendation for approval was approved by a unanimous vote.

Mr. Peters moved to approve the large scale development subject to Staff comments. Mr. Covert seconded the motion.

VOTE:

YES: Tyler, Austin, Compton, Covert, Mueller, Parsley, Peters

NO: None

The large scale was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution to go to Council on Tuesday, April 28, 2020 at 6:00 p.m. in Council Chambers.

Board of Adjustment

- A. B20-11 The Pits Meatery
106 Main
Variance for deviation of 3 parking spaces
Presented by Nathan Wilkerson

This was approved by a unanimous vote in conjunction with the Conditional Use.

- B. B20-12 Leo Dale Montgomery
6308 Har-Ber Ave
Variance for deviation of front setback from
30' to 25'
Presented by T. Wayne Vanhook

Mr. Vanhook was unable to get through so Ms. Christie presented the variance. She stated that the widening of Har-Ber created the hardship on the reduction of the front setback and that Staff does not have a problem granting the variance.

Mr. Parsley asked if the general public had any questions or comments.

There were none.

Mr. Covert called for the vote.

VOTE:

YES: Austin, Compton, Covert, Mueller, Parsley, Peters, Tyler

NO: None

The variance was approved by a unanimous vote.

- C. B20-13 Larry Gibson
608 Virginia
Variance for deviation of frontage from 60' to 50'
Presented by Larry Gibson

Mr. Gibson was present to answer any questions or comments.
 Mr. Parsley asked for Staff comments.

Ms. Christie said that Staff had no comments or objections to the variance request.

Mr. Parsley asked if there were those in the public with questions or comments.

There were none.

Mr. Peters called for the vote.

VOTE:

YES: Compton, Covert, Mueller, Parsley, Peters, Tyler, Austin
NO: None

The variance was approved by a unanimous vote.

- D. B20-14 Francisco & Adriana Saenz
294 Trevi Fontana Place
 Variance for deviation of front setback from
 30' to 16.5'
 Presented by Francisco or Adriana Saenz

This request was tabled due to a utility easement question.

- E. B20-15 Pure Springdale
NW corner of Gene George Blvd. Dearing Road
 Variance for a deviation of lighting requirement
 Presented by Crafton Tull

This item was approved by a unanimous vote in conjunction with the large scale development.

- F. B20-16 Mark Gilmore
408 S. West End Street
Variance for deviation of paved driveway
 Presented by Mark Gilmore

Mr. Gilmore was present to answer any questions or comments. He stated that he had flooding issues. He said that he called Code Enforcement to make sure that it was alright for him to put in gravel for his parking and was told that it was alright to do so. He said that pouring concrete would have created more flooding issues.

Mr. Parsley asked for additional comments.

Mayor Sprouse said that he and Patsy met with Mr. Gilmore. He said that he felt that the gravel is much preferred over removing the gravel and parking in a muddy mess. He further stated that Mr. Gilmore did a good job.

Ms. Mildred Stepp who is a neighbor and said that Mr. Gilmore has done a good job and that what he has done looks great.

Mr. Tyler said that since Mr. Gilmore called the Code department and was told he could put in gravel, he would have a problem denying the variance.

Mr. Covert said that he agreed with Mr. Tyler. Mr. Gilmore has done a good job.

Mr. Covert called for the vote.

VOTE:

YES: Covert, Mueller, Parsley, Peters, Tyler, Austin, Compton

NO: None

The variance was approved by a unanimous vote.

- G. B20-17 Josan Gurmet
772 S. 48th Street
 Variance for deviation of Commercial Design Standards
 Presented by Bates & Associates

Mr. Christian McGuire was present via Zoom on behalf of his client to answer any questions or comments. This was for the storage units that was heard at the March Planning Commission meeting where they discussed the materials on the units that were visible. He said they will be using materials per the design standards.

Ms. Christie it will include the front of the building that faces east.

Mr. McGuire said that on the first climate control unit in the front would be the recommended materials. The units on the south side will have the improved materials.

Mr. Parsley asked if there were comments from the public.

There were none.

Ms. Christie noted that some trees had been removed and that some sort of landscaping would have to replace them.

Mr. McGuire said he was not aware of the trees being removed and that he would look into it.

Mr. Covert called for the vote.

VOTE:

YES: Mueller, Parsley, Peters, Tyler, Austin, Compton, Covert

NO None

The variance was approved by a unanimous vote.

- H. B20-18 Williams Tractor
S. of DTP, E. side of I-49
 Variance for deviation of landscaping requirement per Chapter 56
 Variance for deviation of Commercial Design Standards
 Presented by Jason Ingalls

This was tabled along with the large scale development.

Waivers

- A. W20-03 Pure Springdale
NW corner of Gene George Blvd. & Dearing Rd.
 Waiver of street improvements to Dearing Road
 Presented by Crafton Tull

This was approved by a unanimous vote in conjunction with the large scale development.

- B. W20-04 Chris Elder
1509 S. West End Street
 Waiver of street improvements
 Presented by Bates & Associates

This was approved by a unanimous vote in conjunction with the large scale development.

- C. W20-05 Mill Creek Nursing Center
W. side of 48th St., E. Side of I-49
 Presented by Engineering Services, Inc.

This was approved by a unanimous vote in conjunction with the large scale development.

Planning Director's Report

Ms. Christie said Council actions taken in March: Council approved the replats for lot 14 of West side addition and lot 24 the Oak addition. They entered into an agreement with the Springdale Chamber to promote business development and economic growth. They adopted a resolution according to House Resolution 218 which is the Constitution amendment to continue the levy of the half cent sales tax which a portion comes back to the County. They approved the Ordinance amending the sign requirements in the overlay district for churches, schools, libraries, and other public facilities. They approved the rezoning for the Revival Tabernacle Church, the Rocky Mountain Realty Holdings, the rezoning on Har-Ber Avenue, the rezoning the property on Robinson Avenue. They also approved the Conditional Use on Kendra Avenue, a mobile vending, the church synagogue, the cell tower, the tandem lot split.

The work session will be April 21. Dr. Rollins with the Springdale School District is scheduled to speak. This will be conducted as a Zoom meeting.

There being no further business, the meeting was adjourned at 6:20 p.m.

Kevin Parsley, Chairman

Ben Peters, Secretary

**Patsy Christie, Director
Planning and Community Development Division**

Debbie Ponders, Recording Secretary

ORDINANCE NO. _____

**AN ORDINANCE AMENDING SECTION 112-8 OF THE
CODE OF ORDINANCES OF THE CITY OF SPRINGDALE,
ARKANSAS; AND FOR OTHER PURPOSES**

WHEREAS, Chapter 112 of the Code of Ordinances of the City of Springdale, Arkansas, contains the procedures for the subdivision of land in the City of Springdale;

WHEREAS, Section 112-8 of the Code of Ordinances of the City of Springdale, Arkansas, contains the regulations and requirements for development plans;

WHEREAS, Section 112-8 needs to be amended in its entirety to clarify, update, and replace the regulations and requirements for development plans;

WHEREAS, it is in the best interest of the City of Springdale, Arkansas, for the City Council of the City of Springdale, Arkansas, to amend Section 112-8 of the Code of Ordinances of the City of Springdale, Arkansas; and

WHEREAS, pursuant to Section 112-12(d) of the Code of Ordinances of the City of Springdale, Arkansas, a public hearing was held before the Springdale Planning Commission on May 5, 2020, after notice was given of said hearing as required by law.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL FOR THE
CITY OF SPRINGDALE, ARKANSAS:**

Section 1: Section 112-8 of the Code of Ordinances of the City of Springdale, Arkansas, is hereby replaced in its entirety to read as follows:

Sec. 112-8. –Development plan.

(a) **Applicability:** A development plan shall be submitted for all developments, building construction, and parking lots before a grading permit and/or building permit can be issued and temporary or permanent connection to city utilities shall not be allowed until the development has been approved as set forth in this article. Single family residential construction is exempted from this requirement. A development plan must be submitted to the Planning and Community Development Division for review and approval as follows:

(1) Large Scale Developments – developments of one acre or greater shall be classified as a Large Scale Development and shall be submitted to and approved by the Planning Commission as outlined below.

(2) Non-Large Scale Developments – developments less than one acre shall be classified as a Non-Large Scale Development and must be reviewed and approved by the Director of the Planning and Community Development Division or an authorized representative as outlined below.

(3) Exceptions are as follows:

a. The Director of Planning and Community Development Division may require a Non-Large Scale Development plan be submitted to the Planning Commission where there are significant problems with storm drainage, traffic, or pedestrian circulation, utility access, construction methods, impact on adjacent property, or other factors.

- b. Developments within a platted commercial or industrial subdivision whose final plat was approved by the city Planning Commission and the City Council and filed with appropriate county after January 1, 2002 shall not be required to have a Large Scale Development plan approved by the Planning Commission. These developments shall be considered as Non-Large Scale Developments unless one of the previously stated factors would require submission of a Large Scale Development plan by the Director of Planning and Community Development Division.

- (b) **Pre-application Conference:** A pre-application conference is required prior to the submission of a Large Scale and/or a Non-Large Scale Development plan. The purpose and intent of the pre-application conference is to afford the owner/developer and development team an opportunity to obtain the advice of the planning staff in order to avoid unnecessary costs and delays to the applicant and to give informal guidance to the development at a stage where potential points of conflict or differences can be resolved. No fees shall be collected for pre-application conference.

At the pre-application conference, the general character of the development will be discussed and items including zoning, design standards, landscaping, paving, and utility service, street requirements, flooding, drainage, and other pertinent factors related to the proposed development will be reviewed. Guidelines and instructions and/or checklists will be made available to assist in the preparation of the plans. This will familiarize the owner with these regulations, the master street plan, the land use plan, zoning regulations, design standards and other official plans, policies and public improvements.

- (c) **Applications for Development Approval:** Development plans are to be submitted to the Planning and Community Development Division in accordance with current planning department policies and procedures and shall be reviewed upon their individual merits upon specific application of the developer.
 - (1) Large Scale Development plan: The developer shall submit to the Director of the Planning and Community Development Division or the appointed representative a Large Scale Development Application, 3 hard copies of a Large Scale Development plan, one digital copy of the plan, colored building elevations and one digital copy of the preliminary drainage report (as required by the Springdale Drainage Criteria Manual) and filing fees before the submission deadline for technical plat review as established adopted by the Planning Commission and published as the schedule of meeting dates and submission deadlines.
 - (2) Non-Large Scale Development plan: The developer shall submit to the Director of the Planning and Community Development Division or the appointed representative a Non-Large Scale Development Application, 3 copies of a Non-Large Scale Development plan, one digital copy of the plan, colored building elevations, and one digital copy of the preliminary drainage report and filing fee.
- (d) **Review Criteria:** A Large Scale and/or Non-Large Scale Development Plan will not be accepted for review and approval if the applicant does not provide clear and convincing evidence of meeting the following criteria:

- (1) Complete application: The development plan was submitted in accordance with the requirements of this article.
 - (2) Compliance of law: The proposed development or construction would not violate a city, state, or federal law.
 - (3) No dangerous traffic conditions: The proposed development would not create or compound a dangerous traffic condition.
 - (4) Utilities provided: City water and sewer utilities are readily available to the property and/or the developer has made provisions for extending such service to the development. If sewer service is not available to the site a County Health Department approved alternative treatment method is proposed.
 - (5) Adequate drainage conditions: The proposed development plan shows adequate drainage conditions and any extreme drainage problem on the property is corrected with the proposed development plan.
 - (6) Other actions required: The proposed plans are consistent with platting and zoning regulations.
- (e) **Review and approval:**

(1) Large Scale Development Plan

- a. Technical Plat Review: Copies of the Large Scale Development plan shall be provided to the Technical Review Committee. The developer or his representative may be requested to meet with the technical plat review committee at an appointed time to discuss the submitted plan and to answer questions concerning said plan, grading, utilities/services, and drainage report. Comments from the committee members will be forwarded to the applicant and the designated representative by the scheduled date on the approved submission schedule. The developer shall address each comment in writing indicating the action taken and how it is shown on the revised plans. The resubmittal shall contain 3 hard copies and one digital copy of the revised plans, one digital copy of the final drainage report, and the written responses in digital form. The revised plans should include a site plan, landscaping plan, lighting plan, colored building elevations, grading plan, drainage report and any other plans needed to address the project by the scheduled date on the approved submission schedule. The submission of all these items shall constitute an acceptance for review by the Planning Commission for the Large Scale Development plan and placement on next scheduled meeting agenda.
- b. Planning Commission Review: Within 60 days after acceptance for review of the large-scale development plan, the Planning Commission shall conduct a public meeting to review said plan. The subdivider or his designated representative shall be responsible for providing notice to all adjacent property owners, including across any street, highway or expressway of the project by certified mail, return receipt requested, to the last known address of all such record owner(s) as certified by a licensed abstractor or

licensed land surveyor within the past 60 days. The developer or his/her representative, who has been designated in writing and who has full authority to make decisions in the developer's absence, shall be present to address all questions by the Planning Commissioners.

- c. Planning Commission action: The Planning Commission shall approve, approve with conditions, disapprove, or table the large-scale development plan.
 - (i) Approval. Plans approved by the Planning Commission shall be signified by the signature of the Planning and Community Development Division Director or designated representative upon the development plan set. Approval by the Planning Commission does not constitute approval for construction.
 - (ii) Approval with conditions. If the plan is approved by the Planning Commission with conditions and/or remaining staff comments, the conditions shall be set forth in written form to the developer. The signature of the developer on the form setting forth the conditions of proposal shall be deemed his agreement to comply with said conditions. Project which are approved with conditions and/or remaining staff comments will not receive final approval for construction until all outstanding comments or concerns have been addressed.
 - (iii) Disapproval. If the plans are disapproved, the reasons for such action shall be reduced to written form and supplied to the developer.
 - (iv) Tabling. If the large-scale development plan is tabled, it will be placed on the agenda of the next Planning Commission meeting without the requirement of re-notification. Tabling beyond one month requires the resubmission with required notification.
- d. Phasing: If the developer desires to develop only a portion of the total area intended for development, the Planning Commission shall require large-scale development plan approval for the entire area to insure that the purpose and intent of these regulations are complied with. Each phase shall be clearly defined on the Large Scale Development plan.
- e. Adjustments and alteration of approved plans: The development plan approved by the Planning Commission will be deemed to be a final plan for which minor adjustments and modifications may be granted upon request to the Planning and Community Development Division Director. In no event may any modification to a development plan be made without prior approval by the Director. Any substantial changes in the development will be in conformance with the procedures for a submission. Determination of the magnitude of the alteration will be the responsibility of the Director of Planning and Community Development Division.

- f. Expiration. The approved large scale development plan is conditioned upon the applicant/developer accomplishing the following task within one year from the date of approval:
 - (i) Receive a building permit;
 - (ii) Pour footing; and
 - (iii) Receive all permits and approvals required by city, state, and federal regulations to start construction of the development or project.
- g. Extension: Prior to expiration, an applicant may request the Planning Commission extend the period to accomplish the task by up to one (1) year. The applicant has the burden to show good cause why the task could not be reasonably completed with the normal time limit. Failure to meet the conditions of section (f) above after the second year will require submission of the development as a new submission.

(2) Non-Large Scale Development Plan

- a. Staff Review: A submittal through the scheduled Technical Review Committee process is not required for a Non-Large Scale Development Plan unless so stipulated by the Director of Planning and Community Development Division as indicated in subsection (a) above. The plans will be directed to the appropriate city departments and utility companies for review and all comments received will be forwarded to the developer and the designated representative.

The developer shall address each comment in writing indicating the action taken and how it is shown on the revised plans. The resubmittal shall contain 3 hard copies and one digital copy of the revised plans, one digital copy of the final drainage report, and the written responses in digital form. The revised plans should include a site plan, landscaping plan, lighting plan, colored building elevations, grading plan, drainage report and any other plans needed to address the project by the scheduled date on the approved submission schedule. The submission of all these items shall constitute an acceptance for review of the Non-Large Scale Development plan.

- b. Staff Approval: Within sixty (60) days after acceptance for review of the Non-Large-Scale development plan, the Planning and Community Development Division Director shall approve, approve with conditions, or disapprove.
 - (i) Approval. Plans approved by the Director shall be signified by the signature of the Planning and Community Development Director or designated representative upon the development plan and the applicant may apply for a building permit.
 - (ii) Approval with conditions. If the plans are approved with conditions, the conditions shall be set forth in

written form to the developer. The signature of the developer on the form setting forth the conditions of proposal shall be deemed his agreement to comply with said conditions.

(iii) Disapproval. If the plans are disapproved, the reasons for such action shall be reduced to written form and supplied to the developer.

c. Adjustments and alteration of approved plans: The development plan approved by Director of Planning and Community Development Division will be deemed to be a final plan for which minor adjustments and modifications may be granted upon request to the Planning and Community Development Director. In no event may any modification to a development plan be made without prior approval by the Director. Any substantial changes in the development will be in conformance with the procedures for a submission. Determination of the magnitude of the alteration will lie with the Director of Planning and Community Development.

d. Expiration: The approved Non-Large scale development plan is conditioned upon the applicant/developer accomplishing the following task within one year from the date of approval: shall lapse after one year from the date of approval:

(i) Receive a building permit;

(ii) Pour footing; and

(iii) Receive all permits and approvals required by city, state, and federal regulations to start construction of the development or project.

e. Extension: Prior to expiration, an applicant may request extension of the period to accomplish the task by up to one (1) year. The applicant has the burden to show good cause why the task could not be reasonably completed with the normal time limit. Failure to meet the conditions of section (d) above after the second year will require submission of the development as a new submission.

(f) **Plans and specifications:**

(1) *Large Scale Development plan:* After the approval of the Large Scale Development plan but before improvements are started, the developer shall submit engineering plans, a final drainage report, and specifications for the streets, grading, and storm drainage improvements including, but not limited to, profiles, specifications, and cross-sections along with grading and storm drainage plans and computations, pursuant to and in compliance with chapter 106, Stormwater Drainage of this Code, to the Director of the Planning and Community Development Division for review and written approval prior to commencement of improvements. No work shall begin without prior approval of the Director of the Planning and Community Development Division.

All streets shall be dedicated and constructed in conformance with the master street plan and chapter 110 of this Code, with right-of-

way dedicated when such right-of-way is needed to conform to the master street plan.

All provisions of chapter 112 governing subdivisions also apply to large scale developments in the city.

- (2) *Non-Large Scale Development plan:* After the approval of the Non-Large Scale Development plan but before improvements are started, the developer shall submit engineering plans, a final drainage report (if required), and specifications for the streets, grading, and storm drainage improvements including, but not limited to, profiles, specifications, and cross-sections along with grading and storm drainage plans and computations, pursuant to and in compliance with chapter 106, Stormwater Drainage of this Code, to the Director of the Planning and Community Development Division for review and written approval prior to commencement of improvements. No work shall begin without prior approval of the Director of the Planning and Community Development Division.

All streets shall be dedicated and constructed in conformance with the master street plan and chapter 110 of this Code, with right-of-way dedicated when such right-of-way is needed to conform to the master street plan.

All provisions of chapter 112 governing subdivisions also apply to large scale developments in the city.

- (g) **Fees.** When the developer submits a Large Scale Development plan to the Director of the Planning and Community Development Division he/she shall remit the following fees:

Large Scale Development plan.....\$500.00
 Non Large Scale Development plan.....\$250.00

- (h) **Plan requirements.** The development plan shall be drawn on acceptable material and at a scale of no smaller than 1" = 100' on a maximum sheet size of 24 inches by 36 inches (the Director of the Planning and Community Development Division may approve other sizes and scales in special cases).
- (i) **Plan information.** The following information shall be submitted to the Director of the Planning and Community Development Division for a development plan review and approval:

General	As-Builts	Large Scale	Non Large Scale
Parcel number.	NO	YES	YES
Copy of a filed, stamped warranty deed.	NO	YES	YES
Name and address of owner, developer, engineer, surveyor, and person preparing the plat.	YES	YES	YES
Subdivision name (Unique and non-duplicating).	YES	YES	YES
Date, graphic scale, north arrow, vicinity map, acreage.	YES	YES	YES

Flood zone statement, zoning, surveyor's certification, stamp, and signature.	YES	YES	YES
Location and description of all stakes and monuments.	YES	YES	YES
Legal description of the property with dimensions and angles sufficient to locate all lines on the ground. Lots and blocks shall be identified, boundaries shall be shown by distance, and property shall be located by section, range, and township and by corporate limits.	YES	YES	YES
Original topography at five-foot contour intervals where grades are over ten percent and two-foot contour intervals where grades are less than ten percent.	YES	YES	YES
Location and names of existing or platted streets and utility easements within or abutting the plat.	YES	YES	YES
Location of all prominent physical features such as buildings, railroads, parks, creeks, ponds, and public spaces.	YES	YES	YES
Names of adjacent subdivisions and names and addresses of owners of adjacent property.	NO	YES	YES
Location and size of utility lines, watercourses, bridges, culverts, lakes, floodplains, wooded areas and underground installations within or adjacent to the plat.	YES	YES	YES
Digital copy of preliminary grading/drainage plan.	NO	NO	NO
Digital copy of final grading/drainage plan.	YES	YES	YES
Location and dimension of all proposed lot lines lot and block numbers, building lines, street lines, easements, dedications, and reservations.	YES	YES	YES
Radial and linear dimensions including angles, bearings and distances sufficient to reproduce the plat on the ground.	NO	NO	NO
Location and size of utilities and drainage systems.	YES	YES	YES
Location and size of any property to be dedicated or reserved with special conditions for special uses.	NO	NO	NO
Vicinity map to show the relation of the plat to streets and other information requested by the planning commission.	YES	YES	YES
Plans of street and utility lines with profiles.	YES	YES	YES
Location and size of all street islands, including all plantings and improvements, platted as common open space, and property owners' association agreement.	YES	YES	YES
Transmittal, ownership, and ordinance statement.	NO	NO	NO
Signatures of owners.	NO	NO	NO
Certificates of acceptance statement and signature spaces.	NO	NO	NO

Corporation resolution and appropriate signature blanks if the owner is a corporation.	NO	NO	NO
Must proceed to Planning Board for Approval	NO	YES	NO
Certified letters sent to all neighboring properties	NO	YES	NO

(j) **Final Inspection.** The purpose of the final inspection is to insure a completed project complies with the development requirements, zoning or ordinance and applicable design standards and other governing specifications and regulations of the City of Springdale as follows:

- (1) **Certificate of Completion.** When site construction is complete, the owner/developer's engineer of record shall submit a written statement certifying that all improvements and installations to the Large Scale/Non-Large scale required for its approval under the terms of these regulations have been made, added, or installed and functional in accordance with city specifications.
- (2) **Site final inspection.** The owner/developer's engineer-of-record shall request in writing a site inspection, addressed to the Engineering Department with a copy to the Planning and Community Development Department. No inspection shall be passed until all items are completed in accordance with Section (k) below.
- (3) **Building final inspection.** A building final inspection shall be scheduled only after the project has passed the site final inspection.

(k) **Completed improvements:** The following improvements shall be complete prior to the city passing the development site final inspection and the owner/developer scheduling a building final inspection:

- (1) **Drainage**
 - a. Drainage swales in-place, sodded or concrete-lined, property dedicated with erosion control in place.
 - b. Detention/retention facilities to grade and draining property.
 - c. Outlet structures, pilot channel, headwalls, flumes, etc. in-place and constructed to approved plans and specifications.
 - d. Any needed off-site improvements or easements in-place.
 - e. Sodding of detention/retention ponds in-place.
 - f. All drainage inlets, outlets, and conduit in proper location and constructed to approved plans and specifications.
 - g. Required fencing of detention/retention ponds in-place.
 - h. Final layer of drainage paving in-place as required by approved plans, including parking lots.

(2) **Fire**

- a. All hydrants and valves in-place, accessible, and operational (facing street).
 - b. Fire lanes marked.
 - c. Building addressed.
- (3) Planning
- a. Final grades achieved.
 - b. Seeding and sodding in-place.
 - c. ADA requirements
 - d. Landscaping (entryway, foundation, parking lot, perimeter) installed with irrigation as approved.
 - e. Parking paved and marked.
 - f. Building design as approved.
 - g. Amenities installed as approved.
 - h. Screening (dumpsters and trash containers, exterior ground-mounted or building-mounted equipment, rooftop equipment).
 - i. Lighting - (building, parking lot, canopy)
- (4) Streets
- a. All curb and gutter completed and backfilled.
 - b. Final layer of pavement in-place to required thickness and density.
 - c. Sidewalks constructed per approved plan including accessible ramps.
 - d. Low or ponding areas in public street corrected.
- (5) Water and Sewer installation approved by Springdale Water Utilities.
- (1) **Certificate of occupancy:** Before the certificate of occupancy is issued the development must be approved by the city fire chief, the chief building inspector, and the Director of the Planning and Community Development Division or their authorized representatives. The developer shall deposit with the City Clerk a surety bond, letter of credit, or cash for 150 percent of the cost of remaining improvements and other required items, as approved by the Director of the Planning and Community Development Division, before the Director's signature is obtained.

Section 2: All other provisions of Chapter 112 of the Code of Ordinances of the City of Springdale, Arkansas, not specifically modified herein shall remain in full force and effect.

PASSED AND APPROVED this _____ day of _____, 2020.

Doug Sprouse, Mayor

ATTEST:

Denise Pearce, City Clerk

APPROVED AS TO FORM:

Ernest B. Cate, City Attorney

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: May 5, 2020
Re: R20-13 Rezone

A request by WT-LF, LLC for Planning Commission approval of a zone change from Agricultural District (A-1) to Thoroughfare Commercial District (C-5) for a tract of land containing 1.5 acres.

LOT LOCATION AND SIZE

The 1.5 acre tract is located on the east side of I-49 adjacent to the right-of-way- north of Shekinah Lane.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) LOT AREA. There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) DENSITY. One (1) unit per two acres.
- (3) FRONT SETBACK. There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) SIDE SETBACK. There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) REAR SETBACK. There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

REQUESTED ZONING

The requested zoning of this tract is a C-5 thoroughfare commercial district. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations, and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping center since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38

Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35

Temporary Uses: - 32

DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.

- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that is cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
 - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
 - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
 - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
 - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

SETBACKS:

Front setback	30'	
Front setback if parking is allowed between R-O-W and the building	50'	
Side setback (subject to applicable fire and building codes)	0	(subject to applicable fire and building codes)
Side setback when contiguous to a residential district	20'	
Rear setback	20'	

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north, east and south is undeveloped. I-49 borders the tract on the west side. The area is surrounded by undeveloped property in C-5 zoning on the east side of I-49. The area on the west side of I-49 is undeveloped in A-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Regional Commercial use.

The Master Street Plan indicates I-49 as an expressway and 48th Street as a Major collector.

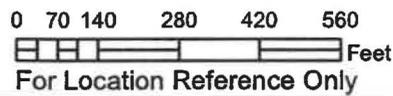
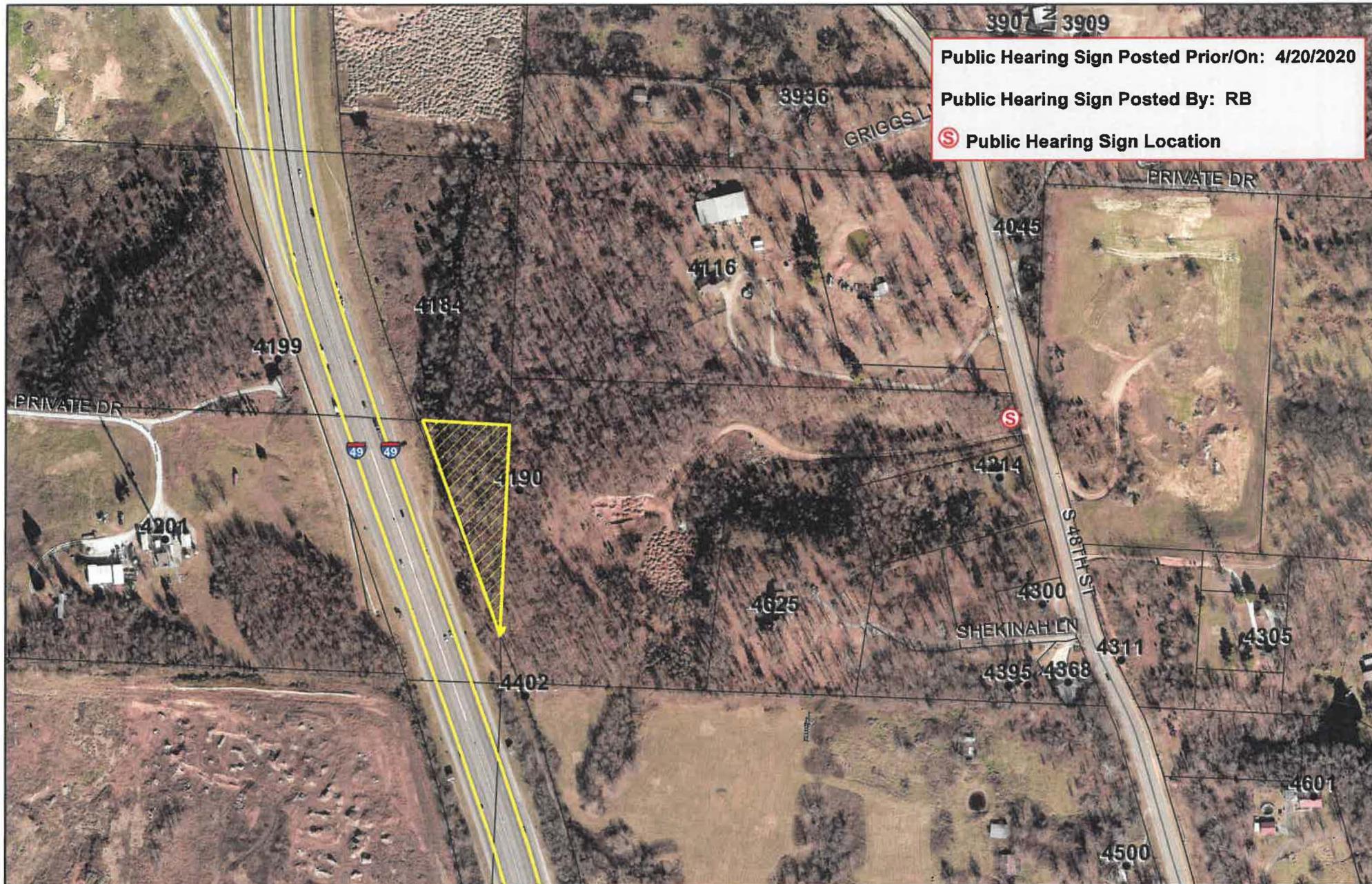
STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.



FILE NO. R20-13
APPLICANT: WT-LF, LLC
REQUEST: Rezone parcel from A-1 to C-5

PLANNING COMMISSION MEETING
 May 5, 2020

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by WT-LF,LLC

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

See attached.

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) A-1

TO (proposed zoning) C-5

The Petitioner's immediate intentions are to:

1. **Sell** the property No (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title No (Yes or No).

2. **Develop** the property Yes (Yes or No), and if so, the proposed use is Tractor and power sports dealership .

3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: Property to west is Interstate 49. Property to north and east is zoned C-5. Property to south is I-49. No affects to properties .

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Jason Ingalls/ Expedient Civil Engineering, PLLC

Address: 9200 Suits Us Dr, Ste. B, Bella Vista, AR 72714

PETITIONER/OWNER SIGNATURE



MAILING ADDRESS: _____

TELEPHONE: _____ DATE: _____

P44

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)

[Handwritten Signature]
(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 15 day of April, 2020.

KATIE CLARK GREEN
Notary Public-Arkansas
Washington County
My Commission Expires 05-17-2027
Commission # 12701378

[Handwritten Signature]
Notary Public

P45

Memo

To: Planning Commission

From: Staff

Date: May 5, 2020

RE: RP20-05 Replat

Hammitt–Eoff Business Center

Engineering Comments

- Add required Signatures.

OWNER: KMHZ LLC
652 BELMONT WAY
SPRINGDALE, AR 72762

SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

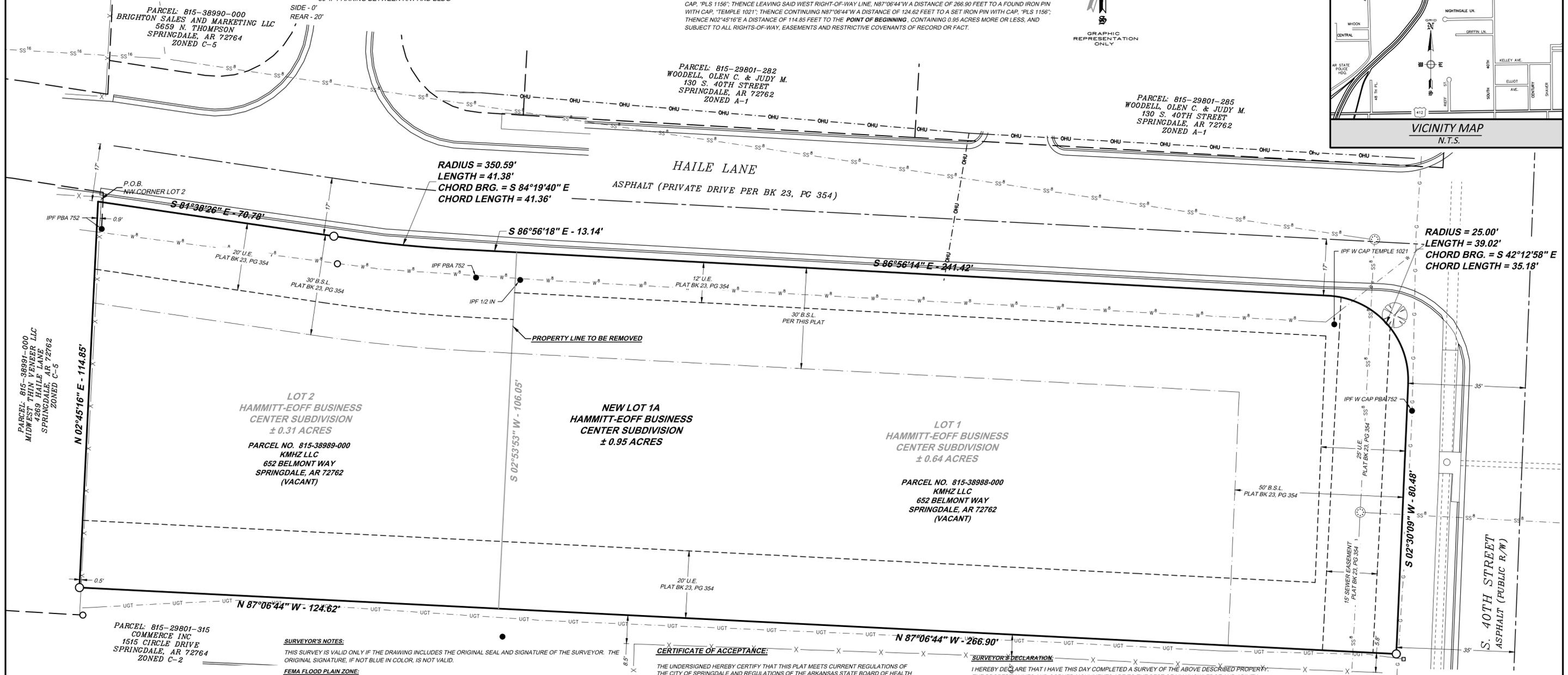
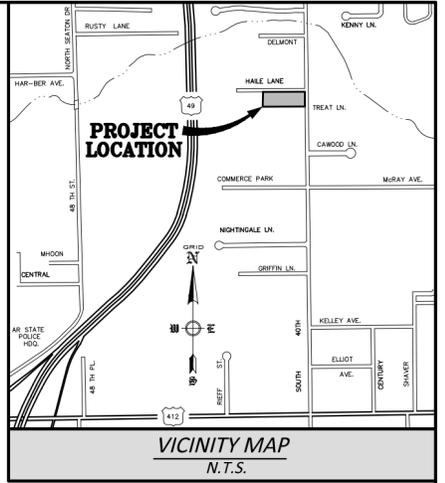
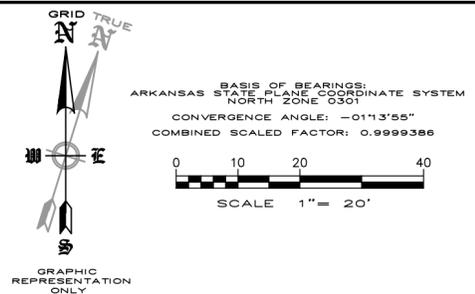
CITY ZONING: C-5 THOROUGHFARE COMMERCIAL DISTRICT

SETBACKS: FRONT - 30'
50' IF PARKING BETWEEN R/W AND BLDG
SIDE - 0'
REAR - 20'

PARCEL NO. 815-38988-000
LEGAL DESCRIPTION LOT 1:
LOT 1, HAMMITT-EOFF BUSINESS CENTER SUBDIVISION, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AS SHOWN ON PLAT RECORD 23-354.

PARCEL NO. 815-38989-000
LEGAL DESCRIPTION LOT 2:
LOT 2, HAMMITT-EOFF BUSINESS CENTER SUBDIVISION, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AS SHOWN ON PLAT RECORD 23-354.

PARCEL NO. 815-38989-000, 815-38988-000
LEGAL DESCRIPTION LOT 1A
ALL OF LOTS 1 AND 2, HAMMITT-EOFF BUSINESS CENTER SUBDIVISION, SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AS SHOWN IN PLAT RECORD BOOK 23, PAGE 354, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 2, SAID POINT BEING A FOUND IRON PIN WITH CAP, "PBA 752", ON THE SOUTH RIGHT-OF-WAY LINE OF HAILE LANE (PRIVATE DRIVE); THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE, THE FOLLOWING 5 CALLS: THENCE S81°38'26"E A DISTANCE OF 70.78 FEET TO A SET IRON PIN WITH CAP, "PLS 1156"; THENCE ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 350.59 FEET, AN ARC LENGTH OF 41.38 FEET AND A CHORD BEARING & DISTANCE OF S84°19'40"E - 41.36 FEET TO FOUND IRON PIN WITH CAP, "PBA 752"; THENCE S86°56'18"E A DISTANCE OF 13.14 FEET TO A FOUND 1/2 INCH IRON PIN; THENCE S86°56'14"E A DISTANCE OF 241.42 FEET TO A FOUND IRON PIN WITH CAP, "TEMPLE 1021"; THENCE ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 39.02 FEET AND A CHORD BEARING & DISTANCE OF S42°12'58"E - 35.18 FEET TO A FOUND IRON PIN WITH CAP, "PBA 752" ON THE WEST RIGHT-OF-WAY LINE OF S. 40TH STREET (PUBLIC RIGHT-OF-WAY); THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, S02°30'09"W A DISTANCE OF 80.48 FEET TO A SET IRON PIN WITH CAP, "PLS 1156"; THENCE LEAVING SAID WEST RIGHT-OF-WAY LINE, N87°06'44"W A DISTANCE OF 266.90 FEET TO A FOUND IRON PIN WITH CAP, "TEMPLE 1021"; THENCE CONTINUING N87°06'44"W A DISTANCE OF 124.62 FEET TO A SET IRON PIN WITH CAP, "PLS 1156"; THENCE N02°45'16"E A DISTANCE OF 114.85 FEET TO THE POINT OF BEGINNING, CONTAINING 0.95 ACRES MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.



PARCEL: 815-38991-000
MIDWEST THIN VENEER LLC
1609 HAILE LANE
SPRINGDALE, AR 72762
ZONED C-5

PARCEL: 815-29801-282
COMMERCIAL INC
1515 CIRCLE DRIVE
SPRINGDALE, AR 72764
ZONED C-2

LEGEND	
—	PROPERTY LINE
- - -	ADJACENT OWNER
- - - - -	EASEMENT (AS NOTED)
— X — X —	SETBACK
— X — X —	FENCE LINE
- - - UGT - - -	UNDERGROUND TELEPHONE LINE
- - - G - - -	GAS LINE
- - - W - - -	WATER LINE
- - - SS - - -	SANITARY SEWER LINE
●	IPF - IRON PIN FOUND (AS NOTED)
○	IPS - IRON PIN SET w/ CAP "PLS 1156"
⊙	MANHOLE (TYPE AS NOTED)
⊙	WATER METER
⊙	GAS METER
⊙	FIRE HYDRANT
⊙	WATER VALVE

SURVEYOR'S NOTES:
THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR. THE ORIGINAL SIGNATURE, IF NOT BLUE IN COLOR, IS NOT VALID.

FEMA FLOOD PLAIN ZONE:
THIS PROPERTY IS NOT WITHIN A 100-YEAR FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 05143C0070 F, PANEL 70 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

UTILITIES:
THE UTILITY INFORMATION, IF ANY SHOWN HEREON, IS PROVIDED BY THE SURVEYOR AND IS BASED ON (1) ABOVE GROUND UTILITY FEATURES, (2) RECORD DRAWINGS, (3) FIELD DESIGNATIONS/MARKINGS BY ARKANSAS ONE CALL (1-800-482-8998) TICKET NO. 170922-0868.

CITY OF SPRINGDALE UTILITY NOTES:
1. NO FENCES SHALL BE CONSTRUCTED WITHIN ANY DRAINAGE EASEMENT. (IF ANY SHOWN HEREON).
2. ANY DAMAGE TO OR RELOCATION OF EXISTING COX COMMUNICATIONS FACILITIES WILL BE AT OWNER'S EXPENSE.
3. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING OR PAVING OR LOT LINE ADJUSTMENTS.
4. METER SERVICES LARGER THAN 5/8 INCH METER SETTER FOR IRRIGATION OR LARGER THAN 1 INCH METER SETTER FOR POTABLE WATER WILL HAVE TO BE APPROVED BY THE ENGINEERING DIRECTOR OF SPRINGDALE WATER UTILITIES.
5. ALL MATERIAL AND COMPONENTS INSTALLED AFTER JANUARY 3, 2014 IN DRINKING WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.

REFERENCES:
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED BELOW. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR COURT CASE DECREES, ADVERSE POSSESSION CLAIMS, SUBSURFACE RIGHTS OR OWNERSHIP, ENCUMBRANCES, OR RESTRICTIVE COVENANTS.
ALL RECORDS LISTED BELOW ARE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS UNLESS OTHERWISE NOTED.
A. WARRANTY DEED: KMHZ LLC, RECORDED JUNE 2, 2017, DOCUMENT FILE NO. 2017-16552.
B. FINAL PLAT: HAMMITT-EOFF BUSINESS CENTER, RECORDED OCTOBER 27, 2008, PLAT BOOK 23, PAGE 354.
C. SURVEY: BY BLEW & ASSOCIATES, PA, RECORDED OCTOBER 4, 2016, DOCUMENT FILE NO. 2016-29101.

CERTIFICATE OF ACCEPTANCE:
THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLAT AND TO THE OFFICES OF RESPONSIBILITY SHOWN BELOW.

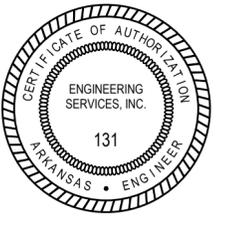
DATE	SIGNATURE
_____	_____
_____	CITY CLERK CITY OF SPRINGDALE
_____	MAYOR CITY OF SPRINGDALE
_____	DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DIVISION
_____	CHAIRMAN PLANNING COMMISSION
_____	SECRETARY, PLANNING
_____	ENGINEER SPRINGDALE WATER UTILITIES
_____	DIRECTOR, PUBLIC WORKS

SURVEYOR'S DECLARATION:
I HEREBY DECLARE THAT I HAVE THIS DAY COMPLETED A SURVEY OF THE ABOVE DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED, AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN ON THIS PLAT. I FURTHER DECLARE THAT THIS SURVEY MEETS THE CURRENT "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS", PER THE STATE OF ARKANSAS.

CERTIFICATION OF TRANSMITTAL, OWNERSHIP, AND ORDINANCE:
THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE OR APPROVAL AND ACCEPTANCE AND CERTIFY TO BE THE OWNER OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LAW OR OTHER LAW. THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS IN ORDER HAVING BEEN APPROVED BY THE CITY ATTORNEY ON _____.

AUTHORIZED REPRESENTATIVE _____ DATE _____

RESOLUTION: RESOLVED THAT _____ IS HEREBY AUTHORIZED TO EXECUTE THE CERTIFICATE OF OWNERSHIP AND DEDICATION SHOWN ON THIS REPLAT.



REPLAT OF LOTS 1 & 2
HAMMITT-EOFF BUSINESS CENTER
SPRINGDALE, WASHINGTON COUNTY, ARKANSAS

SCALE: 1"=20' DATE: April 20, 2020 DRAWN BY: RKW

ENGINEERING SERVICES, INCORPORATED
SPRINGDALE, ARKANSAS

W.O.# 20918 SHEET **1**



Memo

To: Planning Commission

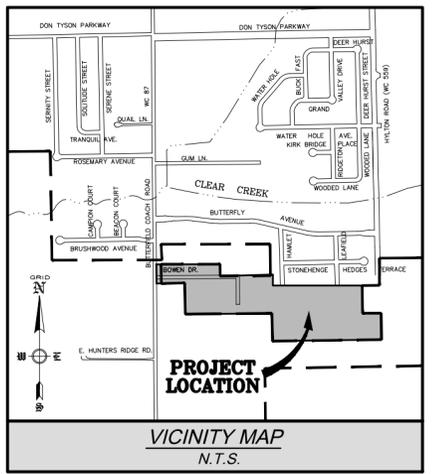
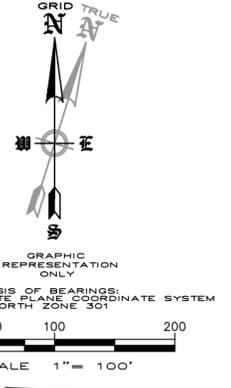
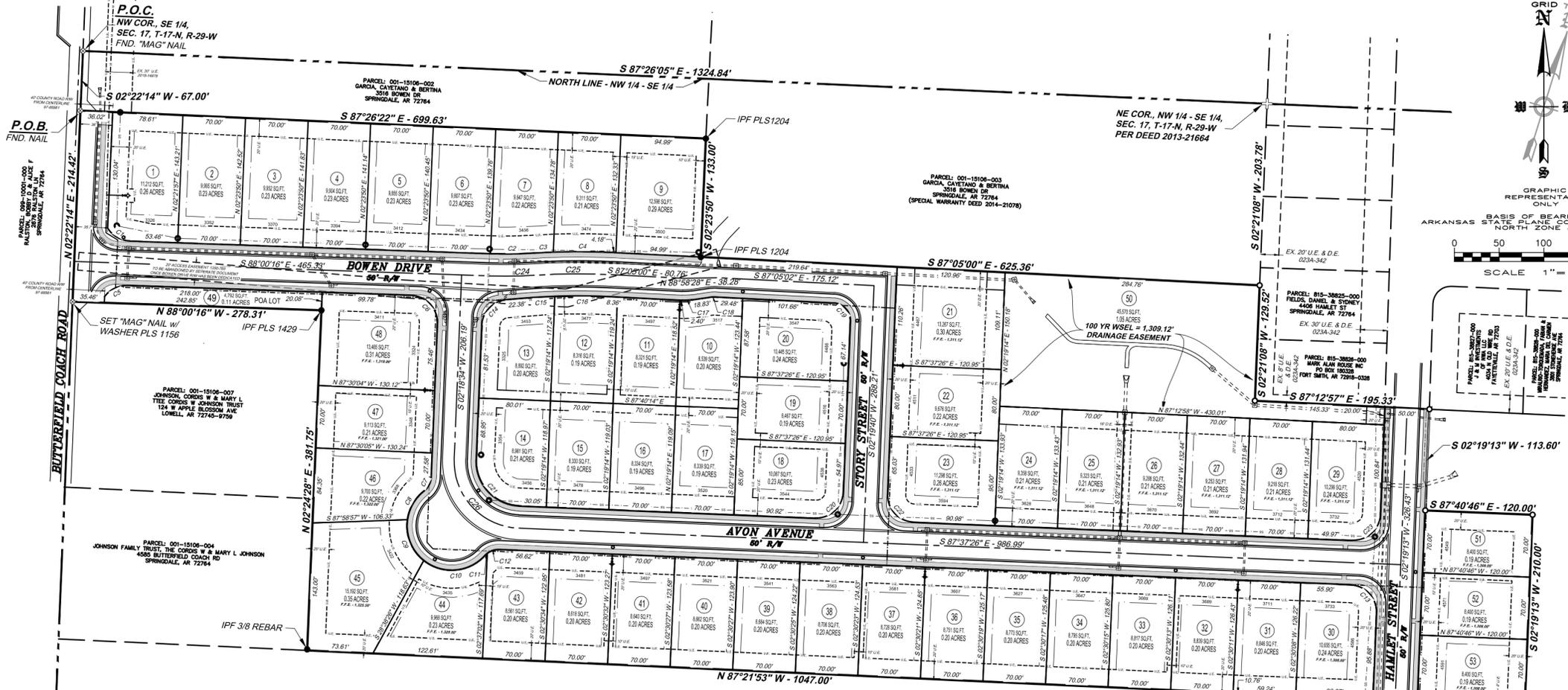
From: Staff

Date: May 5, 2020

RE: FP20-01 Final Plat Hylton Place Subdivision Phase I

Planning Comments

1. No further Comments



OWNER/DEVELOPER: HYLTON ROAD REAL ESTATE, LLC
P.O. BOX 282
SPRINGDALE, AR 72765

ENGINEER/SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72762

ZONING: SF-2

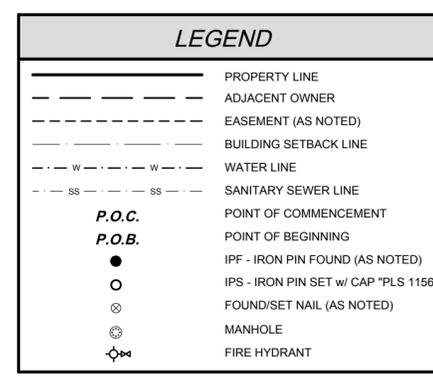
SETBACKS: FRONT SETBACK = 30'
SIDE SETBACK = 8'
REAR SETBACK = 20'

CERTIFICATE OF ACCEPTANCE:
THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLAT AND TO THE OFFICES OF RESPONSIBILITY SHOWN BELOW.

DATE	SIGNATURE
ACCEPTANCE OF DEDICATIONS	CITY CLERK CITY OF SPRINGDALE
APPROVAL FOR RECORDING	DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DIVISION
COMMISSION	CHAIRMAN PLANNING COMMISSION
	SECRETARY, PLANNING
WATER AND SEWER	ENGINEER SPRINGDALE WATER UTILITIES
STREETS AND DRAINAGE	DIRECTOR, PUBLIC WORKS

Curve #	Length	Radius	Chord Length	Chord Bearing
C1	30.18'	30.00'	28.92'	N59°11'05"W
C2	48.45'	475.00'	48.43'	S89°08'38"W
C3	21.74'	750.00'	21.74'	S87°03'11"W
C4	65.88'	750.00'	65.88'	N89°38'00"W
C5	29.42'	30.00'	28.26'	N63°54'03"E
C6	47.29'	30.00'	42.54'	S42°50'15"E
C7	17.30'	20.00'	16.77'	S27°06'03"W
C8	38.29'	50.00'	37.36'	S29°58'37"W
C9	51.60'	50.00'	49.34'	S21°33'24"E
C10	75.95'	50.00'	68.86'	N85°21'34"E
C11	3.26'	20.00'	3.26'	N46°31'22"E
C12	14.37'	20.00'	14.07'	N71°47'10"E
C13	47.09'	30.00'	42.41'	S42°38'07"E
C14	43.44'	30.00'	39.74'	N43°47'33"E
C15	31.68'	700.00'	31.66'	N86°34'17"E
C16	61.69'	700.00'	61.67'	S89°36'29"E
C17	12.24'	62.00'	12.22'	N87°15'46"E
C18	7.50'	38.00'	7.49'	N87°15'46"E
C19	30.43'	19.50'	27.43'	S42°22'53"E
C20	47.15'	30.00'	42.45'	S47°20'54"W
C21	78.49'	50.00'	70.69'	N42°38'43"W
C22	47.09'	30.00'	42.41'	N42°39'06"W
C23	47.15'	30.00'	42.45'	S47°20'53"W
C24	50.38'	500.00'	50.38'	N89°06'32"E
C25	84.71'	725.00'	84.66'	N89°34'10"E
C26	117.72'	75.00'	106.00'	S42°38'43"E

- NOTES:**
- 1) ALL STREET RIGHTS-OF-WAY WITHIN SUBDIVISION ARE 50' IN WIDTH.
 - 2) SIDEWALK SHALL BE PLACED BY THE INDIVIDUAL LOT OWNER AS REQUIRED BY SPRINGDALE CITY ORDINANCE. THE SIDEWALK IS TO BE 5' WIDE AND 1' FROM THE RIGHT-OF-WAY. DEVELOPER SHALL PLACE SIDEWALK ON ALL PORTIONS OF THE STREETS THAT DO NOT HAVE LOT FRONTAGE.
 - 3) LOT 50 IS A NON-BUILDABLE LOT, ENTIRELY DEDICATED AS A DRAINAGE EASEMENT.
 - 4) ALL LOT CORNERS WILL HAVE A SET 5/8" REBAR WITH CAP "1156".
 - 5) LOT 1 SHALL NOT HAVE ACCESS TO HYLTON ROAD.
 - 6) ALL LOTS TO RECEIVE A SEWER BACKWATER VALVE. TO BE INSTALLED ON THE PRIVATE SERVICE LINE BY A LICENSED PLUMBER. (4" PVC EXTENDABLE BACKWATER VALVE BY CLEAN CHECK, MODEL NO. 97304)



FRONT	30"
REAR	20"
SIDE	8"
EXTERIOR SIDE	30"

*UNLESS A UTILITY EASEMENT IS GREATER

SURVEY DESCRIPTION PHASE 1:

A PART OF THE NORTH HALF (1/2) OF THE SOUTHEAST QUARTER (SE 1/4) OF SECTION SEVENTEEN (17), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWENTY-NINE (29) WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE SE 1/4 OF SAID SECTION 17, SAID POINT BEING A FOUND "MAG" NAIL IN BUTTERFIELD COACH ROAD, THENCE ALONG THE WEST LINE OF SAID SE 1/4 AND BUTTERFIELD COACH ROAD, S02°22'14"W A DISTANCE OF 67.00 FEET TO A FOUND NAIL IN BUTTERFIELD COACH ROAD AND THE POINT OF BEGINNING; THENCE S87°26'22"E A DISTANCE OF 699.63 FEET TO A FOUND IRON PIN WITH CAP "PLS 1204"; THENCE S02°23'50"W A DISTANCE OF 133.00 FEET TO A FOUND IRON PIN WITH CAP "PLS 1204"; THENCE S87°05'00"E A DISTANCE OF 625.36 FEET TO THE EAST LINE OF THE NW 1/4 OF SAID SE 1/4 AND A SET IRON PIN WITH CAP "PLS 1156"; THENCE ALONG SAID EAST LINE, S02°21'08"W A DISTANCE OF 129.52 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE LEAVING SAID EAST LINE, S87°12'57"E A DISTANCE OF 195.33 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S02°19'13"W A DISTANCE OF 113.60 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S87°40'46"E A DISTANCE OF 120.00 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S02°19'13"W A DISTANCE OF 210.00 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE N87°40'46"W A DISTANCE OF 120.00 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S02°19'13"W A DISTANCE OF 2.55 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE N87°52'18"W A DISTANCE OF 195.51 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE N87°21'53"W A DISTANCE OF 1,047.00 FEET TO A FOUND 3/8 INCH REBAR; THENCE N02°24'28"E A DISTANCE OF 381.75 FEET TO A FOUND IRON PIN WITH CAP "PLS 1429"; THENCE N89°00'16"W A DISTANCE OF 278.31 FEET TO THE WEST LINE OF THE NW 1/4 OF SAID SE 1/4, SAID POINT BEING A SET "MAG" NAIL WITH WASHER "PLS 1156" IN BUTTERFIELD COACH ROAD; THENCE ALONG SAID WEST LINE AND BUTTERFIELD COACH ROAD, N02°22'14"E A DISTANCE OF 214.42 FEET TO THE POINT OF BEGINNING, CONTAINING 15.75 ACRES, MORE OR LESS, AND SUBJECT TO THE RIGHT-OF-WAY OF BUTTERFIELD COACH ROAD ALONG THE WEST SIDE THEREOF AND THE RIGHT OF WAY OF HYLTON ROAD ALONG THE EAST SIDE THEREOF AND ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

SURVEYOR'S NOTES:
THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR. THE ORIGINAL SIGNATURE, IF NOT BLUE IN COLOR, IS NOT VALID.

PLAT CLOSURE DECLARATION:
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 1,376,764 FEET.

FEMA FLOOD PLAIN ZONE:
THIS PROPERTY IS NOT WITHIN A FLOOD PLAIN ZONE AS SHOWN ON THE F.I.R.M. MAP # 05143C0090F, PANEL 90 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. MAP REVISED: MAY 16, 2008.

UTILITIES:
THE UTILITY INFORMATION, IF ANY SHOWN HEREON, IS BASED ON ABOVE GROUND FEATURES, FIELD DESIGNATIONS/MARKINGS BY ARKANSAS ONE CALL AND CITY OF SPRINGDALE G.I.S. ONLY.
THE DESIGNATIONS AND LOCATIONS OF THESE UTILITY FEATURES SHOWN HEREON ARE NOT TO BE CONSTRUED AS ALL INCLUSIVE OR ABSOLUTE AND ARE PROVIDED WITHOUT WARRANTY.

REFERENCES:
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED BELOW. THE SURVEYOR RESEARCHED OR WAS PROVIDED NECESSARY DEEDS, RIGHT-OF-WAY MAPS, AND OTHER PERTINENT INFORMATION AS SHOWN BELOW. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR COURT CASE DECREES, ADVERSE POSSESSION CLAIMS, SUBSURFACE RIGHTS OR OWNERSHIP, ENCUMBRANCES, OR RESTRICTIVE COVENANTS.

ALL RECORDS LISTED BELOW ARE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS UNLESS OTHERWISE NOTED.

- CORPORATION DEED:** FIRST ASSET HOLDINGS, LLC, RECORDED JUNE 27, 2013, DOCUMENT FILE NO. 2013-21664.
- LOT LINE ADJUSTMENT:** BY ENGINEERING SERVICES, INC., PHILIP C. HUMBAR, AR PLS 1429, RECORDED JULY 10, 2003, DOCUMENT FILE 2003-36343.
- LOT SPLIT:** BY ENGINEERING SERVICES, INC., CHARLES H. ANDERSON, AR PLS 1489, RECORDED FEBRUARY 3, 2004, DOCUMENT FILE 2004-3891.

CERTIFICATION OF TRANSMITTAL, OWNERSHIP, AND ORDINANCE:
THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE, FOR APPROVAL AND ACCEPTANCE AND CERTIFY TO BE THE OWNER OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LAW OR OTHER LAW. THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS ON RECORD HAVING BEEN APPROVED BY THE CITY ATTORNEY ON _____.

AUTHORIZED REPRESENTATIVE _____ DATE _____

RESOLUTION: RESOLVED THAT _____ MEMBER, IS HEREBY AUTHORIZED TO EXECUTE THE CERTIFICATE OF OWNERSHIP AND DEDICATION SHOWN ON THIS PLAT.

S. CRAIG DAVIS, L.P.S. NO. 1156, AR. DATE _____

FINAL PLAT OF
HYLTON PLACE SUBDIVISION PH 1
SPRINGDALE, WASHINGTON COUNTY, ARKANSAS

SCALE: 1"=100' DATE: April 23, 2020 DRAWN BY: RWK

ENGINEERING SERVICES, INCORPORATED
SPRINGDALE, ARKANSAS

W.O.# 18943 SHEET **1**



Memo

To: Planning Commission
From: Staff
Date: May 5, 2020
RE: L20-11 Large Scale Development Williams Tractor

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-11. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)
5. Shown gravel area exceeds the maximum acreage (1) allowed within the existing C-5 zoning. (Roughly 4.5 acres as shown.)
6. Where will the dumpster(s) be located?

Landscaping Comments

1. Tree plantings along the Western property line appear to be spaced around 40' as opposed to 25' as set forth within the perimeter landscaping requirements.

Commercial Design Comments

1. Continuous internal pedestrian walkways, no less than five (5) feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds, ground covers, or other such materials for no less than fifty (50) percent of their length. (Variance Item)
2. Each commercial establishment subject to these standards shall contribute to the establishment or enhancement of community and public spaces by providing at least two of the following: patio/seating areas, pedestrian plaza with benches, transportation center, window shopping walkways, outdoor play area, kiosk area, water feature, clock tower, steeple, or other such deliberately shaped area and/or a focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces. Any such areas shall have direct access to the public sidewalk network and such features shall not be constructed of materials that are inferior to the principal materials of the building and landscape. Although Springdale does not currently maintain a public transit system, areas should be provided or designed to accommodate possible future transit service. (Variance Item)
3. Provide a unified lighting plan for this development prior to final approval.

Commercial Design (Architectural)

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade. Developments shall use articulating features such as arcades; display windows, entry areas, or awnings along at least sixty (60) percent of the façade. (Variance Item)
2. No building foundation landscaping shown. (Variance Item)
3. Building façades shall include a repeating pattern that shall include no less than three (3) of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
 - o Color change
 - o Texture change
 - o Material module change
 - o Expressions of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib. (Variance Item)
4. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating

lengths and designs may be acceptable and can be addressed during the development plan. (Variance Item)

5. Predominant exterior building materials shall be high quality materials. These include, without limitation:
 - o Brick
 - o Native/natural stone
 - o Synthetic Stone
 - o Concrete masonry units—standard smooth face units with integral color
 - o Synthetic stucco/EIFS
 - o Architectural precast concrete
 - o Decorative face concrete masonry units, such as splitface, scored, fluted, ground face, burnished, etc.
 - o Glass
 - o Wood – natural or composite (Variance Item)
6. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
 - o Smooth-faced concrete block
 - o Tilt-up concrete panels
 - o Pre-fabricated steel panels (Variance Item)

Engineering Comments

Chapter 106 – Stormwater Drainage

- Note on site plan the 100 year water surface elevation for detention ponds and drainage swales
- All piping in right of way and easements must be reinforced concrete
 - o detention outlets should use RCP
- The maximum allowable length for sheet flow shall be 100 feet unless there is documented engineering justification to use a longer length

1. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.1** - Show & Label all temporary construction stockpiles, parking, entrances, egress, roads, or access as "**Temporary**" on the Grading or Erosion Control Plan.
 - **Include the word "Temporary" on all constructions items that are intended to be removed at the completion of the project.**
- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
 - o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.
- **107.3** - The following note is required as a General Note on the Site Plan:

"Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:

- a) development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
- b) the disturbed soil area is observed to have 80% grass coverage and 100% stability, and
- c) No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
- d) Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
- e) all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site."

- **Please include the entire note, including a-e.**

2. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

~~112.4 Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.~~

- ~~The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.~~
 - Label all lights as Proposed or Existing
 - ~~Show the direction of the mast arm~~
 - ~~Show the size and type of lights based on the location and classification of the street~~
 - ~~Add note to determine if the light is designed for area parking lot lights or as a street illuminator~~
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

3. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

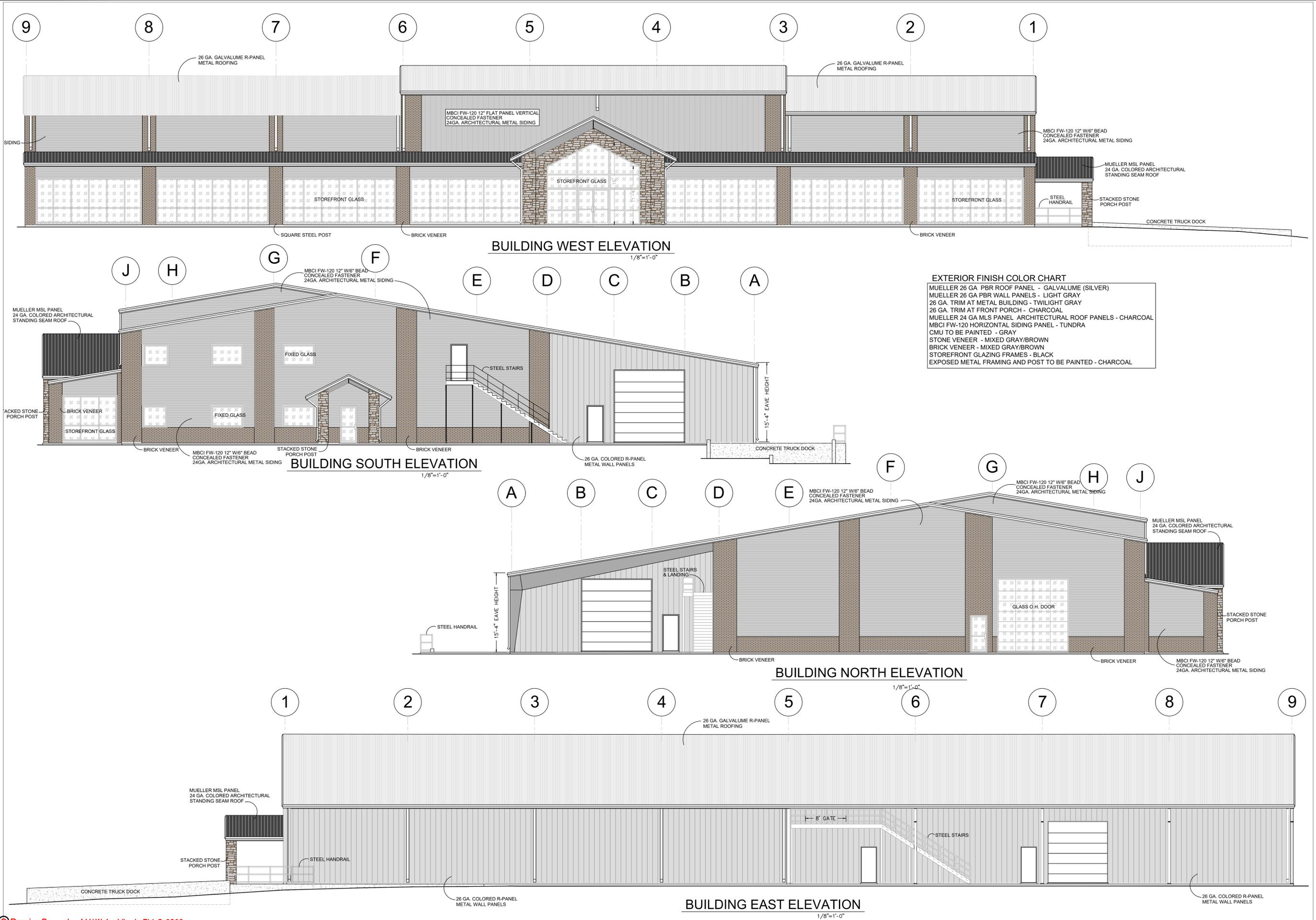
- **130.7.6.1** ADA requirements.
 - Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

4. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas

Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - Set monuments at all property corners
 - Silt fence may not hold on steep slopes?
 - Will the ingress/egress easement remain?
 - Is there an existing road in the easement?
 - Show storm sewer on the site plan.
 - Stop Sign at exit.
 - The drive is steep, may consider using concrete instead of asphalt.
 - Legend shows existing fence to be chain-link? If not, what is the symbol shown represent?
 - Has this amount of impervious surface been approved?
 - Where are the proposed parking area lights?
 - Label curb and gutter.
 - Screening when adjacent to residential.
 - Spot elevations needed I parking area.
 - Any fire lane/no parking?
 - Label the R.O.W.
 - Show the ditch section along road.
 - Describe the ditch on the grading plan-1, existing proposed?
 - F.L. elevations for all storm water pipes.
 - Label all pipe and show the F.E.S.
 - Show the storm water pipe profiles.
 - Describe discharge pipe exit pad.
 - Distance appears to be too far in-between inlets.
 - Sod to the 100 year line, minimum in detention ponds.
 - Show the drainage easement for ponds and piping.
 - What are the entrances into the gravel storage area made of? It shows a turning radius but made of gravel, is there curb and gutter?



EXTERIOR FINISH COLOR CHART

- MUELLER 26 GA. PBR ROOF PANEL - GALVALUME (SILVER)
- MUELLER 26 GA. PBR WALL PANELS - LIGHT GRAY
- 26 GA. TRIM AT METAL BUILDING - TWILIGHT GRAY
- 26 GA. TRIM AT FRONT PORCH - CHARCOAL
- MUELLER 24 GA. MSL PANEL ARCHITECTURAL ROOF PANELS - CHARCOAL
- MBCI FW-120 HORIZONTAL SIDING PANEL - TUNDRA
- CMU TO BE PAINTED - GRAY
- STONE VENEER - MIXED GRAY/BROWN
- BRICK VENEER - MIXED GRAY/BROWN
- STOREFRONT GLAZING FRAMES - BLACK
- EXPOSED METAL FRAMING AND POST TO BE PAINTED - CHARCOAL

REV	DATE	DESCRIPTION

New Building For: Leland & Gary Tollett
Freedom Powersports
 South 48th Street
 Springdale, Arkansas 72762

H+W
 Heiple Wiedower
 Architects Planners
 7325 Rockwood Road
 Little Rock, AR 72207
 (t) 501-707-0115
 (f) 505-707-0118

Project No:
HW20-744
 Date:
4-7-2020
 Sheet Title:
EXTERIOR ELEVATIONS

of _____
 Sheet No:
A-2.1

AP PANEL

Choose from
Column A

CF PANEL

Choose from
Columns A or B

R, U, CORR, SSP & AWP PANELS

Choose from
Columns A, B or C

MUELLER PANEL BENEFITS:

- Fire Resistant
- Hail Resistant – Underwriters Laboratories Class 4 Rating
- 30-Year Limited Paint Warranty
- A Wide Range of Designer Colors
- Commercial Grade Steel
- Energy Efficient
- Greater Life Expectancy
- Outstanding Durability
- Possible Insurance Savings
- Easy application

COLUMN A



Galvalume Plus***



White



Light Gray



Silver Metallic



Charcoal



Deep Blue



Deep Green



Ivy Green



Mansard Brown



Burnished Slate



Rustic Red



Patriot Red



Bright Copper



Tan



Light Stone

COLUMN B



Twilight Gray



Smokey Pewter



Smokestack Gray



Deep River Blue



Forest Green



Coco Brown



Chestnut Brown



Saddle Leather Brown



Rustic Brown



Sunset Red



Desert Tan

COLUMN C



Black



Hawaiian Blue



Marine Green



Colony Green



Burgundy



Gold

*PBR & PBU PANEL AVAILABLE COLORS

Galvalume Plus
White
Light Gray
Silver Metallic
Charcoal
Ivy Green
Burnished Slate
Coco Brown
Chestnut Brown
Saddle Leather Brown
Rustic Red
Patriot Red
Bright Copper
Tan
Light Stone
Desert Tan
Burgundy

**SSP PANEL - 29 GAUGE AVAILABLE COLORS

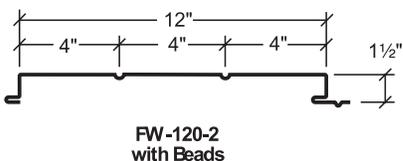
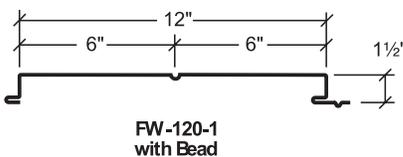
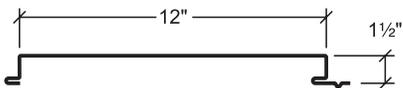
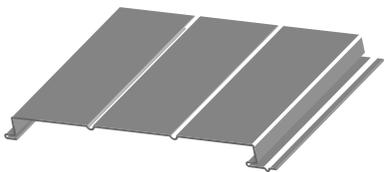
Charcoal
Burnished Slate
Galvalume
White
Light Stone
Tan
Hawaiian Blue
Ivy Green
Rustic Red
Coco Brown



CONCEALED FASTENING SYSTEMS

FW-120 PANEL

The FW-120 panel is a concealed fastener wall and liner panel that provides a flat appearance. FW-120 is commonly used for architectural, commercial and industrial markets. The heavy gauge offering provides for large spanning capabilities, particularly in composite wall applications.

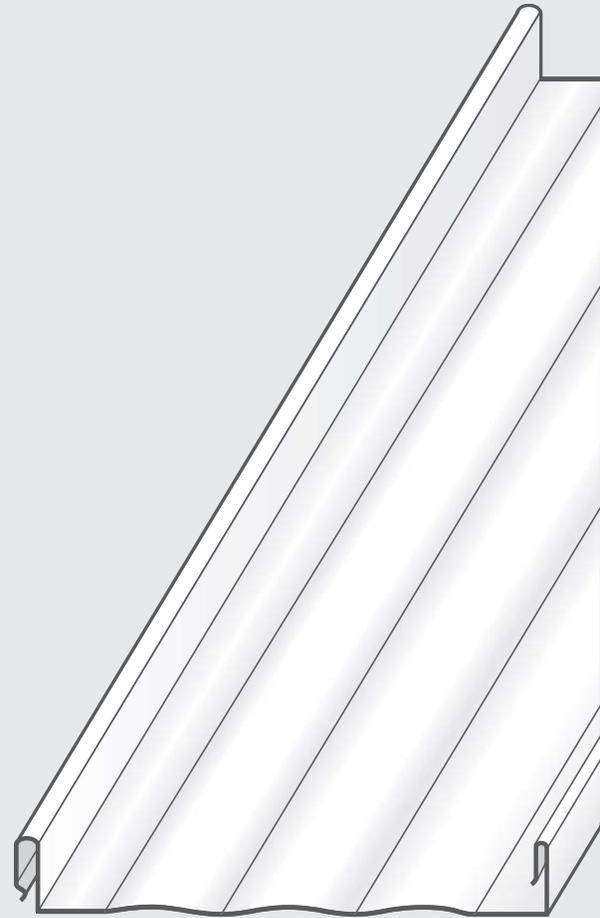


Features and Benefits:

- FW-120 is available in a flat profile with no beads, one bead or two beads.
- The FW-120 Panel has been tested by a certified independent laboratory in accordance with ASTM test procedures for Air Infiltration and Water Penetration at the sidelap. Test results show no air leakage at 1.57PSF and no water penetration at 6.24PSF differential pressure.
- FW-120 carries Florida approval.

Product Specifications

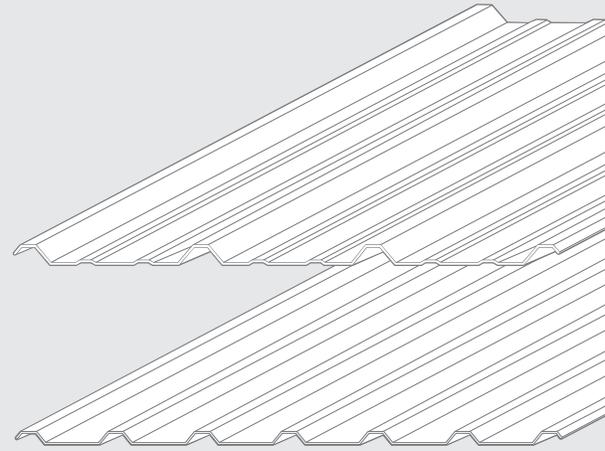
- **Applications:** Wall and Fascia
- **Coverage Widths:** 12"
- **Panel Attachment:** Concealed Fastening System
- **Gauges:** 24 (standard); 22 and 20 (optional)
- **Finishes:** Smooth (standard); Embossed (optional)
- **Coatings:** Signature® 300



SNAP LOCK INSTALLATION GUIDE



R & U-PANEL MANUAL



METAL ROOFING INSTALLATION GUIDE

WILLIAMS TRACTOR & FREEDOM POWER SPORTS

LARGE SCALE DEVELOPMENT

48TH STREET

SPRINGDALE, ARKANSAS

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
2. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
3. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITEMARK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
4. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
5. **PUBLIC CONVENIENCE AND SAFETY:**
THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
6. **GRADING NOTES:**
 - A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
 - B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 - C. OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
 - D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEN-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
 - E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
 - F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
 - H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
 - I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
- J. CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN AND REPORT FOR STORMWATER QUALITY CONTROL INCLUDING EROSION AND SEDIMENT CONTROL. PROPER MEASURES SHALL BE PRACTICED TO PREVENT EROSION ALONG THE EDGE OF PROPERTY, TOE OF SLOPE, AND ALONG DITCHES. MUD AND DEBRIS ARE NOT ALLOWED TO FLOW ONTO ADJACENT PROPERTIES.
- K. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

7. PAVING NOTES:

- A. ASPHALT CONCRETE SURFACE SHALL BE TYPE 2 PER SECTION 407 AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- B. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

8. CONCRETE NOTES:

- A. CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- B. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- C. VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
- D. CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.

9. UTILITY NOTES:

- A. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM SPRINGDALE WATER UTILITIES (SWU), AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- B. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO SWU UNLESS DULY AUTHORIZED TO DO SO BY THE CITIES. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
- C. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
- D. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST SWU STANDARD SPECIFICATIONS AND THE ARKANSAS STATE HEALTH DEPARTMENT STANDARD SPECIFICATIONS, AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.

10. BLASTING AND EXPLOSIVE MATERIALS:

- A. THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
- B. EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.



VICINITY MAP
NOT TO SCALE



RESOURCE LIST

NAME	ADDRESS	TELEPHONE
DEVELOPER WILLIAMS TRACTOR, INC. MR. GARY TOLLETT	901 JONES ROAD FAYETTEVILLE, ARKANSAS 72702	
BLACK HILLS ENERGY MR. BRANDON STUBBS	1301 FEDERAL WAY LOWELL, ARKANSAS 72745	(479) 333-7009
AT&T MR. LAYNE RHODES	HAROLD DR FAYETTEVILLE, ARKANSAS 72701	(479) 442-1977
SPRINGDALE WATER UTILITIES MR. RICK PULVIRENTI, PE	526 OAK AVENUE SPRINGDALE, ARKANSAS 72762	(479) 751-5751
CITY OF SPRINGDALE PLANNING & COMMUNITY DEVELOPMENT MRS. PATSY CHRISTIE	201 SPRING STREET SPRINGDALE, ARKANSAS 72764	(479) 750-8550
CITY OF SPRINGDALE ENGINEERING MR. BRADLEY BALDWIN	269 RANDALL WOBBE LANE SPRINGDALE, ARKANSAS 72764	(479) 750-8105
CITY OF SPRINGDALE (FIRE PLANS EXAMINER) MR. ED STITH	201 SPRING ST SPRINGDALE, ARKANSAS 72764	(479) 750-8154
OZARK'S ELECTRIC COOPERATIVE MR. MIKE PHIPPS	3641 W WEDINGTON DR FAYETTEVILLE, ARKANSAS 72704	(800) 521-6144
COX COMMUNICATIONS MR. JASON COMBS	4901 S. 48TH STREET SPRINGDALE, ARKANSAS 72763	(479) 365-2402
UTILITY LOCATIONS ARKANSAS ONE-CALL SYSTEM, INC.		1-800-482-8998

SHEET INDEX

No.	DESCRIPTION	PLOT DATE	
		No.	DATE
C1.0	COVER SHEET	2	4/23/2020
C2.0	SURVEY	2	4/23/2020
C3.0	DEMOLITION & STORMWATER POLLTION PREVENTION PLAN	2	4/23/2020
C4.0	OVERALL SITE PLAN	2	4/23/2020
C4.1	SITE PLAN 1	2	4/23/2020
C4.2	SITE PLAN 2	2	4/23/2020
C4.3	SITE PLAN 3	2	4/23/2020
C5.0	OVERALL GRADING PLAN	2	4/23/2020
C5.1	GRADING PLAN 1	2	4/23/2020
C5.2	GRADING PLAN 2	2	4/23/2020
C5.3	GRADING PLAN 3	2	4/23/2020
C6.0	DRIVE ENTRANCE PROFILE	2	4/23/2020
C7.0	OVERALL UTILITY PLAN	2	4/23/2020
C7.1	UTILITY PLAN 1	2	4/23/2020
C7.2	UTILITY PLAN 2	2	4/23/2020
C7.3	UTILITY PLAN 3	2	4/23/2020
C9.0	DETAILS	2	4/23/2020
C10.0	DETAILS	2	4/23/2020
C11.0	DETAILS	2	4/23/2020
L1.0	LANDSCAPE PLAN	2	4/23/2020

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL NOT TAKE ANY ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR OR OMISSION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE ENGINEER WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE PLANS AND SPECIFICATIONS.

SITE DEVELOPMENT STANDARDS:

SITE AREA (EXCLUDING ROW): 20.89 AC
GROSS FLOOR AREA: 68,825 SF
PERVIOUS: 9.28 AC/20.89 AC
44.4%

ZONING:

C-2 - GENERAL COMMERCIAL
C-5 - OPEN DISPLAY COMMERCIAL
USE - TRACTOR AND ATV SALES & SERVICE

C-2 ZONING BUILDING SETBACKS:

30' FRONT
0' SIDE INTERIOR
20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
20' REAR

C-5 ZONING BUILDING SETBACKS:

50' FRONT IF THERE IS PARKING IN FRONT
0' SIDE INTERIOR
20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
20' REAR



CITY PROJECT



4/23/2020

Date	Comments
3/19/2020	PER CITY COMMENTS
4/23/2020	PER CITY COMMENTS

Rev	Comments
1	PER CITY COMMENTS
2	PER CITY COMMENTS

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ecce-llc.com



DRAWN BY:

JEI

CHECKED BY:

JEI

DATE

2/27/2020

JOB NUMBER

19-1045

SHEET NAME

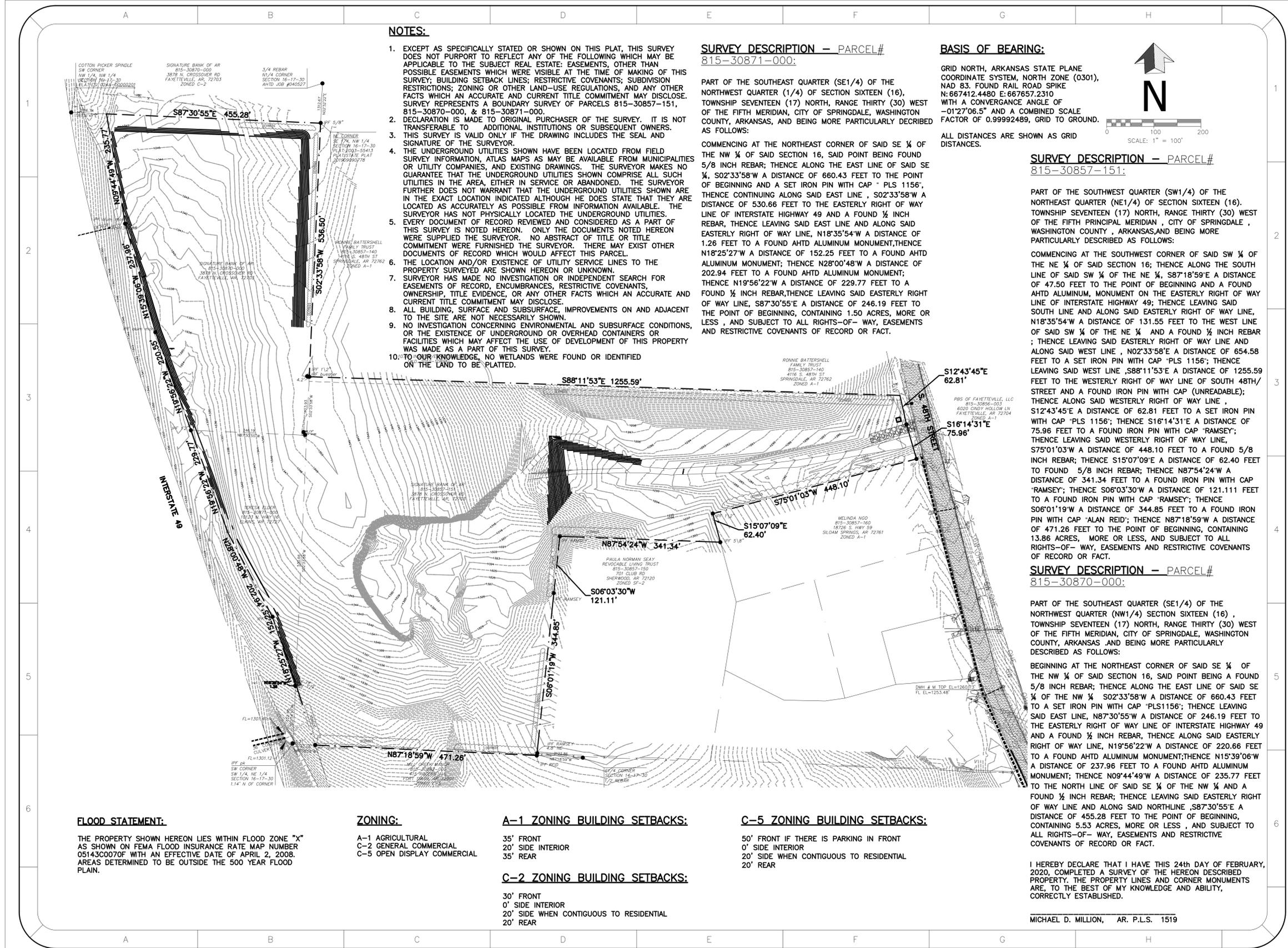
COVER SHEET

File No.

19-1045.dwg

SHEET NO.

C1.0



- NOTES:**
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE. SURVEY REPRESENTS A BOUNDARY SURVEY OF PARCELS 815-30857-151, 815-30870-000, & 815-30871-000.
 - DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED THE SURVEYOR. NO ABSTRACT OF TITLE OR TITLE COMMITMENT WERE FURNISHED THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.
 - THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE SHOWN HEREON OR UNKNOWN.
 - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
 - ALL BUILDING, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
 - NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OF DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
 - TO OUR KNOWLEDGE, NO WETLANDS WERE FOUND OR IDENTIFIED ON THE LAND TO BE PLATTED.

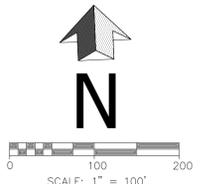
SURVEY DESCRIPTION - PARCEL#
815-30871-000:

PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (1/4) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTY (30) WEST OF THE FIFTH MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SE 1/4 OF THE NW 1/4 OF SAID SECTION 16, SAID POINT BEING FOUND 5/8 INCH REBAR; THENCE ALONG THE EAST LINE OF SAID SE 1/4, S02°33'58"W A DISTANCE OF 660.43 FEET TO THE POINT OF BEGINNING AND A SET IRON PIN WITH CAP "PLS 1156"; THENCE CONTINUING ALONG SAID EAST LINE, S02°33'58"W A DISTANCE OF 530.66 FEET TO THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49 AND A FOUND 1/2 INCH REBAR, THENCE LEAVING SAID EAST LINE AND ALONG SAID EASTERLY RIGHT OF WAY LINE, N18°35'54"W A DISTANCE OF 1.26 FEET TO A FOUND AHTD ALUMINUM MONUMENT, THENCE N18°25'27"W A DISTANCE OF 152.25 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N28°00'48"W A DISTANCE OF 202.94 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N19°56'22"W A DISTANCE OF 229.77 FEET TO A FOUND 1/2 INCH REBAR, THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE, S87°30'55"E A DISTANCE OF 246.19 FEET TO THE POINT OF BEGINNING, CONTAINING 1.50 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

BASIS OF BEARING:

GRID NORTH, ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE (0301), NAD 83. FOUND RAIL ROAD SPIKE N: 667412.4480 E: 667657.2310 WITH A CONVERGENCE ANGLE OF -01°27'06.5" AND A COMBINED SCALE FACTOR OF 0.99992489, GRID TO GROUND.



SURVEY DESCRIPTION - PARCEL#
815-30857-151:

PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHEAST QUARTER (NE1/4) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTY (30) WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SW 1/4 OF THE NE 1/4 OF SAID SECTION 16; THENCE ALONG THE SOUTH LINE OF SAID SW 1/4 OF THE NE 1/4, S87°18'59"E A DISTANCE OF 47.50 FEET TO THE POINT OF BEGINNING AND A FOUND AHTD ALUMINUM MONUMENT ON THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49; THENCE LEAVING SAID SOUTH LINE AND ALONG SAID EASTERLY RIGHT OF WAY LINE, N18°35'54"W A DISTANCE OF 131.55 FEET TO THE WEST LINE OF SAID SW 1/4 OF THE NE 1/4 AND A FOUND 1/2 INCH REBAR; THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE AND ALONG SAID WEST LINE, N02°33'58"E A DISTANCE OF 654.58 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE LEAVING SAID WEST LINE, S88°11'53"E A DISTANCE OF 1255.59 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SOUTH 48TH/STREET AND A FOUND IRON PIN WITH CAP (UNREADABLE); THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, S12°43'45"E A DISTANCE OF 62.81 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S16°14'31"E A DISTANCE OF 75.96 FEET TO A FOUND IRON PIN WITH CAP "RAMSEY"; THENCE LEAVING SAID WESTERLY RIGHT OF WAY LINE, S75°01'03"W A DISTANCE OF 448.10 FEET TO A FOUND 5/8 INCH REBAR; THENCE S15°07'09"E A DISTANCE OF 62.40 FEET TO A FOUND 5/8 INCH REBAR; THENCE N87°54'24"W A DISTANCE OF 341.34 FEET TO A FOUND IRON PIN WITH CAP "RAMSEY"; THENCE S06°03'30"W A DISTANCE OF 121.11 FEET TO A FOUND IRON PIN WITH CAP "ALAN REID"; THENCE N87°18'59"W A DISTANCE OF 471.26 FEET TO THE POINT OF BEGINNING, CONTAINING 13.86 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

SURVEY DESCRIPTION - PARCEL#
815-30870-000:

PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4) SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTY (30) WEST OF THE FIFTH MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SE 1/4 OF THE NW 1/4 OF SAID SECTION 16, SAID POINT BEING A FOUND 5/8 INCH REBAR; THENCE ALONG THE EAST LINE OF SAID SE 1/4 OF THE NW 1/4, S02°33'58"W A DISTANCE OF 660.43 FEET TO A SET IRON PIN WITH CAP "PLS1156"; THENCE LEAVING SAID EAST LINE, N87°30'55"W A DISTANCE OF 246.19 FEET TO THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49 AND A FOUND 1/2 INCH REBAR, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE, N19°56'22"W A DISTANCE OF 220.66 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N15°39'06"W A DISTANCE OF 237.96 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N09°44'49"W A DISTANCE OF 235.77 FEET TO THE NORTH LINE OF SAID SE 1/4 OF THE NW 1/4 AND A FOUND 1/2 INCH REBAR; THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE AND ALONG SAID NORTHLINE, S87°30'55"E A DISTANCE OF 455.28 FEET TO THE POINT OF BEGINNING, CONTAINING 5.53 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

I HEREBY DECLARE THAT I HAVE THIS 24th DAY OF FEBRUARY, 2020, COMPLETED A SURVEY OF THE HEREOF DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE, TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED.

MICHAEL D. MILLION, AR. P.L.S. 1519

- ZONING:**
- A-1 AGRICULTURAL
 - C-2 GENERAL COMMERCIAL
 - C-5 OPEN DISPLAY COMMERCIAL
- A-1 ZONING BUILDING SETBACKS:**
- 35' FRONT
 - 20' SIDE INTERIOR
 - 35' REAR
- C-2 ZONING BUILDING SETBACKS:**
- 30' FRONT
 - 0' SIDE INTERIOR
 - 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
 - 20' REAR

FLOOD STATEMENT:

THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 05143C0070F WITH AN EFFECTIVE DATE OF APRIL 2, 2008. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

FILE STAMP

VICINITY MAP (N.T.S.)

LEGEND

- (E) EXISTING
- #1/2" FOUND REBAR
- PROPERTY LINE
- - - BARB WIRE FENCE
- - - STORM PIPE
- 6W 6W 6" WATER LINE
- ⊕ SIGN
- ⊕ TELEPHONE PEDESTAL
- ⊕ FIRE HYDRANT
- ⊕ ASPHALT PAVEMENT
- - - 1255' CONTOUR LINE
- - - OHE OVERHEAD POWER

STATE OF ARKANSAS
WASHINGTON COUNTY

BOUNDARY & TOPOGRAPHIC SURVEY

PT S1/2, NW/4, PT N1/2, SE1/4,
NW1/4, & PT SW1/4, NE1/4,
SEC 16, T-17N, R-30W
WASHINGTON COUNTY, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR
FAYETTEVILLE, AR 72702

DATE OF LAST REVISION: MAR. 17, 2020

MICHAEL D. MILLION
LAND SURVEYOR
12 NEFFWOOD LANE
BELLA VISTA, AR 72715
PHONE: (479) 571-0654

CHUCK BELL: (479) 366-0640

DRAWN BY: CEB	SCALE: 1" = 100'
FIELD CREW: CEB/CEB	DATE: FEBRUARY 24, 2020
CHECKED BY: MDM	DWG: 19-1045

C:\ECE Business\Projects\2019-Projects\19-1045-Williams Tractor\19-1045.dwg



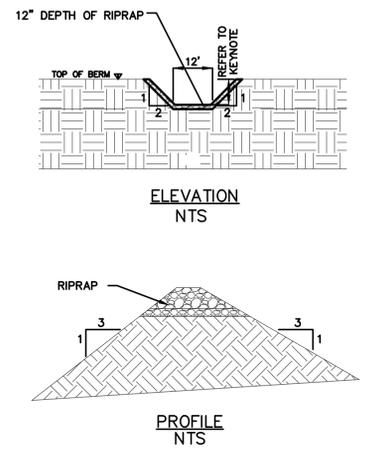
SCALE 1" = 100'

LEGEND (PROPOSED)

PROPOSED SILT FENCING — SF — SF —
 PROPOSED CONTOUR ——— 1336 ———
 PROPOSED CURB AND GUTTER ———
 PROPOSED HANDICAP SIGN ———
 PROPOSED EASEMENT ———
 PROPOSED ACCESS EASEMENT ——— A.E. ———

LEGEND (EXISTING)

FOUND IRON PIN ——— PF 1/2 REBAR ———
 PROPERTY LINE ———
 EXISTING WOOD FENCE ———
 EXISTING CHAIN LINK FENCE ———
 EXISTING CONTOUR ——— 1331 ———
 EXISTING ASPHALT ———
 EXISTING CONCRETE ———
 EXISTING CURB ———
 EXISTING CENTERLINE OF ROAD ———
 EXISTING 6" WATER MAIN ——— 6W ——— 6W ———
 EXISTING GAS MAIN ———
 EXISTING FIRE HYDRANT ———
 EXISTING WATER VALVE ———
 EXISTING POWER POLE ———
 EXISTING OVERHEAD POWER ——— OHE ——— OHE ———
 EXISTING GAS METER ———
 EXISTING ELECTRIC TRANSFORMER ———
 EXISTING TELEPHONE PEDESTAL ———
 EXISTING AC UNIT ———
 EXISTING SEWER CLEANOUT ———
 EXISTING ELECTRIC METER ———
 EXISTING TV PEDESTAL ———
 EXISTING SEWER SERVICE LINE ——— 85S ——— 85S ———

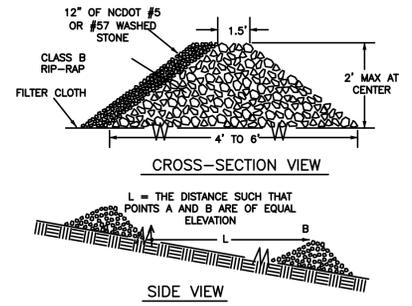


TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE DETAIL
NOT TO SCALE

- KEYNOTES:**
- CONCRETE WASHOUT PER DETAIL 5/C9.0.
 - SAWCUT CONCRETE/ASPHALT WITH NEAT/CLEAN EDGE
 - REMOVE CONCRETE AND DISPOSE OF OFFSITE
 - SILT FENCING PER DETAIL 3/C9.0.
 - CONSTRUCTION ENTRANCE PER DETAIL 1/C3.0.
 - ROCK CHECK DAM PER DETAIL 2/C3.0.
 - GRATE INLET EROSION CONTROL. SEE DETAIL 4/C9.0.
 - INSTALL 12' WIDE TEMPORARY OVERFLOW RIPRAP LINED OVER WEIR AT ELEVATION 1318.00.
 - INSTALL 12' WIDE TEMPORARY OVERFLOW RIPRAP LINED OVER WEIR AT ELEVATION 1291.00.
- EROSION CONTROL:**
- PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR SHALL INSTALL AND MAINTAIN STRAW WATTLES TO PREVENT ANY WATER RUNOFF FROM ANY DISTURBED AREAS. AT A MINIMUM, STRAW WATTLES WILL BE ALONG THE DOWN SLOPE PROPERTY LINES. THE STRAW WATTLES SHALL BE CONSTRUCTED IN THE AREAS OF CLEARING, GRADING, OR DRAINAGE PRIOR TO STARTING THOSE ACTIVITIES. THE STRAW WATTLES SHALL PREVENT SOIL CARRIED BY RUNOFF WATER FROM GOING BENEATH, THROUGH, OR OVER THE TOP OF THE STRAW WATTLE BUT SHALL ALLOW THE WATER TO PASS THROUGH THE WATTLE.
 - INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
 - REMOVE EROSION AND SEDIMENTATION CONTROLS ONCE THEY ARE NO LONGER NEEDED AND RESTORE AND STABILIZE AREAS DISTURBED DURING REMOVAL.

NOT FOR CONSTRUCTION

- PLACE STONE TO THE LINE AND DIMENSION SHOWN IN THE PLAN ON A FILTER FABRIC FOUNDATION.
- KEEP THE CENTER STONE SECTION AT LEAST 9 INCHES BELOW NATURAL GROUND LEVEL WHERE THE DAM ABUTS THE CHANNEL BANKS.
- EXTEND STONE TO AT LEAST 1.5 FEET BEYOND THE DITCH BANK TO KEEP WATER FROM CUTTING AROUND THE ENDS OF THE CHECK DAM.
- SET SPACING BETWEEN DAMS TO ASSURE THAT THE ELEVATION AT THE TOP OF THE LOWER DAM IS THE SAME AS THE TOE ELEVATION OF THE UPPER DAM.
- PROTECT THE CHANNEL AFTER THE LOWEST CHECK DAM FROM HEAVY FLOW THAT COULD CAUSE EROSION.
- MAKE SURE THAT THE CHANNEL REACH ABOVE THE MOST UPSTREAM IS STABLE.
- ENSURE THAT OTHER AREAS OF THE CHANNEL, SUCH AS CULVERT ENTRANCES BELOW THE CHECK DAMS, ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.



DETAIL 2 - ROCK CHECK DAM
NOT TO SCALE



CITY PROJECT #L20-11

Date	Comments	Rev
3/19/2020	PER CITY COMMENTS	1
4/23/2020	PER CITY COMMENTS	2

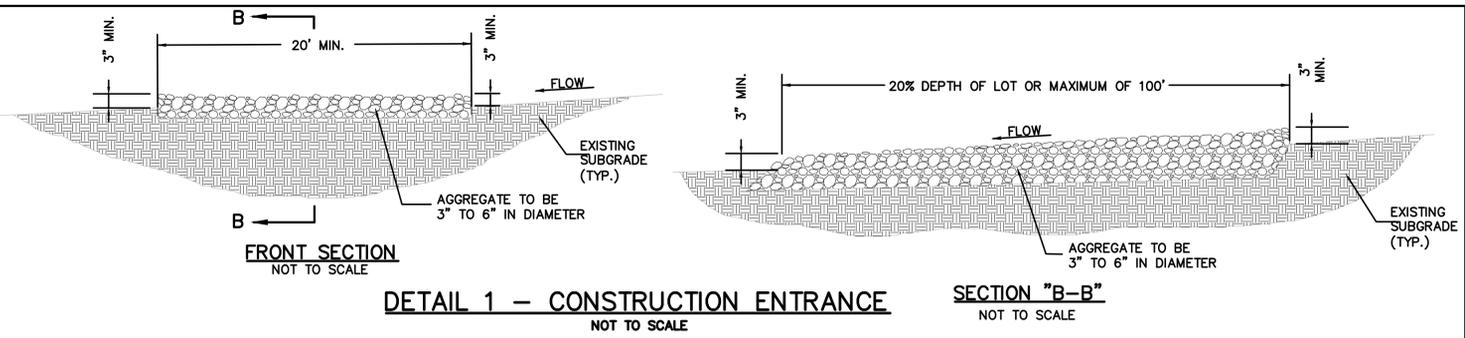
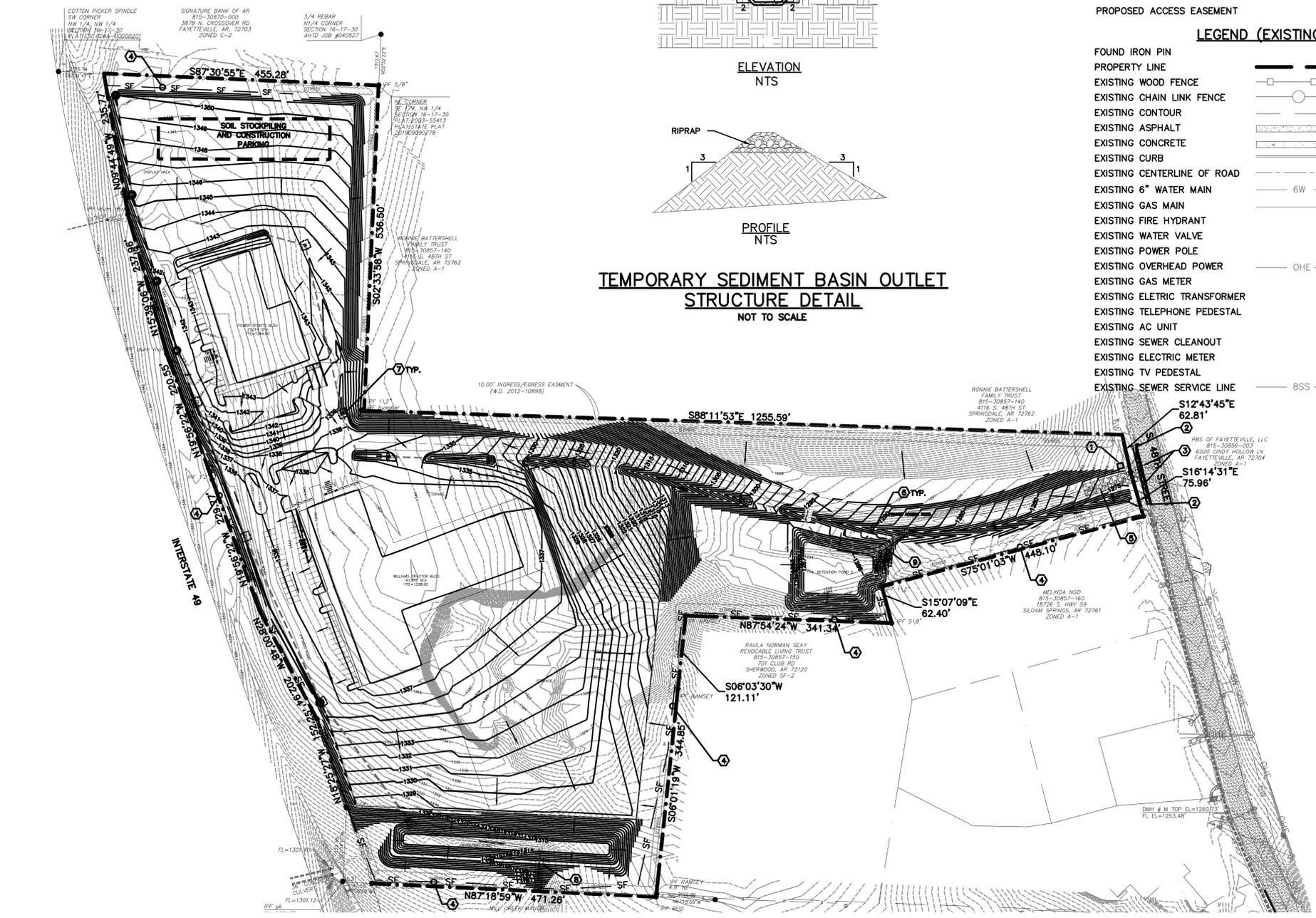
WILLIAMS TRACTOR & FREEDOM POWER SPORTS
48TH STREET
SPRINGDALE, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@eceinc.com



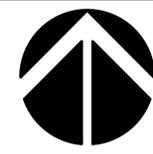
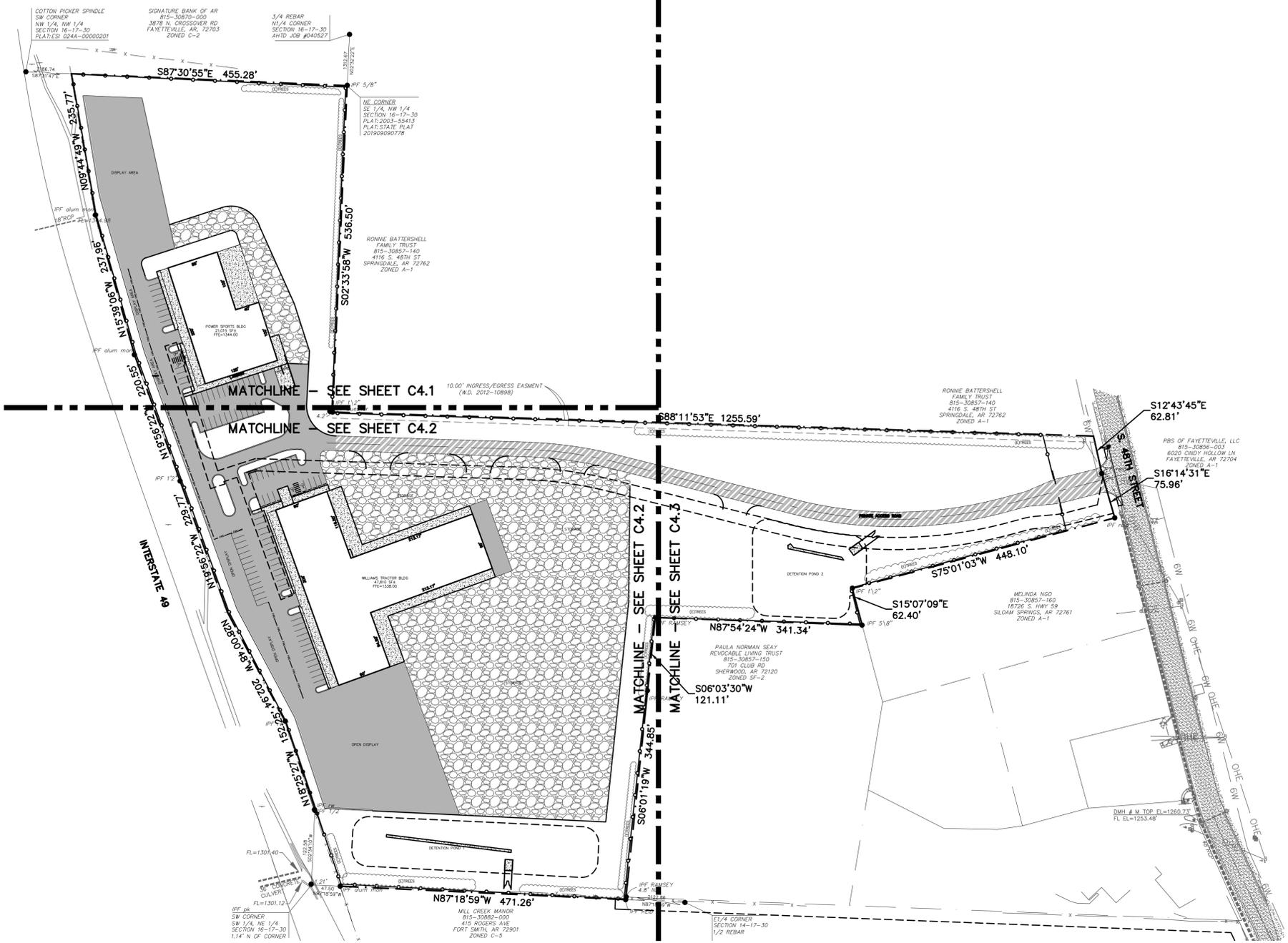
DRAWN BY: JEI
CHECKED BY: JEI
DATE 2/27/2020
JOB NUMBER 19-1045
SHEET NAME DEMOLITION & STORMWATER POLLUTION PREVENTION PLAN
File No. 19-1045.dwg
C3.0



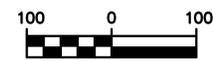
DETAIL 1 - CONSTRUCTION ENTRANCE
NOT TO SCALE

SECTION "B-B"
NOT TO SCALE

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NORTH



SCALE 1" = 100'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED CONCRETE
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED PARKING LOT LIGHT

ENGINEER:

EXPEDIT CIVIL ENGINEERING, PLLC
9200 SUITS US DR, STE. B
BELLA VISTA, AR 72714

DEVELOPER:

WILLIAMS TRACTOR, INC.
2501 SHILOH DR.
P.O. BOX 1346
FAYETTEVILLE, AR 72702

ZONING:

- A-1 - AGRICULTURAL
- C-2 - GENERAL COMMERCIAL
- C-5 - OPEN DISPLAY COMMERCIAL

GREENSPACE:

TOTAL LOT AREA: 20.89 AC
IMPERVIOUS AREA: 11.61 AC
PERVIOUS AREA: 9.28 AC
% PERVIOUS: 44.4%

GRAVEL SURFACING:

ASPHALT PAVING: 191,045 SF
GRAVEL PAVING: 212,479 SF
% GRAVEL: 52.6%
REQUESTING VARIANCE FROM 20% TO 52.6% FOR GRAVEL SURFACING

C-2 ZONING BUILDING SETBACKS:

- 30' FRONT
- 0' SIDE INTERIOR
- 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
- 20' REAR

C-5 ZONING BUILDING SETBACKS:

- 50' FRONT IF THERE IS PARKING IN FRONT
- 0' SIDE INTERIOR
- 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
- 20' REAR

NOTES:

1. A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FROM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.
2. STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED 6 MONTHS.

NOT FOR CONSTRUCTION



CITY PROJECT #L20-11



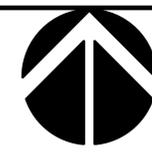
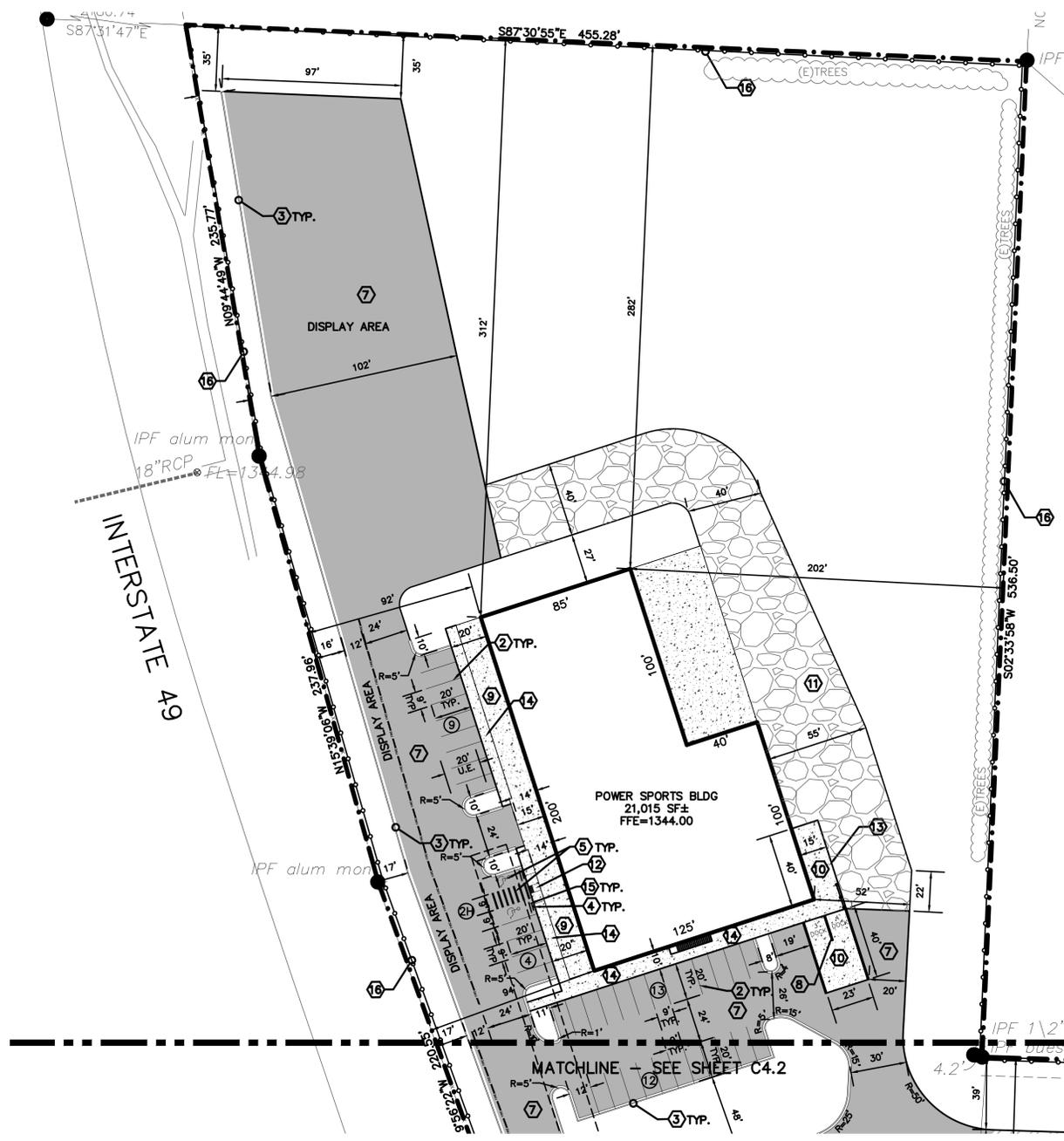
Date	Comments
3/19/2020	PER CITY COMMENTS
4/23/2020	PER CITY COMMENTS

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

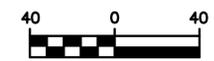
9200 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-ar.com



DRAWN BY:	JEI
CHECKED BY:	JEI
DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	OVERALL SITE PLAN
File No.	19-1045.dwg
	C4.0



NORTH



SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED CONCRETE
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED PARKING LOT LIGHT

POWER SPORTS PARKING REQUIREMENTS:

1. OFFICE - 1 SPACE PER 300 SF, DISPLAY - 1 SPACE PER 1,000 SF, STORAGE - 1 SPACE PER 1,200 SF, WORKSHOP - 1 SPACE PER 1,200 SF
2. OFFICE - 2,700 SF, DISPLAY - 11,568, STORAGE - 5,990 SF, WORKSHOP - 4,080 SF
3. NUMBER OF PARKING SPACES REQUIRED - 29 SPACES
4. NUMBER OF STANDARD PARKING SPACES PROVIDED - 38 SPACES
5. NUMBER OF HANDICAP SPACES PROVIDED - 2 SPACES
6. TOTAL SPACES PROVIDED - 40 SPACES

NOTES:

1. ALL HVAC EQUIPMENT AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
2. NEW LIGHTING IS PROPOSED. LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.

KEYNOTES:

- 1 NOT USED
- 2 4" WHITE PARKING STRIPING
- 3 CURB AND GUTTER PER DETAIL 5/C9.0.
- 4 HANDICAP SIGN PER DETAIL 6/C9.0.
- 5 ACCESSIBLE PARKING STRIPING PER DETAIL 7/C9.0.
- 6 TRASH ENCLOSURE SHALL BE 8" IN DEPTH BY 20" IN WIDTH.
- 7 STANDARD ASPHALT SECTION PER DETAIL 8/C9.0.
- 8 TRUCK DOCK - SEE ARCHITECTURAL DRAWINGS
- 9 STANDARD CONCRETE SECTION PER DETAIL 9/C9.0.
- 10 HEAVY CONCRETE SECTION PER DETAIL 10/C9.0.
- 11 GRAVEL SECTION PER DETAIL 11/C9.0.
- 12 ACCESSIBLE RAMP PER DETAIL 12/C9.0.
- 13 GUARDRAIL PER ARCHITECTURAL
- 14 THICKENED EDGE CONCRETE PER DETAIL 13/C9.0.
- 15 CONCRETE WHEEL STOP PER DETAIL 14/C9.0.
- 16 2 HORIZONTAL BARS AND VERTICAL UPRIGHT TUBULAR STEEL SECURITY FENCING

NOT FOR CONSTRUCTION



Rev	Comments	Date
1	PER CITY COMMENTS	3/19/2020
2	PER CITY COMMENTS	4/23/2020

**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
48TH STREET
SPRINGDALE, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-ar.com



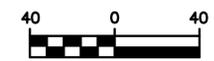
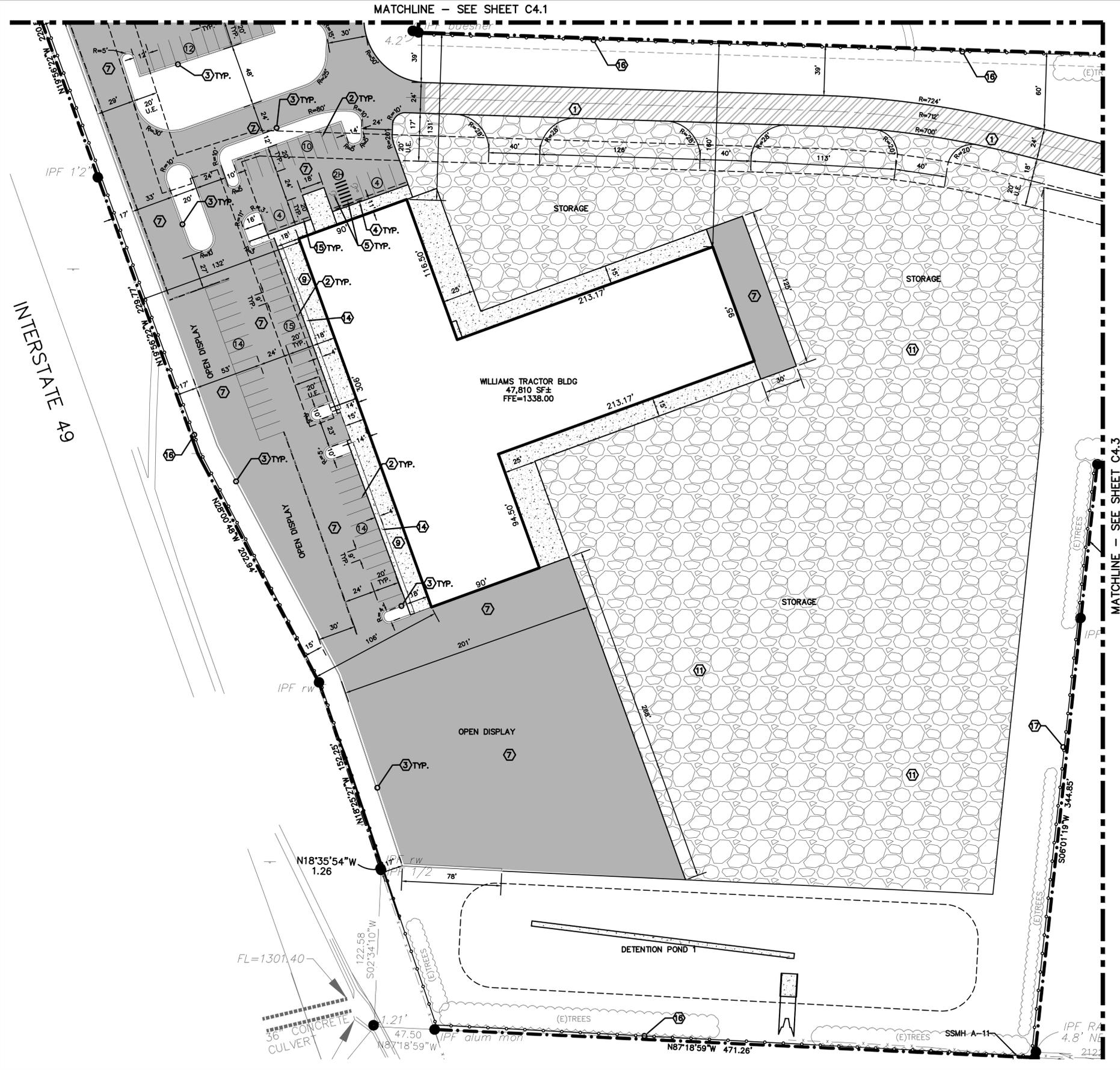
DRAWN BY: JEI
CHECKED BY: JEI
DATE 2/27/2020
JOB NUMBER 19-1045
SHEET NAME SITE PLAN 1
File No. 19-1045.dwg
C4.1



Know what's below.
Call before you dig.

CITY PROJECT #L20-11

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SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED CONCRETE
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED PARKING LOT LIGHT

WILLIAMS TRACTOR PARKING REQUIREMENTS:

1. OFFICE - 1 SPACE PER 300 SF, DISPLAY - 1 SPACE PER 1,000 SF, STORAGE - 1 SPACE PER 1,200 SF, WORKSHOP - 1 SPACE PER 1,200 SF
2. OFFICE - 13,265 SF, DISPLAY - 11,038 SF, STORAGE - 5,990 SF, WORKSHOP - 16,587 SF
3. NUMBER OF PARKING SPACES REQUIRED - 74 SPACES
4. NUMBER OF STANDARD PARKING SPACES PROVIDED - 72 SPACES (INCLUDES 11 SPACES FROM POWER SPORTS)
5. NUMBER OF HANDICAP SPACES PROVIDED - 2 SPACES
6. TOTAL SPACES PROVIDED - 74 SPACES

NOTES:

1. ALL HVAC EQUIPMENT AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
2. NEW LIGHTING IS PROPOSED. LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.

KEYNOTES:

- ① HEAVY ASPHALT SECTION. REFER TO DRIVE ENTRANCE DETAIL SHEET C6.0.
- ② 4" WHITE PARKING STRIPING
- ③ CURB AND GUTTER PER DETAIL 5/C9.0.
- ④ HANDICAP SIGN PER DETAIL 6/C9.0.
- ⑤ ACCESSIBLE PARKING STRIPING PER DETAIL 7/C9.0.
- ⑥ TRASH ENCLOSURE SHALL BE 8' IN DEPTH BY 20' IN WIDTH.
- ⑦ STANDARD ASPHALT SECTION PER DETAIL 8/C9.0.
- ⑧ TRUCK DOCK - SEE ARCHITECTURAL DRAWINGS
- ⑨ STANDARD CONCRETE SECTION PER DETAIL 9/C9.0.
- ⑩ HEAVY CONCRETE SECTION PER DETAIL 10/C9.0.
- ⑪ GRAVEL SECTION PER DETAIL 11/C9.0.
- ⑫ ACCESSIBLE RAMP PER DETAIL 12/C9.0.
- ⑬ GUARDRAIL PER ARCHITECTURAL
- ⑭ THICKENED EDGE CONCRETE PER DETAIL 13/C9.0.
- ⑮ CONCRETE WHEEL STOP PER DETAIL 14/C9.0.
- ⑯ TWO HORIZONTAL BAR AND VERTICAL UPRIGHT TUBULAR SECURITY FENCING
- ⑰ 6" CHAIN LINK SECURITY FENCING WITH VINYL PRIVACY SLATS



CITY PROJECT #L20-11



Date	Comments
3/19/2020	PER CITY COMMENTS
4/23/2020	PER CITY COMMENTS

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR
 WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR. STE. B
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 EMAIL: jason@ece-ar.com

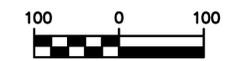
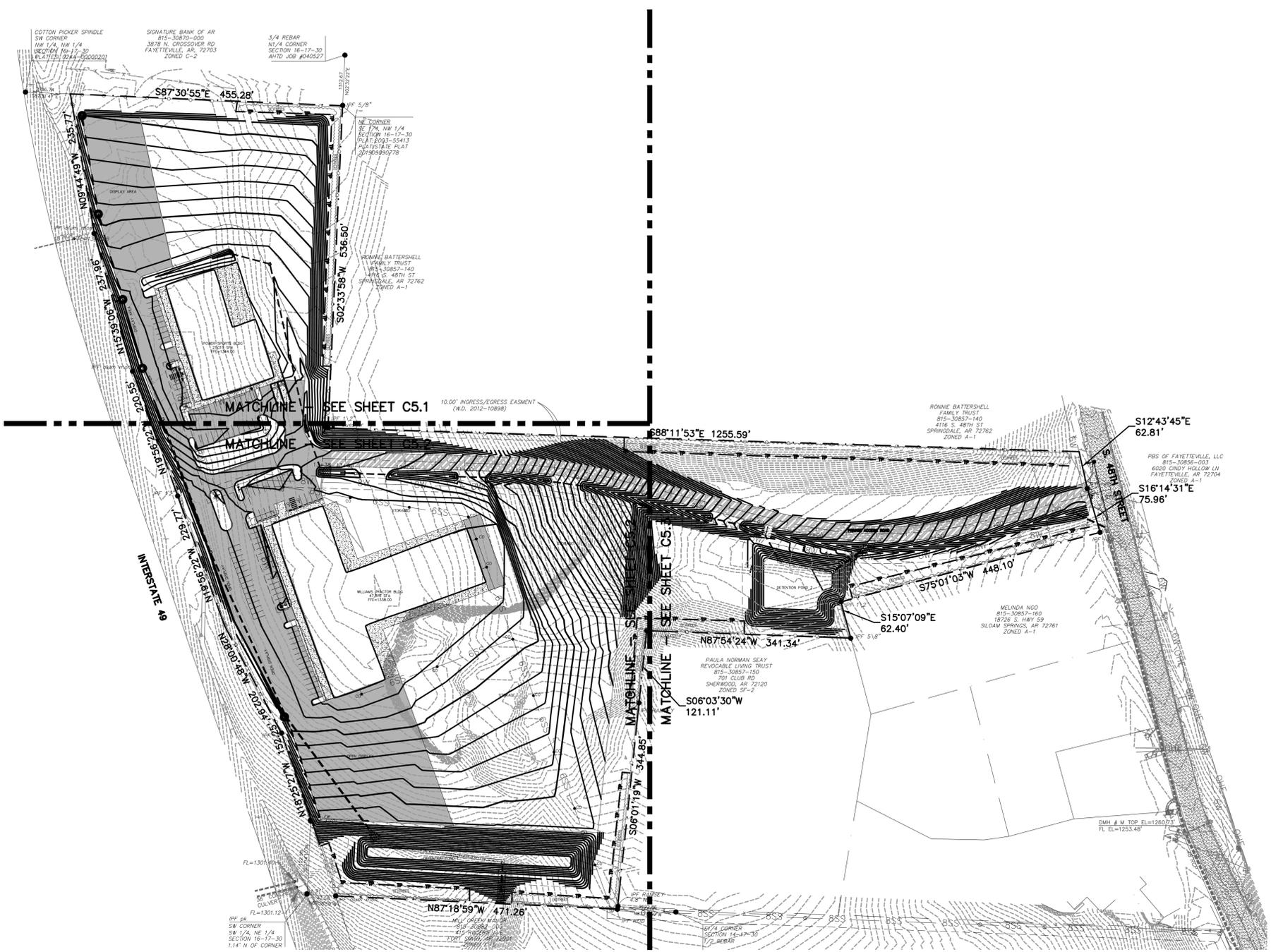


DRAWN BY: JEI
CHECKED BY: JEI
DATE 2/27/2020
JOB NUMBER 19-1045
SHEET NAME SITE PLAN 2
File No. 19-1045.dwg
C4.2

NOT FOR CONSTRUCTION

MATCHLINE - SEE SHEET C4.3

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SCALE 1" = 100'

LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	— OHE — OHE
EXISTING BARBED WIRE FENCE	- X - X -
EXISTING CONTOUR	- - - - -
EXISTING GAS METER	○
EXISTING ELECTRIC TRANSFORMER	□
PROPOSED EASEMENT	- - - - -
PROPOSED CENTERLINE OF ROAD	— 1336 —
PROPOSED CONTOUR	- - - - -
PROPOSED CURB	— 1336 —
PROPOSED TOP OF GUTTER/GRAVEL	1343.15TG
PROPOSED TOP OF ASPHALT	1336.05TA
PROPOSED TOP OF CONCRETE	1337.70TC
PROPOSED TOP OF GUTTER/CONCRETE	1337.70TG/TC
PROPOSED TOP OF ASPHALT/CONCRETE	1337.70TA/TC
PROPOSED ASPHALT	— — — — —
PROPOSED CONCRETE	— — — — —
PROPOSED STREET LIGHT	★
PROPOSED GRAVEL	— — — — —
PROPOSED STORM DRAIN	— — — — —
PROPOSED 8" WATERMAIN	— BW — BW
PROPOSED FIRE HYDRANT	— — — — —
PROPOSED WATER VALVE	— — — — —
PROPOSED WATER METER	— — — — —
PROPOSED 6" SEWER MAIN	— 6SS — 6SS
PROPOSED SEWER CLEANOUT	— CO —

NOT FOR CONSTRUCTION



Date	Comments
3/19/2020	PER CITY COMMENTS
4/23/2020	PER CITY COMMENTS

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR, STE. B
 BELLA VISTA, AR 72714
 EMAIL: jason@eecs.com

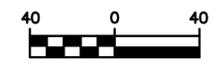


DRAWN BY:	JEI
CHECKED BY:	JEI
DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	OVERALL GRADING PLAN
File No.	19-1045.dwg
	C5.0



CITY PROJECT #L20-11

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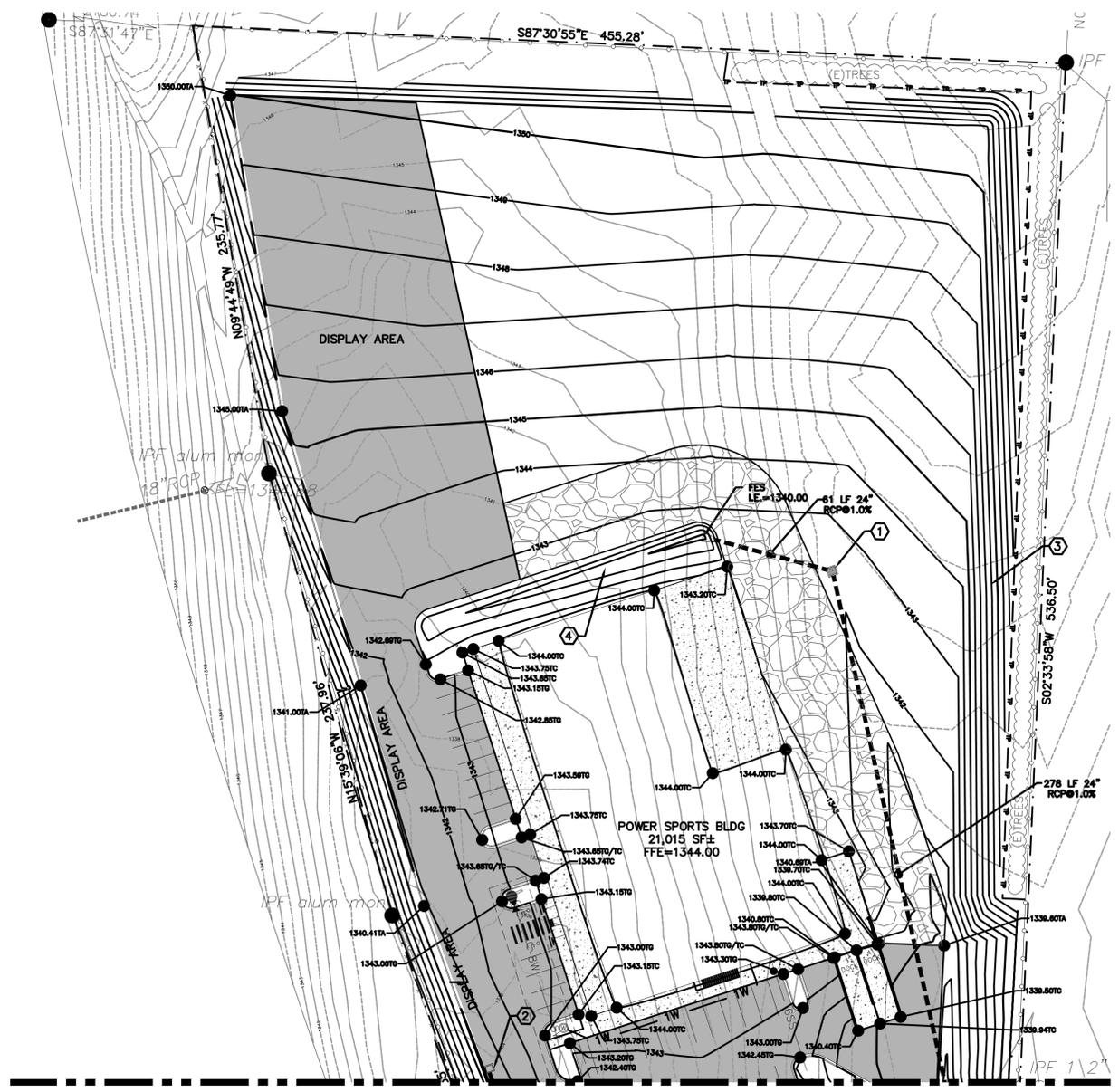
SCALE 1" = 40'

LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	--- OHE ---
EXISTING BARBED WIRE FENCE	-X-X-
EXISTING CONTOUR	--- 1336 ---
EXISTING GAS METER	○
EXISTING ELECTRIC TRANSFORMER	□
PROPOSED EASEMENT	----
PROPOSED CENTERLINE OF ROAD	-----
PROPOSED CONTOUR	----- 1336 -----
PROPOSED CURB	=====
PROPOSED TOP OF GUTTER/GRAVEL	1343.15TG
PROPOSED TOP OF ASPHALT	1336.05TA
PROPOSED TOP OF CONCRETE	1337.70TC
PROPOSED TOP OF GUTTER/CONCRETE	1337.70TG/TC
PROPOSED TOP OF ASPHALT/CONCRETE	1337.70TA/TC
PROPOSED ASPHALT	=====
PROPOSED CONCRETE	=====
PROPOSED STREET LIGHT	★
PROPOSED GRAVEL	=====
PROPOSED STORM DRAIN	-----
PROPOSED 8" WATERMAIN	--- 8W --- 8W ---
PROPOSED FIRE HYDRANT	⊕
PROPOSED WATER VALVE	⊕
PROPOSED WATER METER	⊕
PROPOSED 6" SEWER MAIN	--- 6SS --- 6SS ---
PROPOSED SEWER CLEANOUT	● CO

KEYNOTES:

- ① GRATED INLET BOX. SEE DETAIL 16/C10.0.
RIM: 1342.50
I.E.: 1339.40
- ② GRATED INLET BOX. SEE DETAIL 16/C10.0.
RIM: 1339.75
I.E.: 1335.05
- ③ MAXIMUM 3:1 GRADING
- ④ DRAINAGE DITCH. SEE DETAIL 17/C10.0.



MATCHLINE - SEE SHEET C5.2

GRADING NOTES:

- A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL. SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENISTY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- C. OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.

- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
- I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.



CITY PROJECT #L20-11

NOT FOR CONSTRUCTION



Rev	Comments	Date
1	PER CITY COMMENTS	3/19/2020
2	PER CITY COMMENTS	4/23/2020

**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
48TH STREET
SPRINGDALE, AR

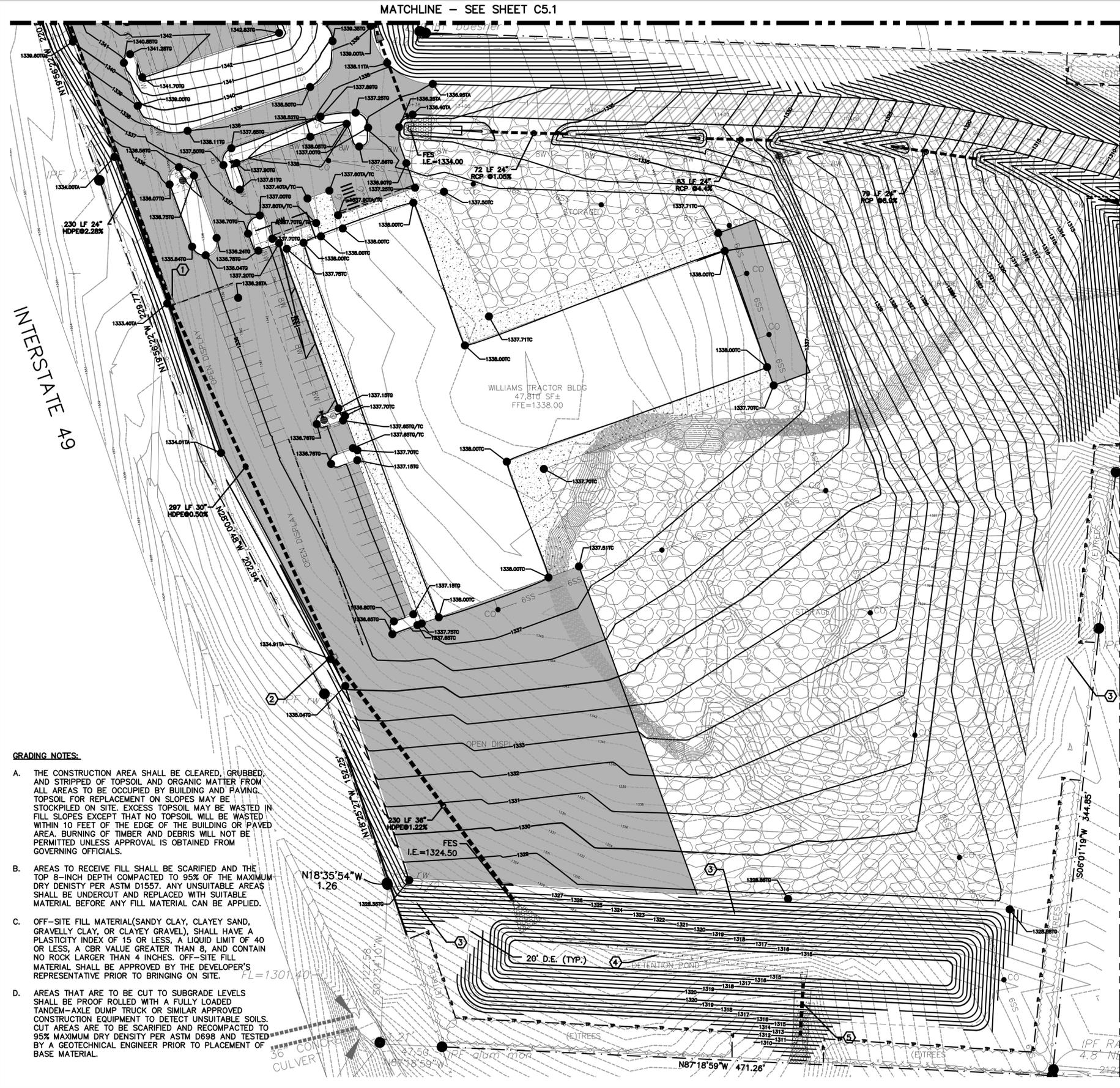
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-ar.com



DRAWN BY: JEI
CHECKED BY: JEI
DATE 2/27/2020
JOB NUMBER 19-1045
SHEET NAME GRADING PLAN 1
File No. 19-1045.dwg
C5.1

C:\ECE Business\Projects\2019-10-05 Williams Tractor\Drawings\19-1045.dwg



MATCHLINE - SEE SHEET C5.1

MATCHLINE - SEE SHEET C5.3



SCALE 1" = 40'

LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	— OHE — OHE —
EXISTING BARBED WIRE FENCE	- - - X - - -
EXISTING CONTOUR	--- 1336 ---
EXISTING GAS METER	□
EXISTING ELECTRIC TRANSFORMER	□
PROPOSED EASEMENT	---
PROPOSED CENTERLINE OF ROAD	---
PROPOSED CONTOUR	---
PROPOSED CURB	---
PROPOSED TOP OF GUTTER/GRAVEL	1343.15TG
PROPOSED TOP OF ASPHALT	1336.05TA
PROPOSED TOP OF CONCRETE	1337.70TC
PROPOSED TOP OF GUTTER/CONCRETE	1337.70TG/TC
PROPOSED TOP OF ASPHALT/CONCRETE	1337.70TA/TC
PROPOSED ASPHALT	▨
PROPOSED CONCRETE	▨
PROPOSED STREET LIGHT	★
PROPOSED GRAVEL	▨
PROPOSED STORM DRAIN	---
PROPOSED 8" WATERMAIN	— 8W — 8W —
PROPOSED FIRE HYDRANT	★
PROPOSED WATER VALVE	•
PROPOSED WATER METER	•
PROPOSED 6" SEWER MAIN	— 6SS — 6SS —
PROPOSED SEWER CLEANOUT	○

KEYNOTES:

- ① GRATED INLET BOX. SEE DETAIL 16/C10.0.
RIM: 1333.40
I.E. IN(24"): 1329.80
I.E. OUT(30"): 1329.30
- ② GRATED INLET BOX. SEE DETAIL 16/C10.0.
RIM: 1334.90
I.E. IN(30"): 1327.80
I.E. OUT(36"): 1327.30
- ③ MAXIMUM 3:1 GRADING
- ④ 4' CONCRETE TRICKLE CHANNEL. SEE DETAIL 10/C10.0.
- ⑤ DETENTION OUTLET 1. SEE DETAIL 11/C10.0.

GRADING NOTES (CONT'D):

- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
- I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.



CITY PROJECT #L20-11



Date	3/19/2020
Comments	PER CITY COMMENTS
Rev	1
Comments	PER CITY COMMENTS
Rev	2

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR

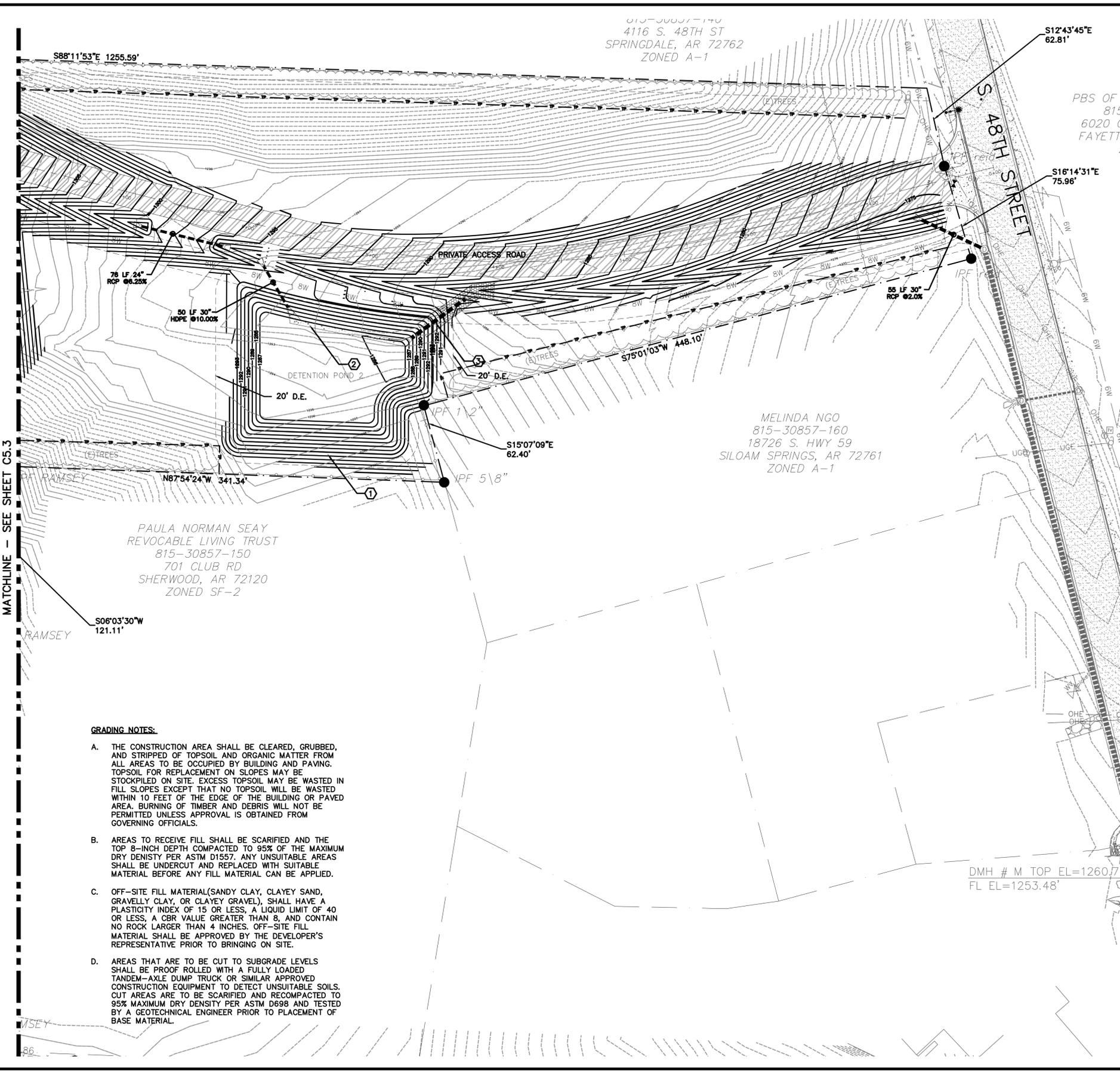
WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR, STE. B
 BELLA VISTA, AR 72714
 EMAIL: jason@ece-ar.com



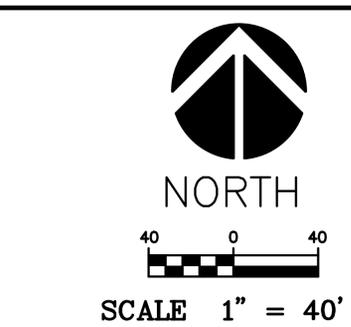
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DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	GRADING PLAN 2
File No.	19-1045.dwg
	C5.2

NOT FOR CONSTRUCTION



MATCHLINE - SEE SHEET C5.3

36



LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	— OHE — OHE
EXISTING BARBED WIRE FENCE	X X
EXISTING CONTOUR	--- 1336 ---
EXISTING GAS METER	□
EXISTING ELECTRIC TRANSFORMER	□
PROPOSED EASEMENT	---
PROPOSED CENTERLINE OF ROAD	---
PROPOSED CONTOUR	--- 1336 ---
PROPOSED CURB	---
PROPOSED TOP OF GUTTER/GRAVEL	1343.15TG
PROPOSED TOP OF ASPHALT	1336.05TA
PROPOSED TOP OF CONCRETE	1337.70TC
PROPOSED TOP OF GUTTER/CONCRETE	1337.70TG/TC
PROPOSED TOP OF ASPHALT/CONCRETE	1337.70TA/TC
PROPOSED ASPHALT	▬
PROPOSED CONCRETE	▬
PROPOSED STREET LIGHT	⊙
PROPOSED GRAVEL	▬
PROPOSED STORM DRAIN	▬
PROPOSED 8" WATERMAIN	8W 8W
PROPOSED FIRE HYDRANT	⊙
PROPOSED WATER VALVE	⊙
PROPOSED WATER METER	⊙
PROPOSED 6" SEWER MAIN	6SS 6SS
PROPOSED SEWER CLEANOUT	⊙

- KEYNOTES:**
- ① MAXIMUM 3:1 GRADING
 - ② 4' CONCRETE TRICKLE CHANNEL. SEE DETAIL 10/C10.0.
 - ③ DETENTION OUTLET 2. SEE DETAIL 12/C10.0.

- GRADING NOTES (CONT'D):**
- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
 - F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
 - H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
 - I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

- GRADING NOTES:**
- A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
 - B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 - C. OFF-SITE FILL MATERIAL(SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
 - D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.



Date	Comments
3/19/2020	PER CITY COMMENTS
4/23/2020	PER CITY COMMENTS

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
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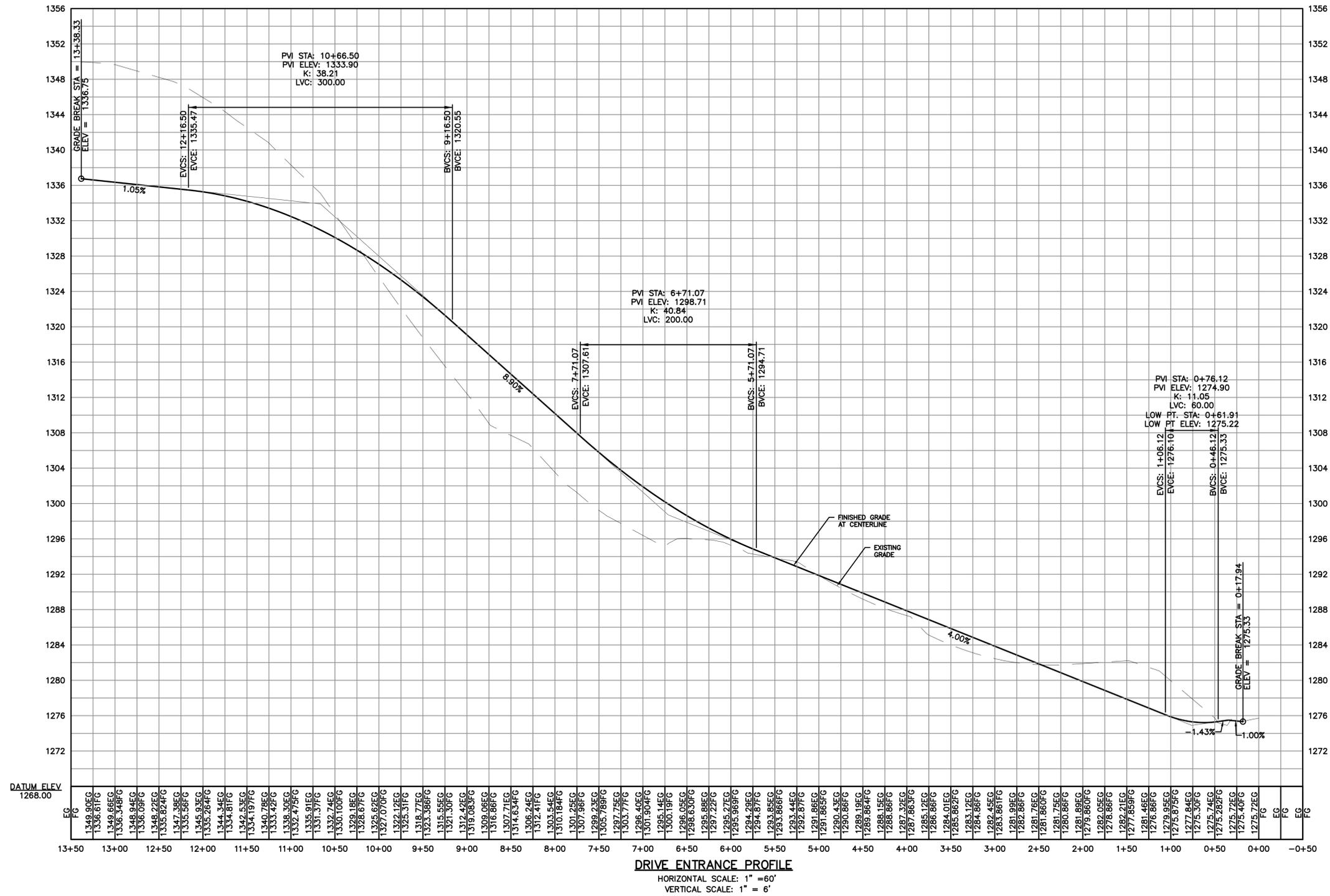
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DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	GRADING PLAN 3
File No.	19-1045.dwg
	C5.3



CITY PROJECT #L20-11

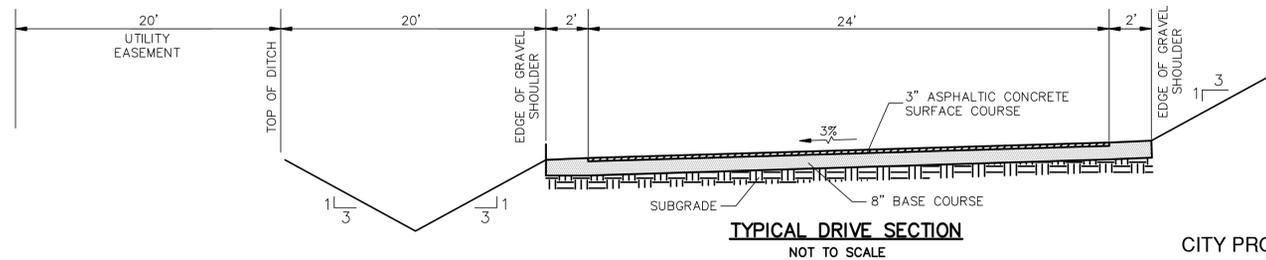
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NOTES (ASPHALT STREET SECTION):

- 336 lb/sy (3") ASPHALTIC CONCRETE HOT MIX SURFACE COURSE. MATERIALS SHALL BE IN ACCORDANCE WITH ARKANSAS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, SECTION 407 TYPE '2', LATEST EDITION.
- 8" LAYER OF DENSE GRADED LIMESTONE BASE COURSE. MATERIALS SHALL BE IN ACCORDANCE WITH ARKANSAS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, SECTION 303 CLASS '7', COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- TOP 6" OF SUBGRADE SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY. BELOW 6" SHALL BE COMPACTED TO 90% STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99 COMPACTION TEST. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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1	PER CITY COMMENTS	3/19/2020
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C6.0



CITY PROJECT

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NORTH



SCALE 1" = 100'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING BARBED WIRE FENCE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING 6" WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING 8" SEWER MAIN
- EXISTING SEWER MANHOLE
- PROPOSED EASEMENT
- PROPOSED CENTERLINE OF ROAD
- PROPOSED CURB
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED STREET LIGHT
- PROPOSED GRAVEL
- PROPOSED STORM DRAIN
- PROPOSED 8" WATERMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED 6" SEWER MAIN
- PROPOSED SEWER CLEANOUT



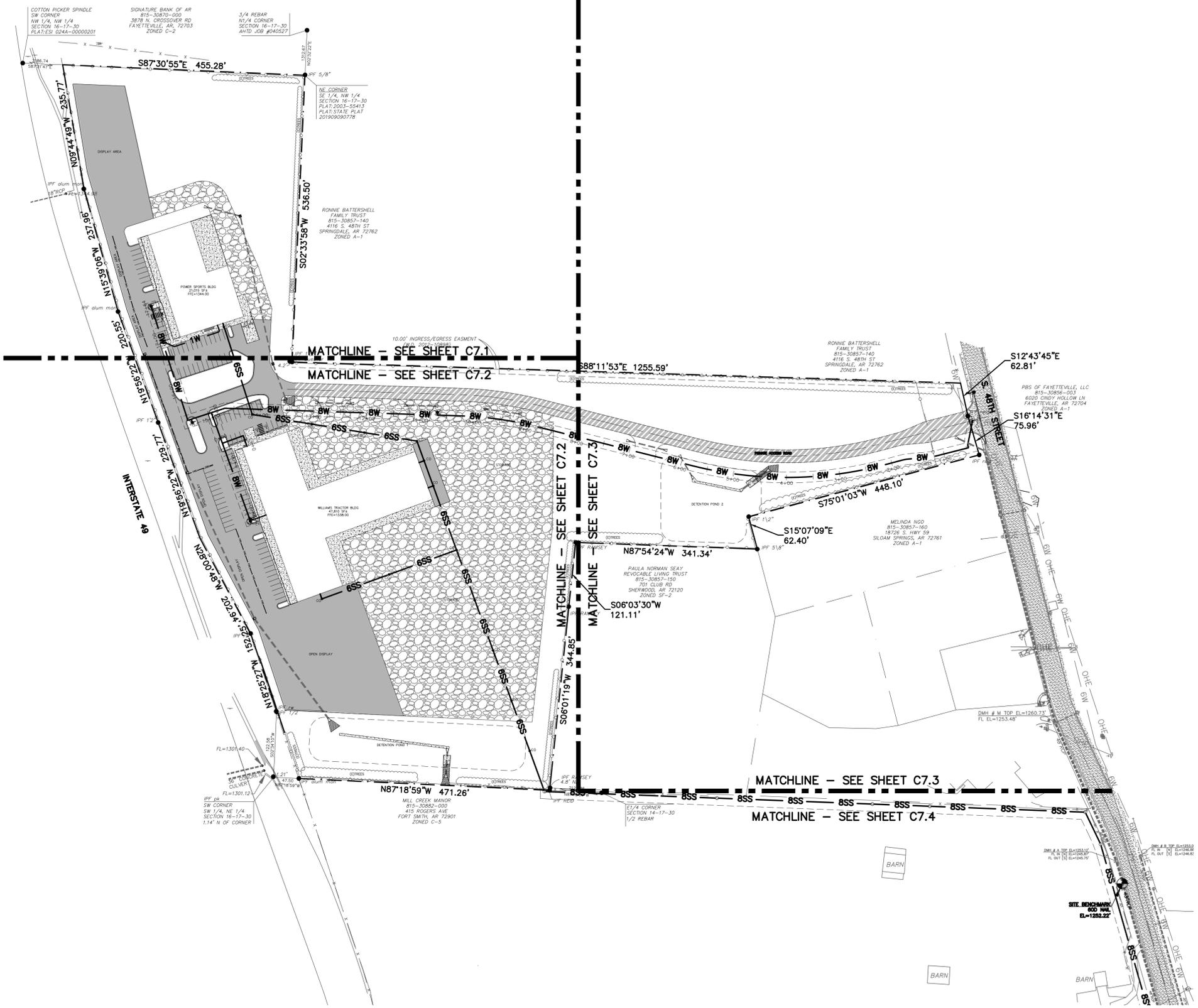
Date	Comments
3/19/2020	PER CITY COMMENTS
4/23/2020	PER CITY COMMENTS

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DATE 2/27/2020
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SHEET NAME OVERALL UTILITY PLAN
File No. 19-1045.dwg
C7.0



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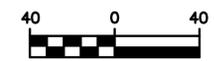
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NORTH



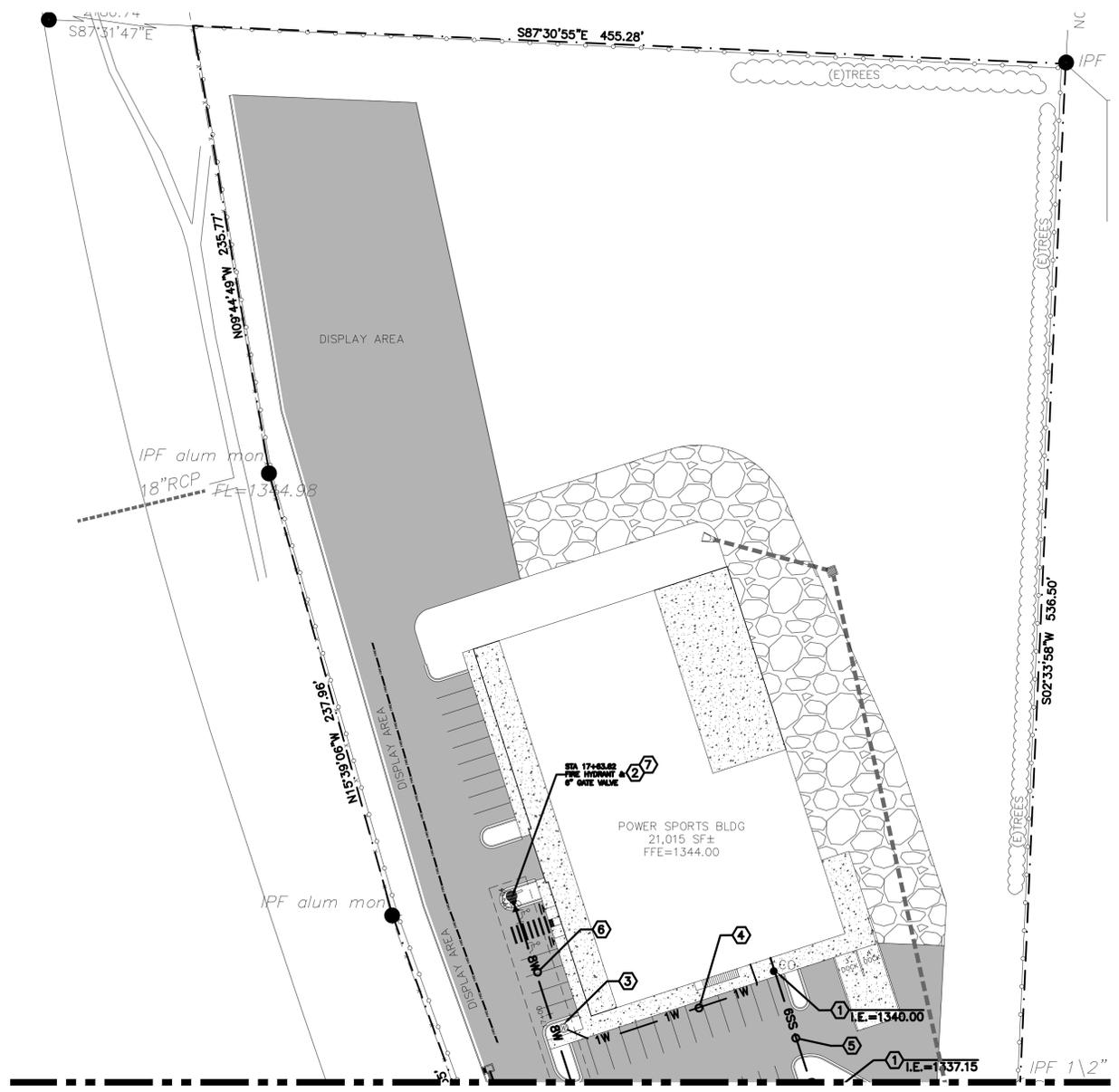
SCALE 1" = 40'

LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	— OHE — OHE
EXISTING BARBED WIRE FENCE	— X — X
EXISTING GAS METER	⊙
EXISTING ELECTRIC TRANSFORMER	⊠
EXISTING 6" WATER MAIN	— 6W — 6W
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊕
EXISTING 8" SEWER MAIN	— 8SS — 8SS
EXISTING SEWER MANHOLE	⊙
PROPOSED EASEMENT	---
PROPOSED CENTERLINE OF ROAD	---
PROPOSED CURB	---
PROPOSED ASPHALT	---
PROPOSED CONCRETE	---
PROPOSED STREET LIGHT	★
PROPOSED GRAVEL	---
PROPOSED STORM DRAIN	---
PROPOSED 8" WATERMAIN	— 8W — 8W
PROPOSED FIRE HYDRANT	⊕
PROPOSED WATER VALVE	⊕
PROPOSED WATER METER	⊕
PROPOSED 6" SEWER MAIN	— 6SS — 6SS
PROPOSED SEWER CLEANOUT	⊙
PROPOSED FIRE DEPARTMENT CONNECTION	⊙

- UTILITY NOTES:**
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND SPRINGDALE WATER UTILITIES (SWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
 - DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
 - ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED SWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY SWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
 - ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52. SANITARY SEWER MAINS SHALL BE PVC, SDR-26 AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
 - ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% STANDARD PROCTOR DENSITY.
 - ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO SWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
 - EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
 - WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.

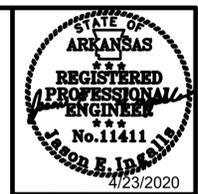
NOTE:
ALL MATERIALS AND METHODS USED TO CONSTRUCT PUBLIC WATER AND SEWER MAINS SHALL CONFORM TO SWU STANDARD DETAILS AND STANDARD SPECIFICATIONS



MATCHLINE - SEE SHEET C7.2

- KEYNOTES:**
- SANITARY SEWER CLEANOUT PER DETAIL 19/C10.0
 - FIRE HYDRANT ASSEMBLY AND 6" GATE VALVE PER DETAILS SWU STD
 - 1" WATER METER, SETTER, BOX, UID, ETC. PER DETAIL SWU STD
 - 1" PEX WATER SERVICE TUBING FROM METER TO BUILDING POINT OF CONNECTION. EMBED PIPE PER DETAIL 20/C10.0
 - 6" PVC SDR-26 SANITARY SEWER PIPING. EMBED PIPE PER DETAIL 20/C10.0
 - 6" DUCTILE IRON CLASS 52 WATER MAIN. EMBED PIPE PER DETAIL SWU STD
 - CONCRETE THRUST BLOCKING PER DETAIL SWU STD

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Rev	Comments	Date
1	PER CITY COMMENTS	3/19/2020
2	PER CITY COMMENTS	4/23/2020

WILLIAMS TRACTOR & FREEDOM
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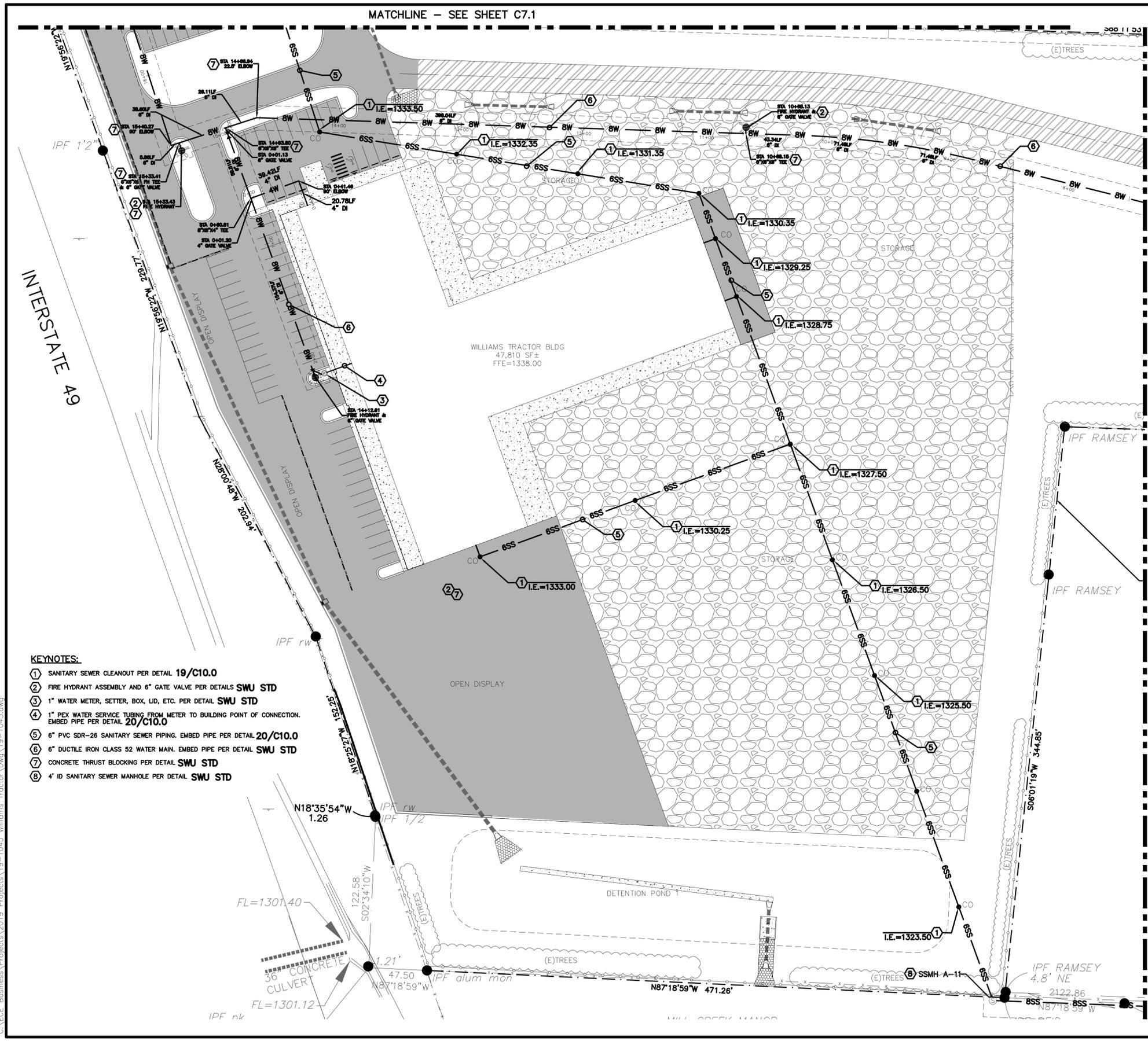


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DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	GRADING PLAN 1
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	C7.1

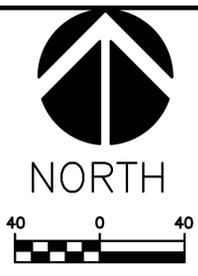


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- KEYNOTES:**
- ① SANITARY SEWER CLEANOUT PER DETAIL 19/C10.0
 - ② FIRE HYDRANT ASSEMBLY AND 6" GATE VALVE PER DETAILS SWU STD
 - ③ 1" WATER METER, SETTER, BOX, LID, ETC. PER DETAIL SWU STD
 - ④ 1" PEX WATER SERVICE TUBING FROM METER TO BUILDING POINT OF CONNECTION. EMBED PIPE PER DETAIL 20/C10.0
 - ⑤ 6" PVC SDR-26 SANITARY SEWER PIPING. EMBED PIPE PER DETAIL 20/C10.0
 - ⑥ 6" DUCTILE IRON CLASS 52 WATER MAIN. EMBED PIPE PER DETAIL SWU STD
 - ⑦ CONCRETE THRUST BLOCKING PER DETAIL SWU STD
 - ⑧ 4" ID SANITARY SEWER MANHOLE PER DETAIL SWU STD



- LEGEND**
- FOUND IRON PIN
 - PROPERTY LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING BARBED WIRE FENCE
 - EXISTING GAS METER
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING 6" WATER MAIN
 - EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING 8" SEWER MAIN
 - EXISTING SEWER MANHOLE
 - PROPOSED EASEMENT
 - PROPOSED CENTERLINE OF ROAD
 - PROPOSED CURB
 - PROPOSED ASPHALT
 - PROPOSED CONCRETE
 - PROPOSED STREET LIGHT
 - PROPOSED GRAVEL
 - PROPOSED STORM DRAIN
 - PROPOSED 8" WATERMAIN
 - PROPOSED FIRE HYDRANT
 - PROPOSED WATER VALVE
 - PROPOSED WATER METER
 - PROPOSED 6" SEWER MAIN
 - PROPOSED SEWER CLEANOUT
 - PROPOSED FIRE DEPARTMENT CONNECTION

- UTILITY NOTES:**
- A. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND SPRINGDALE WATER UTILITIES (SWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
 - B. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
 - C. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED SWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY SWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
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 - E. ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - F. ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO SWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
 - G. EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
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NOTE:
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CITY PROJECT #L20-11



Date	Comments
3/19/2020	PER CITY COMMENTS
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WILLIAMS TRACTOR & FREEDOM POWER SPORTS
48TH STREET
SPRINGDALE, AR

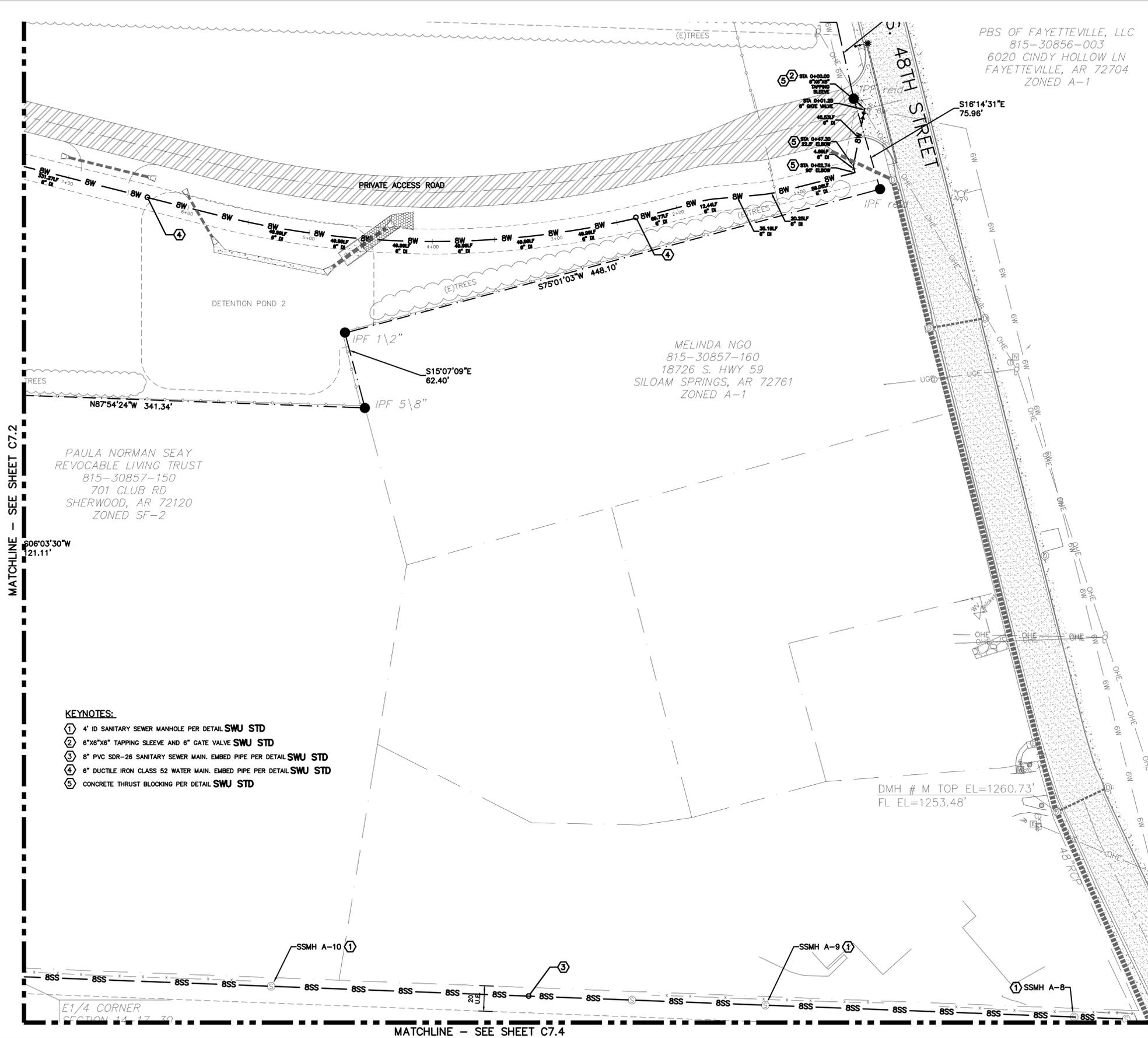
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DATE	2/27/2020
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SHEET NAME	UTILITY PLAN 2
File No.	19-1045.dwg
	C7.2

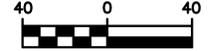
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MATCHLINE - SEE SHEET C7.2

MATCHLINE - SEE SHEET C7.4

- KEYNOTES:**
- ① 4" ID SANITARY SEWER MANHOLE PER DETAIL SWJ STD
 - ② 6"x6"x6" TAPPING SLEEVE AND 6" GATE VALVE SWJ STD
 - ③ 8" PVC SDR-26 SANITARY SEWER MAIN. EMBED PIPE PER DETAIL SWJ STD
 - ④ 6" DUCTILE IRON CLASS 52 WATER MAIN. EMBED PIPE PER DETAIL SWJ STD
 - ⑤ CONCRETE THRUST BLOCKING PER DETAIL SWJ STD


 NORTH

 SCALE 1" = 40'
LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	— OHE — OHE
EXISTING BARBED WIRE FENCE	— X — X
EXISTING GAS METER	— 1336 —
EXISTING ELECTRIC TRANSFORMER	□
EXISTING 6" WATER MAIN	— 6W — 6W
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊕
EXISTING 8" SEWER MAIN	— 8SS — 8SS
EXISTING SEWER MANHOLE	⊙
PROPOSED EASEMENT	---
PROPOSED CENTERLINE OF ROAD	---
PROPOSED CURB	---
PROPOSED ASPHALT	---
PROPOSED CONCRETE	---
PROPOSED STREET LIGHT	☆
PROPOSED GRAVEL	---
PROPOSED STORM DRAIN	---
PROPOSED 8" WATERMAIN	— 8W — 8W
PROPOSED FIRE HYDRANT	⊕
PROPOSED WATER VALVE	⊕
PROPOSED WATER METER	⊕
PROPOSED 6" SEWER MAIN	— 6SS — 6SS
PROPOSED SEWER CLEANOUT	⊙

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 - C. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY SWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY SWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
 - D. ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52. SANITARY SEWER MAINS SHALL BE PVC, SDR-26 AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
 - E. ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 - F. ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO SWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
 - G. EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
 - H. WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAD IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.

NOTE:
ALL MATERIALS AND METHODS USED TO CONSTRUCT PUBLIC WATER AND SEWER MAINS SHALL CONFORM TO RWJ STANDARD DETAILS AND STANDARD SPECIFICATIONS



CITY PROJECT #L20-11



Date	Comments
3/19/2020 <td>PER CITY COMMENTS</td>	PER CITY COMMENTS
4/23/2020 <td>PER CITY COMMENTS</td>	PER CITY COMMENTS

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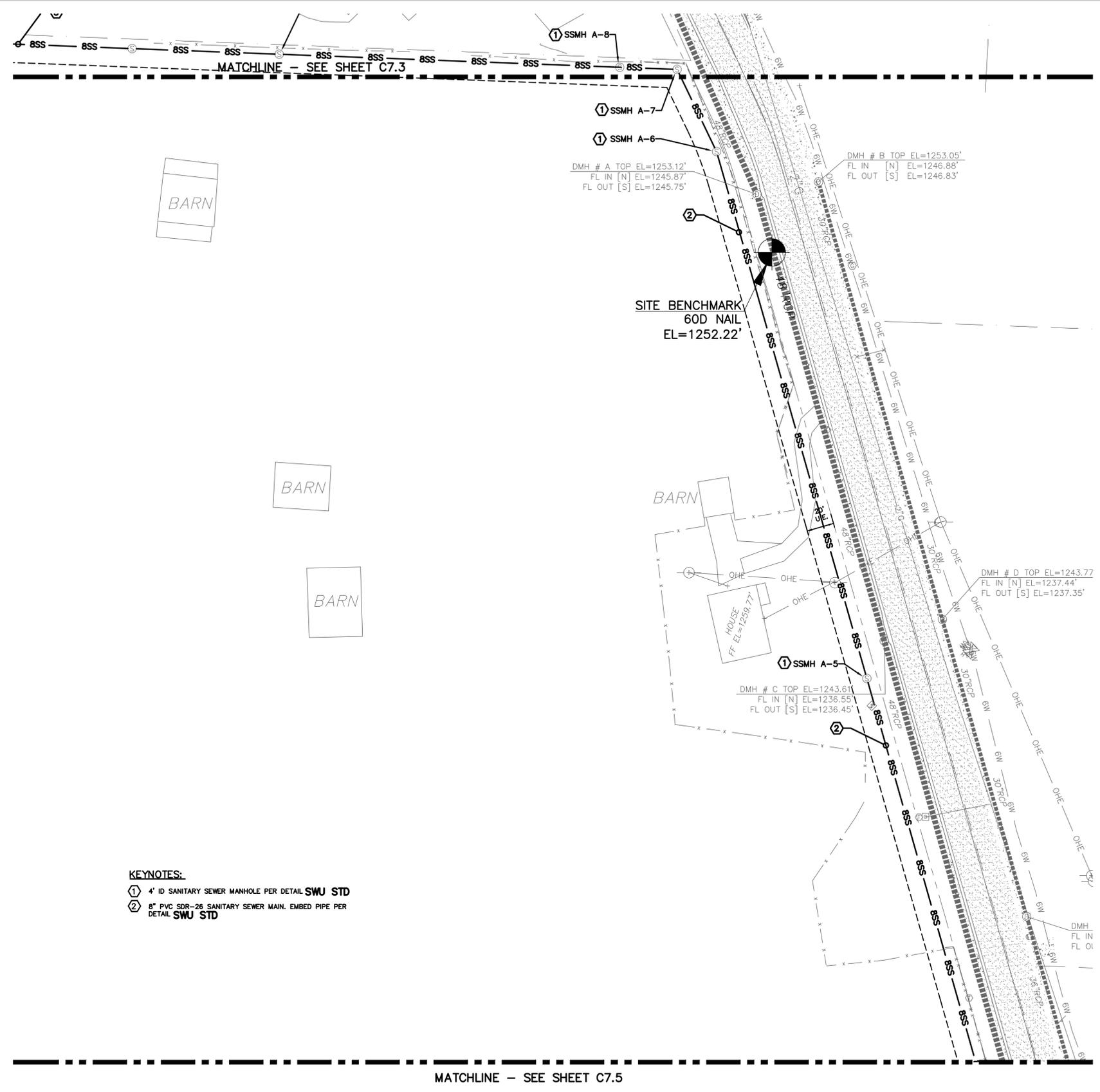
**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
 SPRINGDALE, AR
 48TH STREET
 WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR, STE. B
 BELLA VISTA, AR 72714
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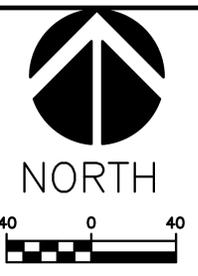


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CHECKED BY:	JEI
DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	UTILITY PLAN 3
File No.	19-1045.dwg
	C7.3

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- KEYNOTES:**
- ① 4' ID SANITARY SEWER MANHOLE PER DETAIL SWU STD
 - ② 8" PVC SDR-26 SANITARY SEWER MAIN. EMBED PIPE PER DETAIL SWU STD



SCALE 1" = 40'

LEGEND

FOUND IRON PIN	●
PROPERTY LINE	---
EXISTING OVERHEAD ELECTRIC	OHE OHE
EXISTING BARBED WIRE FENCE	X X
EXISTING GAS METER	1336
EXISTING ELECTRIC TRANSFORMER	□
EXISTING 6" WATER MAIN	6W 6W
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊕
EXISTING 8" SEWER MAIN	8SS 8SS
EXISTING SEWER MANHOLE	⊙
PROPOSED EASEMENT	---
PROPOSED CENTERLINE OF ROAD	---
PROPOSED CURB	---
PROPOSED ASPHALT	---
PROPOSED CONCRETE	---
PROPOSED STREET LIGHT	☆
PROPOSED GRAVEL	---
PROPOSED STORM DRAIN	---
PROPOSED 6" WATERMAIN	6W 6W
PROPOSED FIRE HYDRANT	⊕
PROPOSED WATER VALVE	⊕
PROPOSED WATER METER	⊕
PROPOSED 6" SEWER MAIN	6SS 6SS
PROPOSED 8" SEWER MAIN	8SS 8SS
PROPOSED SEWER MANHOLE	⊙
PROPOSED SEWER CLEANOUT	CO

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CITY PROJECT #L20-11



Rev	Comments	Date
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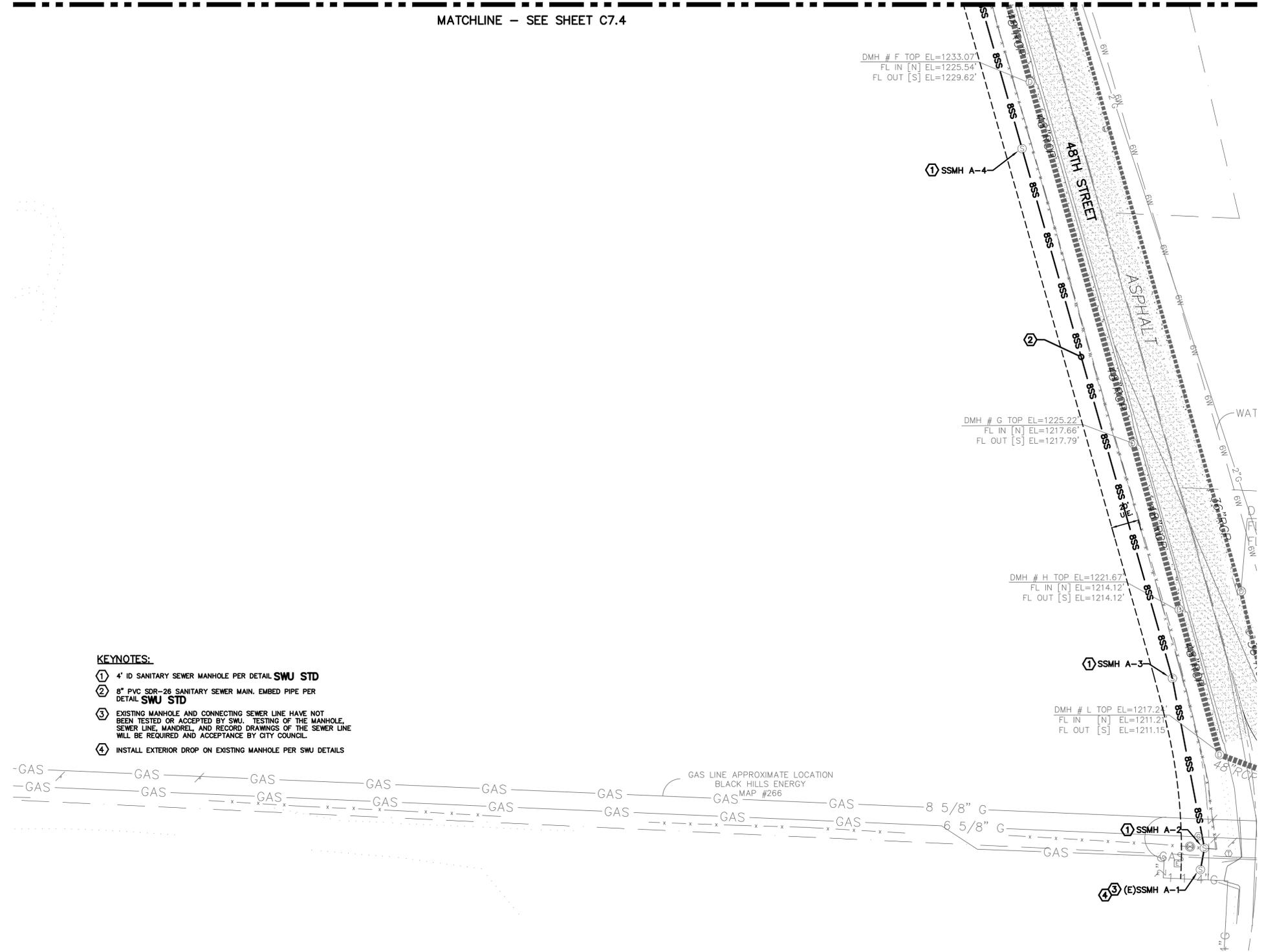
WILLIAMS TRACTOR & FREEDOM POWER SPORTS
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SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
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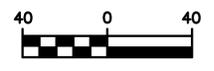
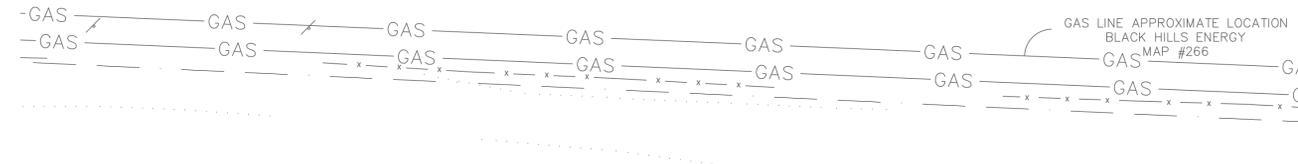


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DATE	2/27/2020
JOB NUMBER	19-1045
SHEET NAME	UTILITY PLAN 4
File No.	19-1045.dwg
	C7.4

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- KEYNOTES:**
- 4" ID SANITARY SEWER MANHOLE PER DETAIL SWU STD
 - 8" PVC SDR-26 SANITARY SEWER MAIN, EMBED PIPE PER DETAIL SWU STD
 - EXISTING MANHOLE AND CONNECTING SEWER LINE HAVE NOT BEEN TESTED OR ACCEPTED BY SWU. TESTING OF THE MANHOLE, SEWER LINE, MANDREL, AND RECORD DRAWINGS OF THE SEWER LINE WILL BE REQUIRED AND ACCEPTANCE BY CITY COUNCIL.
 - INSTALL EXTERIOR DROP ON EXISTING MANHOLE PER SWU DETAILS



SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING BARBED WIRE FENCE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING 6" WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING 8" SEWER MAIN
- EXISTING SEWER MANHOLE
- PROPOSED EASEMENT
- PROPOSED CENTERLINE OF ROAD
- PROPOSED CURB
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED STREET LIGHT
- PROPOSED GRAVEL
- PROPOSED STORM DRAIN
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- PROPOSED SEWER MANHOLE
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Date	Comments
3/19/2020	PER CITY COMMENTS
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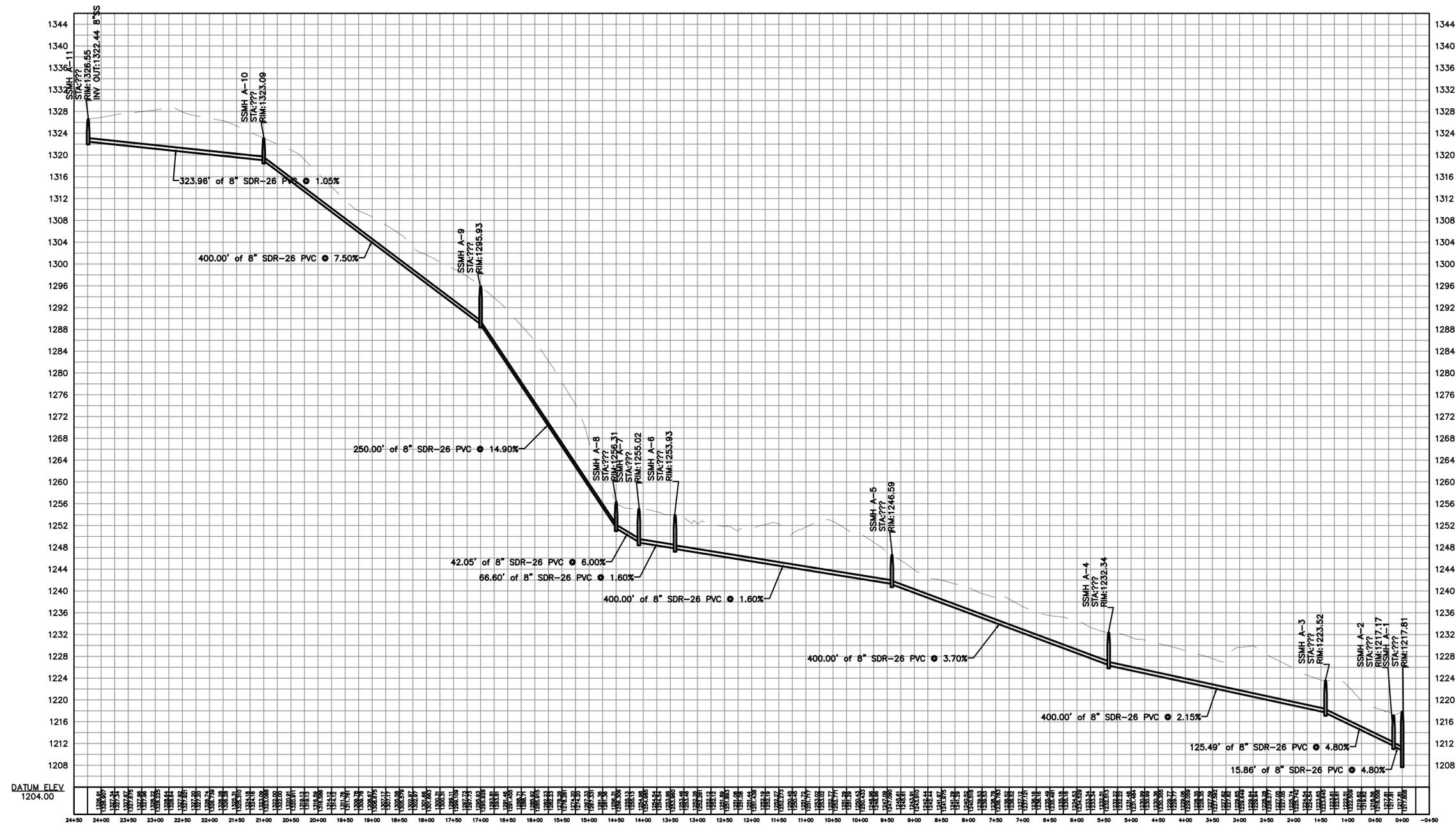
**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR. STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-llc.com



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SHEET NAME UTILITY PLAN 5
File No. 19-1045.dwg
C7.5

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SANITARY SEWER PROFILE
 HORIZONTAL SCALE: 1" = 100'
 VERTICAL SCALE: 1" = 10'

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 WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

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 EMAIL: jorg@ece-llc.com



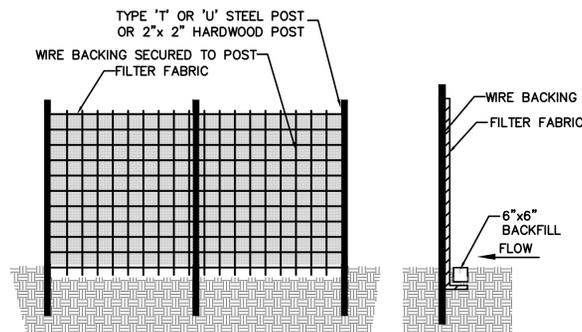
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DATE 2/27/2020
JOB NUMBER 19-1045
SHEET NAME OFF-SITE SANITARY SEWER PROFILE
File No. 19-1045.dwg
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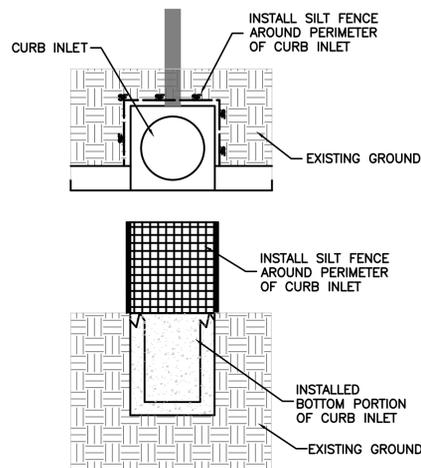
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NOTES:

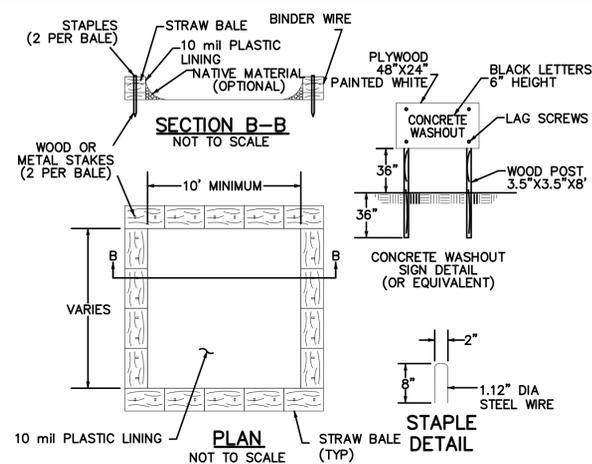
- ADJOINING FILTER CLOTH SECTIONS MUST OVERLAP A MINIMUM OF 6" AND FOLDED.
- STAKES ARE TO BE EMBEDDED A MINIMUM OF 12 INCHES.
- EXCAVATE SMALL TRENCH AT BASE OF SILT FENCE AND PLACE FABRIC ALONG BOTTOM OF TRENCH. COMPACT SOIL OVER FABRIC IN TRENCH AS SHOWN IN DETAIL.
- FABRIC FOR SILT FENCE MAY BE WOVEN OR NON-WOVEN MATERIAL AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- SEDIMENT AND DEBRIS ACCUMULATED BEHIND THE SILT FENCE SHALL BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE THIRD THE HEIGHT OF THE FENCE.
- IMMEDIATELY REPLACE CLOGGED OR DAMAGED FENCE.



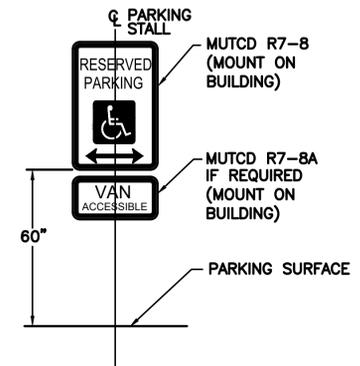
DETAIL 3 - SILT FENCING
NOT TO SCALE



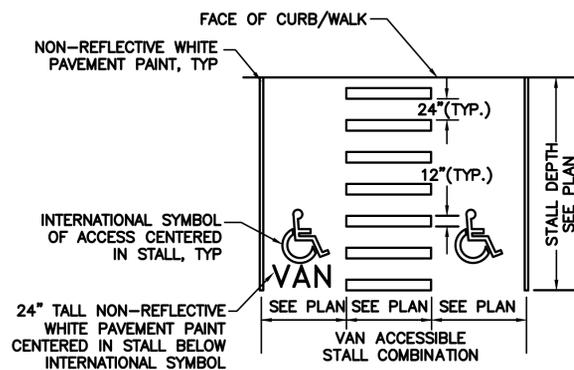
DETAIL 4 - CURB INLET EROSION CONTROL
NOT TO SCALE



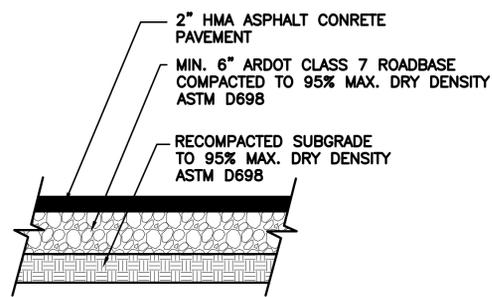
DETAIL 5 - CONCRETE WASHOUT
TYPE "ABOVE GRADE" WITH STRAW BALES
NOT TO SCALE



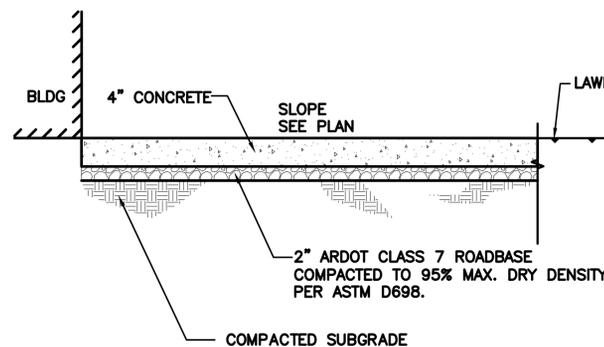
DETAIL 6 - ACCESSIBLE PARKING SIGN
NOT TO SCALE



DETAIL 7 - ACCESSIBLE PARKING STRIPING
NOT TO SCALE

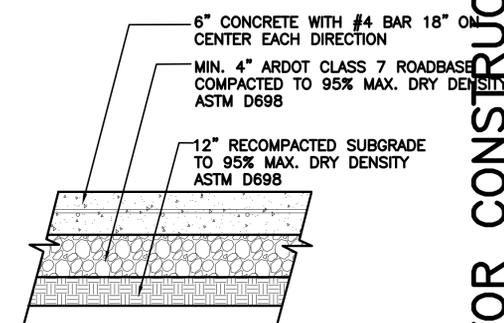


DETAIL 8 - STANDARD DUTY ASPHALT SECTION
NOT TO SCALE

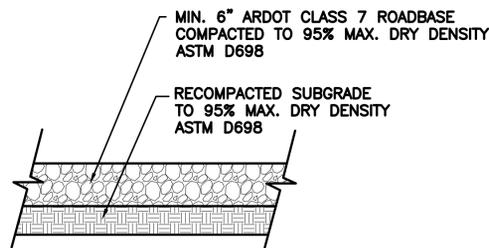


- NOTES:**
- INSTALL DUMMY JOINTS AT 5'-0" C/C AND 1/2"
 - EXPANSION JOINTS AT 30'-0" C/C AND AT TERMINATIONS AGAINST SIDEWALK INTERSECTIONS UNLESS NOTED OTHERWISE BY ARCHITECT. SEE SITE PLAN FOR FINISH REQUIREMENTS.

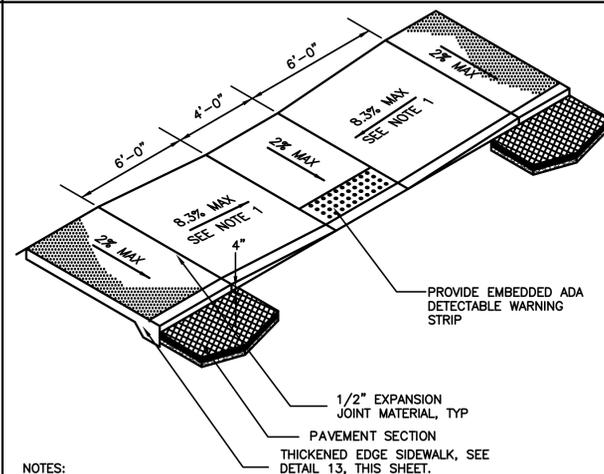
DETAIL 9 - 4" STANDARD CONCRETE SIDEWALK
NOT TO SCALE



DETAIL 10 - HEAVY CONCRETE SECTION
NOT TO SCALE

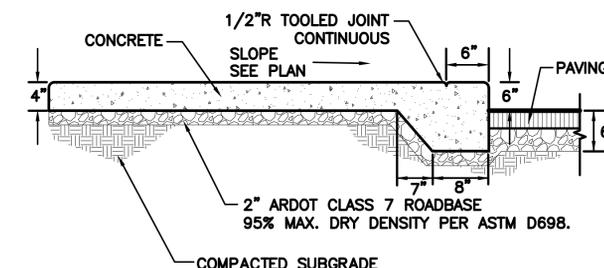


DETAIL 11 - STANDARD GRAVEL SECTION
NOT TO SCALE



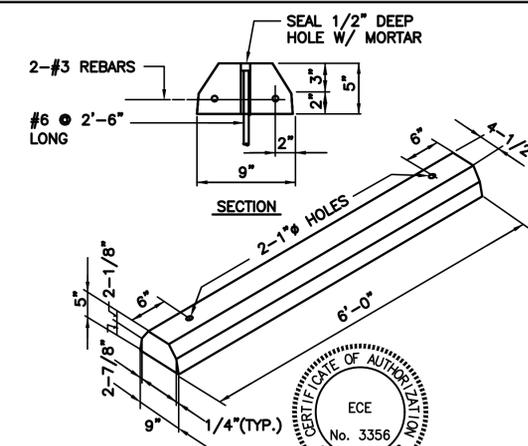
- NOTES:**
- THE CURB RAMP RUNNING SLOPE SHALL NOT REQUIRE THE RAMP LENGTH TO EXCEED 15 FEET. WHEN APPLYING THE 15 FEET MAXIMUM LENGTH THE RUNNING SLOPE OF THE CURB RAMP SHALL BE AS FLAT AS POSSIBLE.
 - CROSS SLOPE NOT TO EXCEED 2%.

DETAIL 12 - ACCESSIBLE RAMP
NOT TO SCALE



- NOTES:**
- INSTALL DUMMY JOINTS AT 5'-0" C/C AND 1/2"
 - EXPANSION JOINTS AT 30'-0" C/C AND AT TERMINATIONS AGAINST SIDEWALK INTERSECTIONS UNLESS NOTED OTHERWISE BY ARCHITECT. SEE SITE PLAN FOR FINISH REQUIREMENTS

DETAIL 13 - 4" THICKENED EDGE CONCRETE SIDEWALK
NOT TO SCALE



DETAIL 14 - PRECAST CONCRETE WHEEL STOP
NOT TO SCALE
CITY PROJECT #L20-11

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1	PER CITY COMMENTS	3/19/2020
2	PER CITY COMMENTS	4/23/2020

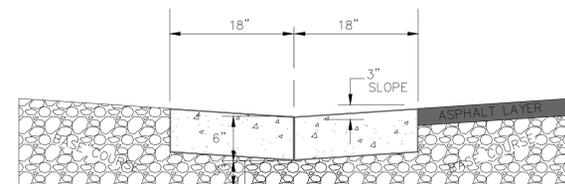
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EMAIL: jason@eic.com



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SHEET NAME:	DETAILS

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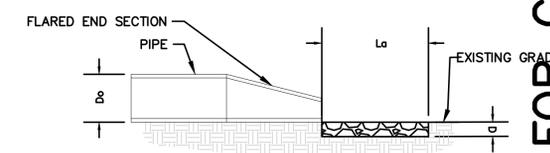
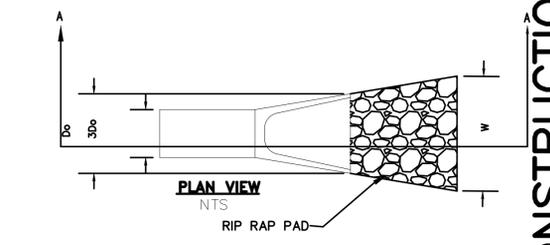
- NOTES:**
- USE CONCRETE MIX FOR VALLEY GUTTER WITH 28 DAY CRUSHING STRENGTH AT 3500 P.S.I. MAXIMUM ALLOWABLE SLUMP IS 4".
 - PROVIDE 1/2" THICK PREFORMED BITUMINOUS EXPANSION JOINT AT A MAXIMUM SPACING OF 200 FEET.
 - PROVIDE A SAWED OR FORMED CONTRACTION JOINT EVERY 15 FEET. THE SAWED JOINT SHOULD BE 1-1/2" DEEP AND 1/4" WIDE.

DETAIL 18 - 3' VALLEY GUTTER
NOT TO SCALE

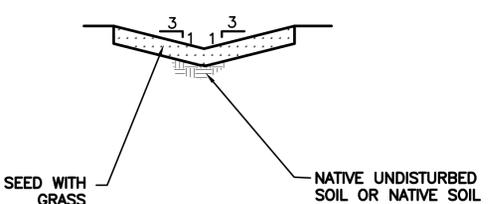
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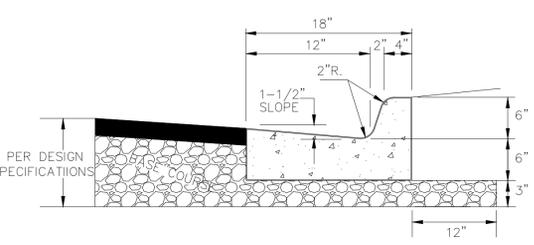
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DETAIL 9 - RIPRAP PAD
NOT TO SCALE

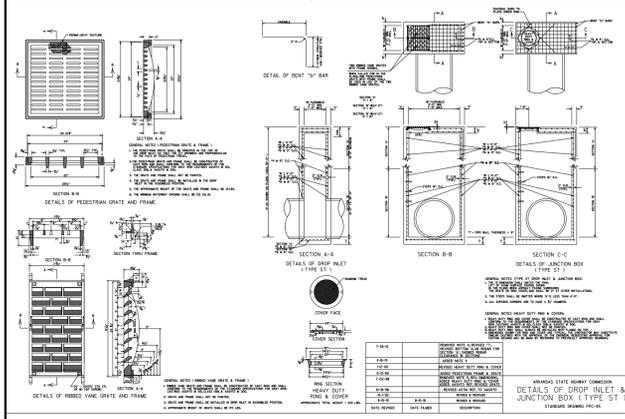


DETAIL 17 - DRAINAGE DITCH
NOT TO SCALE

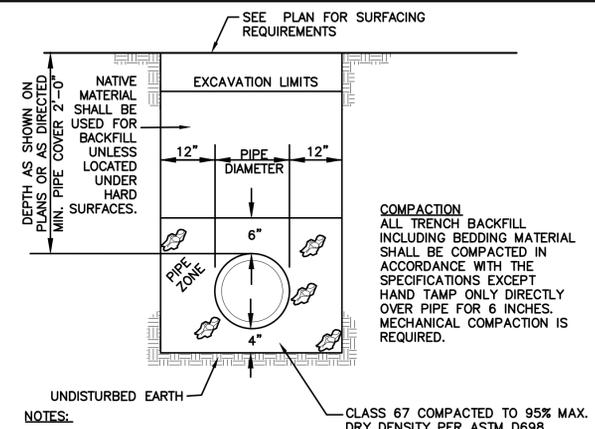


- NOTES:**
- USE CONCRETE MIX FOR CURB AND GUTTER WITH 28 DAY CRUSHING STRENGTH AT 3500 P.S.I. MAXIMUM ALLOWABLE SLUMP IS 4".
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DETAIL 21 - CURB AND GUTTER
NOT TO SCALE

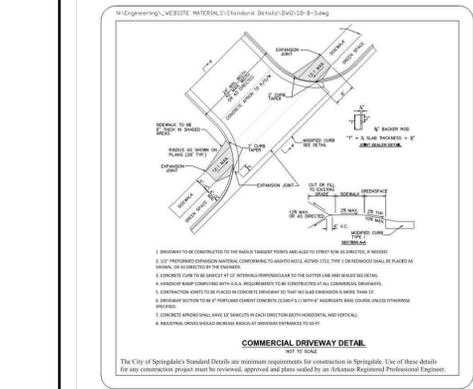


DETAIL 16 - GRATED INLET BOX
NOT TO SCALE

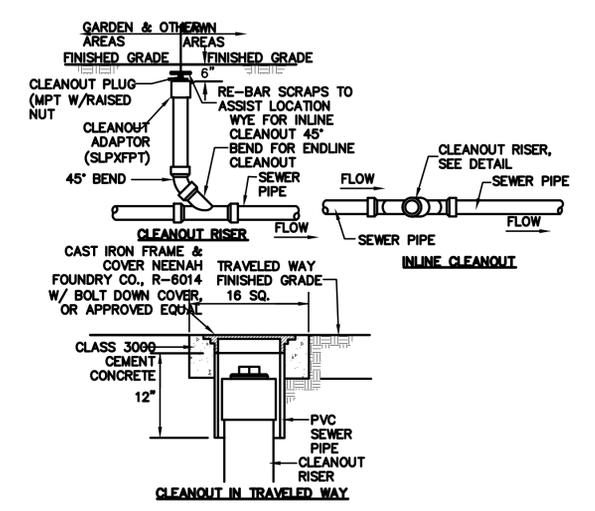


- NOTES:**
- FOR 4" AND 6" PIPES, INSTALL IMPORTED PIPE BEDDING A MIN. OF 3" THICK ON ALL SIDES OF PIPE.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE O.S.H.A. SAFETY AND HEALTH REGULATIONS.

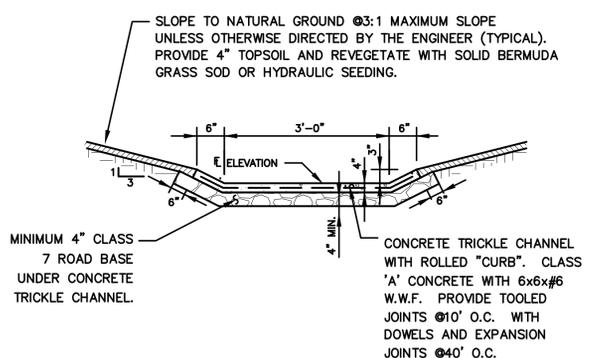
DETAIL 20 - PIPE EMBEDMENT
NOT TO SCALE



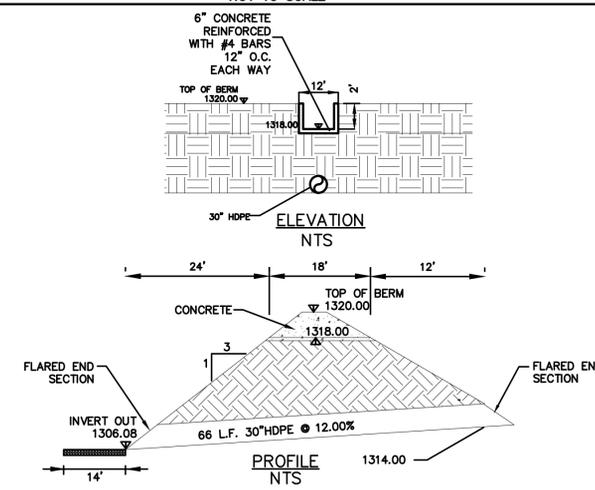
DETAIL 15 - COMMERCIAL DRIVE ENTRANCE
NOT TO SCALE



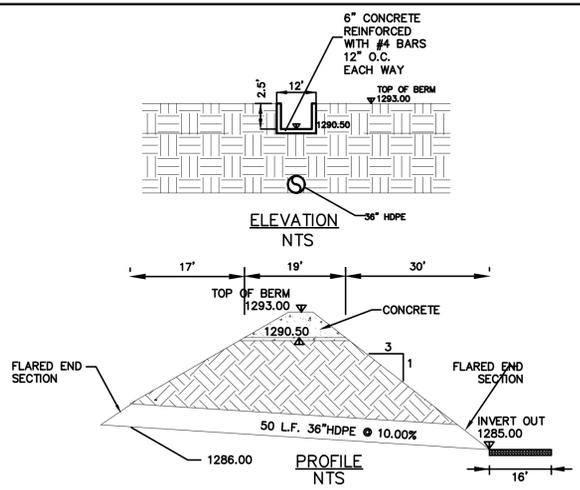
DETAIL 19 - SANITARY SEWER CLEANOUT
NOT TO SCALE



DETAIL 10 - CONCRETE TRICKLE CHANNEL
NOT TO SCALE



DETAIL 11 - DET POND OUTLET STRUCTURE #1
NOT TO SCALE



DETAIL 12 - DET POND OUTLET STRUCTURE #2
NOT TO SCALE



CITY PROJECT #L20-11

Know what's below. Call before you dig.



DRAWN BY:	JEI
CHECKED BY:	JEI
DATE:	2/27/2020
JOB NUMBER:	19-1045
SHEET NAME:	DETAILS
File No.:	19-1045.dwg
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Date	3/19/2020
Comments	PER CITY COMMENTS
Rev	1
Date	4/23/2020
Comments	PER CITY COMMENTS
Rev	2

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR
 WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

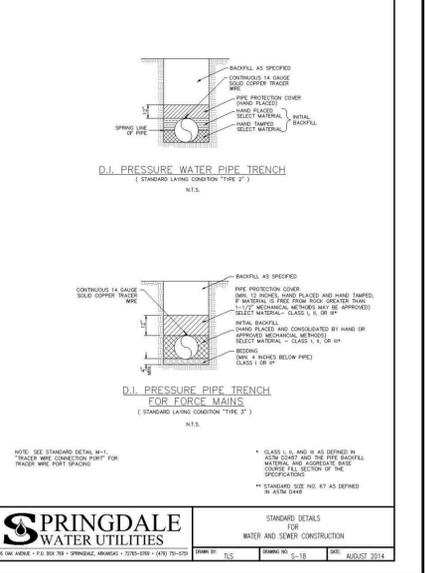
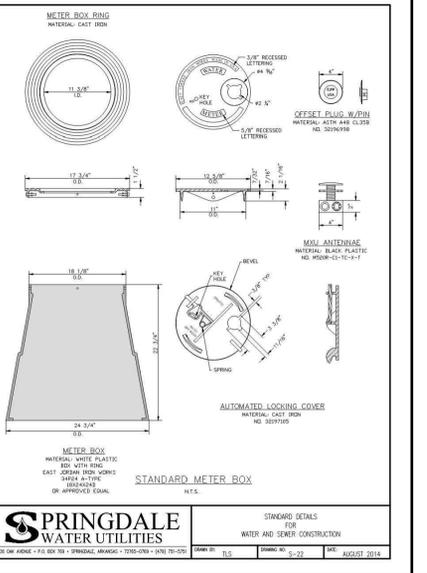
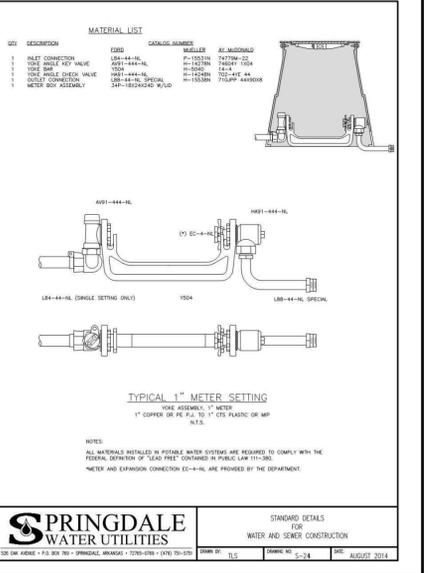
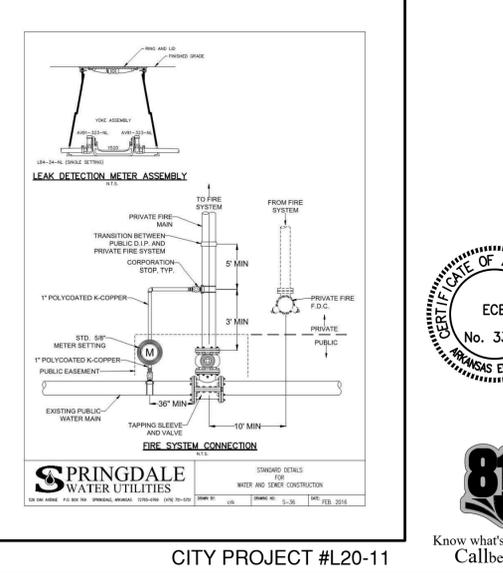
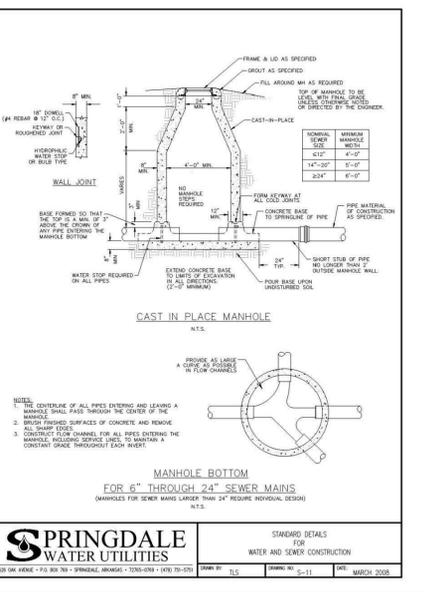
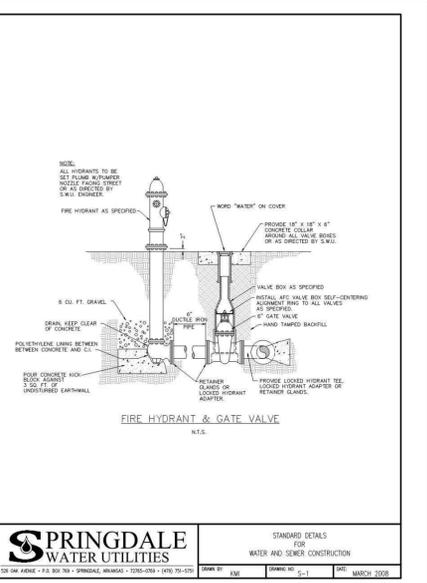
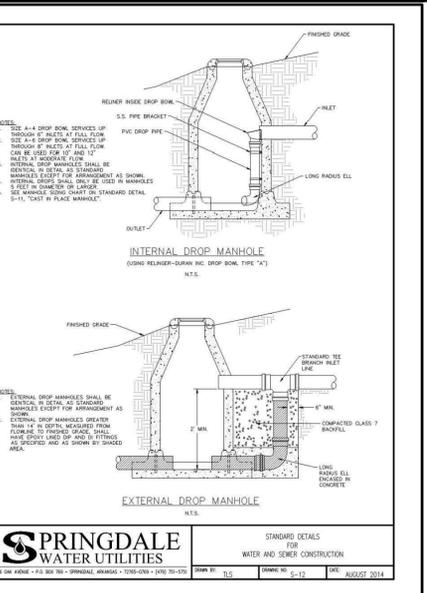
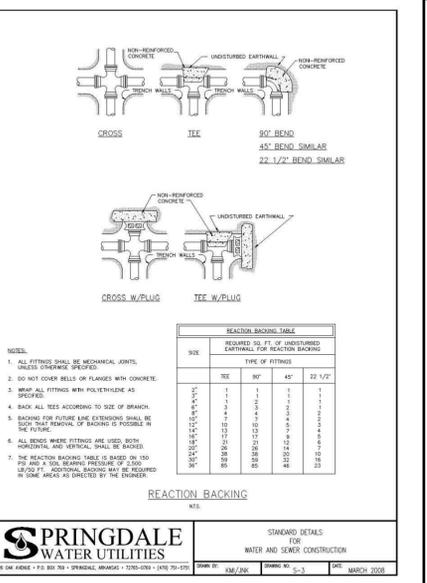
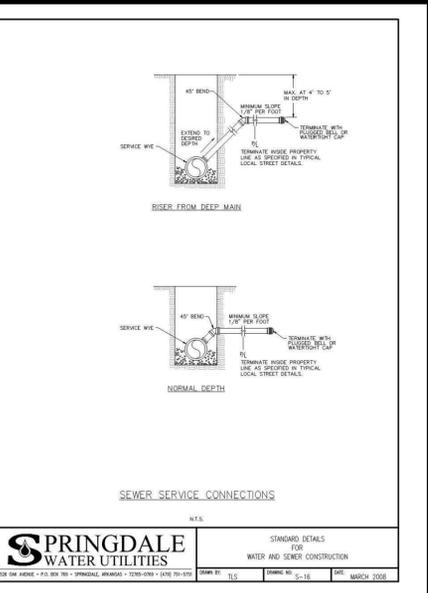
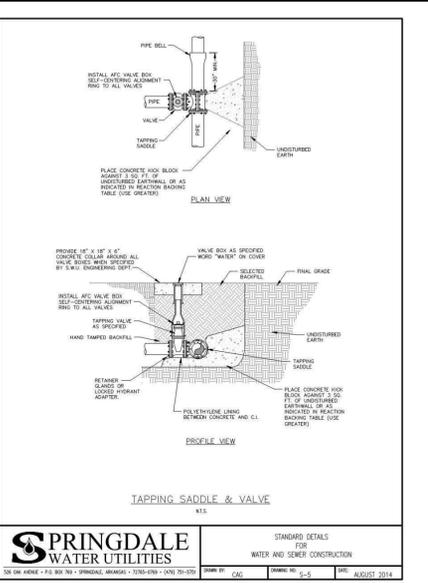
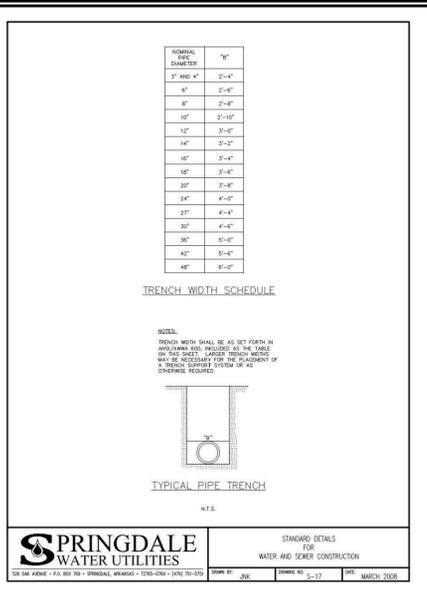
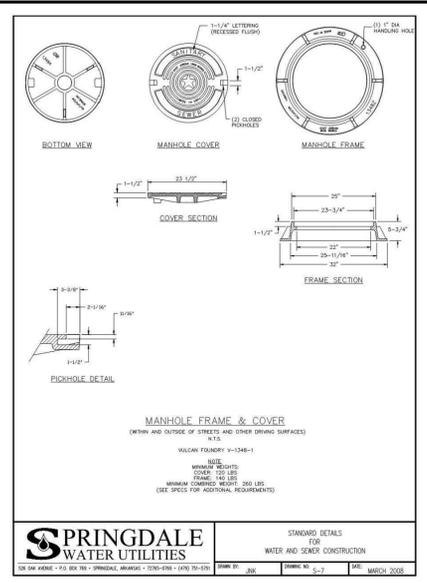
8200 SUITS US DR, STE. B
 BELLA VISTA, AR 72714
 EMAIL: jason@ece-engineering.com



DRAWN BY: JEI
 CHECKED BY: JEI
 DATE: 2/27/2020
 JOB NUMBER: 19-1045
 SHEET NAME: DETAILS

File No. 19-1045.dwg
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NOT FOR CONSTRUCTION



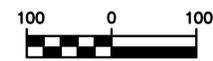
CITY PROJECT #L20-11

Know what's below. Call before you dig.

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NORTH



SCALE 1" = 100'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED PARKING LOT LIGHT
- PROPOSED LAWN
- TREE PROTECTION FENCE
- PROPOSED 8" WATER MAIN

LANDSCAPING REQUIREMENTS:

- STREET TREES**
- REQUIRED - PUBLIC STREET AND INTERSTATE I-49
I-49 FRONTAGE: 1 TREE AND 7 SHRUBS EVERY 25 LINEAR FEET
OR 1411 LF FRONTAGE AT 25' SPACING = 57 TREES
48TH STREET FRONTAGE: 1 TREE AND 7 SHRUBS EVERY 25
LINEAR FEET OR 139 LF FRONTAGE AT 25' SPACING = 6 TREES
2. PROVIDED I-49 - EXISTING 90 LF TREES, 26 TREES, AND 250 SHRUBS
(REQUEST VARIANCE TO 1 TREE AND 10 SHRUBS EVERY 50')
PROVIDED 48TH STREET - 6 TREES AND 42 SHRUBS
- PERIMETER LANDSCAPING**
- REQUIRED - 1 TREE EVERY 25 LF OF PROPERTY LINE NOT ADJACENT TO
RIGHT OF WAY
4,036 LF PERIMETER = 807 TREES
 - PROVIDED - 2697 LF EXISTING TREELINE AND 54 TREES
- PARKING LOT LANDSCAPING**
- REQUIRED - 10% OF PARKING AREA
POWER SPORTS BUILDING - 26,102 SF PARKING
TRACTOR BUILDING - 23,980 SF PARKING
PROVIDED - POWER SPORTS BUILDING - 8,274 SF
PROVIDED - TRACTOR BUILDING - 3,550 SF
- GREENSPACE**
- PROVIDED - TOTAL LOT AREA: 909,968 SF
IMPERVIOUS AREA: 534,181 SF
PERVIOUS AREA: 375,787 SF
GREENSPACE: 41.3%

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE AS SPECIFIED IN THE PLANT LIST ON THIS SHEET AND MEET THE REQUIREMENTS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN PUBLICATION "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 LATEST EDITION).
- ALL PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS AT THE TIME OF INSTALLATION AND SHALL BE WARRANTED FOR SURVIVAL FOR A PERIOD OF 2 YEARS FROM THE TIME OF INSTALLATION.
- INSTALLATION AND EXECUTION OF THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT LANDSCAPE ORDINANCE FOR THE CITY OF ROGERS.
- INSTALL A 4" LAYER OF ROCK MULCH OVER A WOVEN FABRIC WEED BARRIER IN ALL BEDS.
- INSTALL A 3/16" X 4" STEEL EDGING TO BORDER THE MULCHED BED AREAS WHERE THEY ARE ADJACENT TO TURF AREAS.
- IRRIGATION SYSTEM TO BE DESIGN BUILD.



CITY PROJECT

Call before you dig.

NOT FOR CONSTRUCTION

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
SPRINGDALE, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-ar.com



DRAWN BY:
JEI

CHECKED BY:
JEI

DATE
2/27/2020

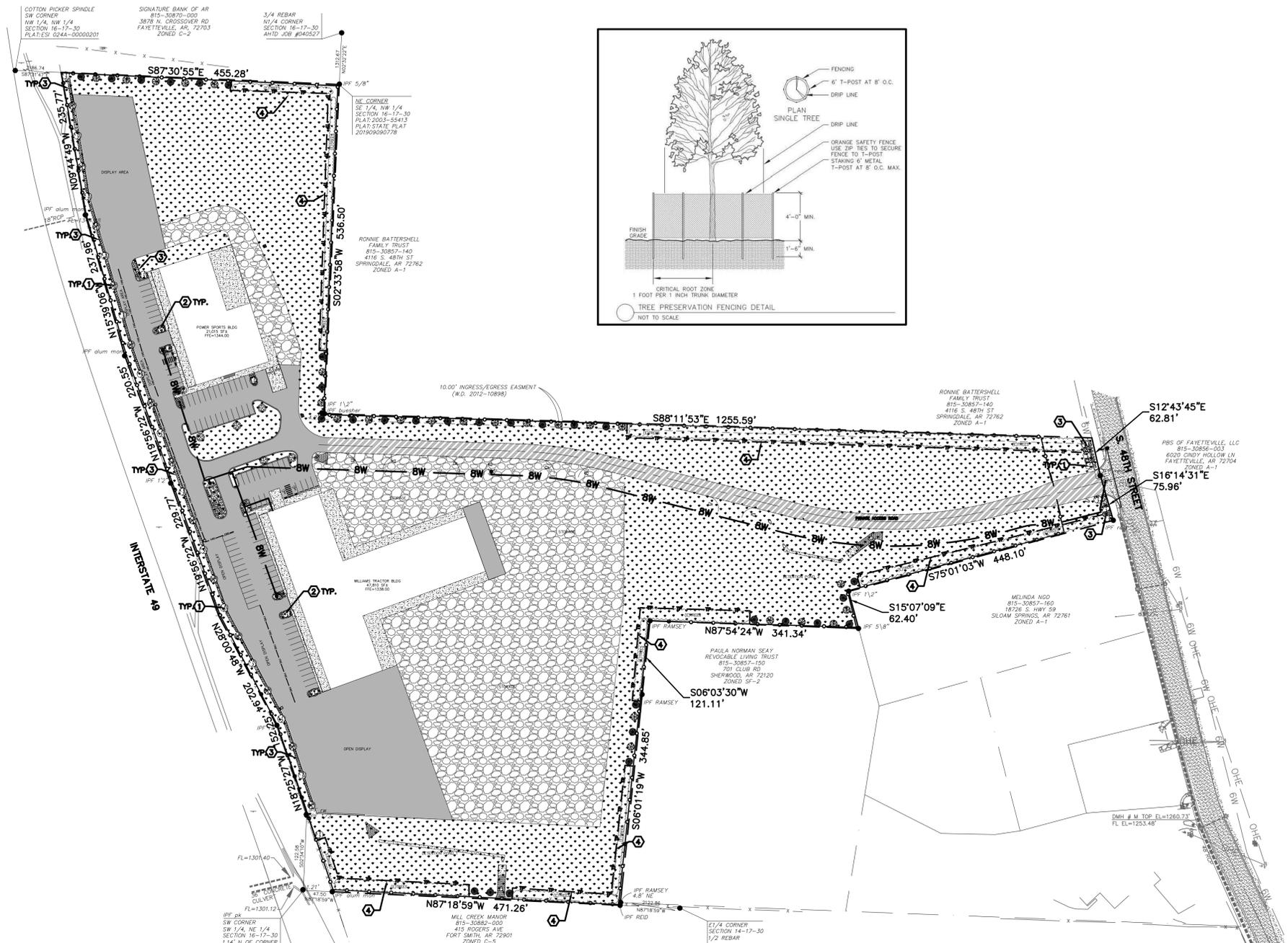
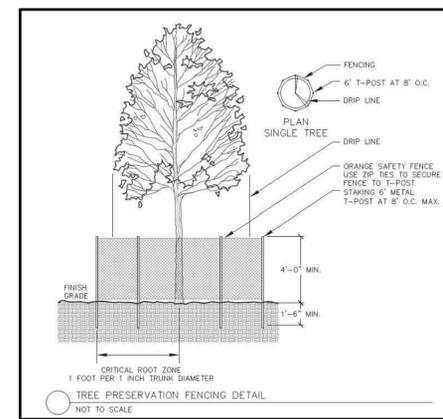
JOB NUMBER
19-1045

SHEET NAME

LANDSCAPE PLAN

File No.
19-1045.dwg

L1.0



STREET TREES

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE (MIN.)	SPACING
1	RED MAPLE	ACER RUBRUM	14	2" CALIPER B & B MIN. 6'	25' MIN.
2	THORNLESS HONEYLOCUST	CERCIS CANADENSIS	13	2" CALIPER B & B MIN. 6'	25' MIN.

SITE LANDSCAPING

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE (MIN.)	SPACING
1	RED MAPLE	CERCIS CANADENSIS	9	2" CALIPER B & B MIN. 6'	25' MIN.
2	JAPANESE BLACK PINE	CERCIS CANADENSIS	30	2" CALIPER B & B MIN. 6'	25' MIN.
3	THORNLESS HONEYLOCUST	CERCIS CANADENSIS	0	2" CALIPER B & B MIN. 6'	25' MIN.
4	GOLDEN RAIN TREE	CERCIS CANADENSIS	24	2" CALIPER B & B MIN. 6'	25' MIN.
5	AMERICAN HOLLEY	CERCIS CANADENSIS	6	2" CALIPER B & B MIN. 6'	25' MIN.
6	SHRUB		437	3 GALLON	5' MIN.

KEYNOTES:

- PROPOSED STREET TREE (REFER TO TABLE FOR TYPE AND SPACING)
- PROPOSED PARKING LOT TREE (REFER TO TABLE FOR TYPE)
- LANDSCAPE EDGING
- TREE PROTECTION FENCING PER DETAIL ON THIS SHEET

CITY OF SPRINGDALE, ARKANSAS

FILE NUMBER: _____

DATE: _____

APPLICATION FOR VARIANCE
COMMERCIAL DESIGN STANDARDS
BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: S. 48th Street, Tax Parcel #'s 815-30871-000, 30870-000, & 30857-151

Applicant Name: WT-LF, LLC

Address: 2501 Shiloh Dr

City: Fayetteville **State:** AR **Zip:** 72702

Phone: _____ **Fax:** _____ **Email:** gtollett@williamstractor.com

Property Owner **Owner's Representative** **Contract Purchaser**

Represented by: Expedient Civil Engineering, PLLC

Address: 9200 Suits Us Dr, Ste. B

City: Bella Vista **State:** AR **Zip:** 72714

Phone: (509) 759-5300 **Fax:** _____ **Email:** jason@ece-pllc.com

Legal Description: (Check if attached)

Attached

P83

The Planning Commission may approve variances to depart from the literal requirements of the Commercial Design Standards where strict enforcement of said requirements would cause undue hardship due to circumstances unique to the individual property under consideration, and the granting of such variance is demonstrated to be within the spirit and intent of the provisions of the design standards.

Check item(s) for which variance is requested:

- ENTRANCES** – one customer entrance on all sides of principal building directly facing abutting public right of-way
- PARKING LOT ORIENTATION** – no more than 60% of off-street parking area located between the front façade within the front yard of the principal building
- STRUCTURE BACK AND SIDES**
 - Minimum setback according to zoning district requirements
 - Earthen berm installed with trees and landscaping for façade facing adjacent residential uses or area on Comprehensive Land Use Plan
- PEDESTRIAN FLOW**
 - 5' sidewalk along all sides of lot abutting public right-of-way
 - 5' continuous internal pedestrian walkways from public sidewalk to principal customer entrance of all principal building on site
 - 5' sidewalk along the full length of building on façade featuring customer entrance on façade abutting public parking areas 6' from façade of building
 - Weather protection features within 30' of all customer entrances, constructed parallel to building façade
 - Internal walkway distinguished from driving surface through use of durable, low maintenance surface materials to enhance safety and comfort
- CENTRAL FEATURES AND COMMUNITY SPACES**
 - Provision of at least 2 central features
 - Direct access to public sidewalk network
- MULTIPLE BUILDINGS IN COMMERCIAL CENTERS**
 - Use of similar building materials
 - Use of similar architectural styles or theme
- OUTDOOR STORAGE, TRASH COLLECTION AND LOADING AREAS**
 - Not visible from public right-of-way, located within 20' of any public street, sidewalk or internal pedestrian way
 - Incorporated into the overall design of the building
 - Screening material similar to principal materials of the building and landscape
 - Landscaped so that visual and acoustic impacts fully contained and out of view of adjacent property and public streets
 - Landscaped so not attention is attached to the function by the use of screening material and no attention is attached to the function by the use

- ☒ **FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses
 - Minimum 3' depth
 - Minimum of 20 contiguous feet within each 100' of façade length
 - Extends 20% of the façade

- ☐ **DETAIL FEATURES**
 - Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
 - At least one element repeating horizontally
 - Elements repeat at intervals of more than 30' horizontally or vertically
 - Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ☒ **ROOFS** – change in height every 100 linear feet in building length

- ☒ **MATERIALS AND COLORS**
 - Predominate exterior materials high quality materials
 - Façade color – low reflectance, subtle, neutral or earth tone

- ☒ **ENTRYWAYS** – 3 defined, highly visible customer entrances

- ☒ **LANDSCAPING**
 - Entryway landscaping
 - Parking lot landscaping
 - Perimeter parking area landscaping
 - Building foundation landscaping

- ☒ **SCREENING**
 - Trash containers, trash compactor, and recycling bins screened from public view 4 sides
 - Exterior ground-mounted or building-mounted equipment
 - Rooftop equipment
 - Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
 - Required screening fence or wall maximum height 8', high quality materials
 - Required screening fence or wall maximum continuous length of 50'

- ☐ **LIGHTING**
 - Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
 - Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
 - Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
 - Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
 - Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
 - Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy
 - Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

FOR EACH ITEM CHECKED

Variance requested: (attach visual representation of request)
See attached letter.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)
See attached letter.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)
See attached letter.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)
See attached letter.

The Applicant understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

The Applicant understands that he/she must be present at the meeting to present the variance request and to answer questions. If the Applicant is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S)



DATE: _____



April 23, 2020

Board of Adjustments Chairperson
City of Springdale
201 Spring Street
Springdale, AR 72764

**RE: WILLIAMS TRACTOR & FREEDOM POWER SPORTS
LARGE SCALE DEVELOPMENT
48TH STREET, SPRINGDALE, AR
ECE PROJECT NO. 19-1045**

Mr. Chairperson:

Williams Tractor, Inc. is proposing to construct a new tractor sales dealership building and power sports dealership building on Washington County tax parcel numbers 815-30871-000, 815-30870-000, & 815-30857-151 located on the west side of 48th Street and fronting I-49 in Springdale, Arkansas. Due to the uniqueness of the site and type of business, we are requesting several variances from the City's development ordinances and commercial design standards. They are listed as follows:

Pedestrian Flow:

1. Continuous internal pedestrian walkways, 5' in width, are required to be connected to the public sidewalk along 48th Street. Internal sidewalks, 5' in width, have been provided around each building with access to adjacent parking areas. The private access drive is more than ¼ mile long. This is a very long distance for someone to walk from 48th Street to look at tractors and powersports. Also, most customers that visit the dealerships, that are there for a purchase, bring a truck and trailer, for it is needed for transport of the new purchase. For this reason, we are requesting a variance from this requirement.

Central Features and Community Spaces

1. The buildings are located quite a distance from 48th Street. Therefore, the use of the public central features and community spaces would not be beneficial to this site. The majority of customers visiting the site will be to either purchase new equipment or for maintenance. We are requesting a variance from this requirement.

Outdoor Storage, Trash Collection and Loading Areas

1. Storage areas shall not be visible from public rights of way. Both buildings will face I-49. Pavement has been added for the parking and display areas that front I-49. Due to the nature of the tractor business, there will be a lot of storage of tractors and heavy equipment. The heavy equipment will be stored outside the pavement areas. However, since the equipment will be

located quite a distance from 48th Street and behind the proposed buildings, we are requesting a variance to not screen these gravel storage areas. This is not to be confused with the outside storage areas that now house the Williams Tractor in Fayetteville. The facility is very outdated with a lot of old equipment. The original facility dates back to the early 1970's and a lot of old equipment has been collected. With the new facility, a sort of cleaning house will occur so that a lot of the old equipment will not be relocated to the new facility. Also, there is a good amount of existing tree canopy along the property lines that will be preserved and temporarily fenced off to prevent damage to the canopy. In areas where there either canopy will be removed or no canopy existed along the property lines, new trees will be planted to aid in screening the outdoor storage areas from adjacent property owners and public rights of way.

2. Ordinance allows up to 20% of outside storage areas to be gravel. However, due to the uniqueness of the tractor and powersports businesses and a good share of equipment that contain tracks, we are requesting a variance from 20 to 52.6 %. Also, some of the equipment is heavy and extensive damage could occur from all the turning movements if a larger amount of pavement is required.

Facades and Exterior Walls

1. On the façade, we are requesting a variance from the change in materials serving as the depth of material in lieu of every 100' to have a 3' wall projection or recess with a minimum of 20 contiguous feet or 20% of the facade.

Roofs

1. Rooflines shall be varied with a change in height every 100'. We are requesting a variance to 120' for the rooflines. Due to the layout of columns in the building, we are requesting this minimal variance.

Materials and Colors

1. Predominant materials of either brick, stone, masonry units, etc. shall be used. We have provided stone, a lot of windows, and architectural metal awnings for both buildings. The rear and sides of the powersports building is metal with architectural metal awnings. However, the back of the building faces a steep vertical grade behind the building providing a natural screen. Also, one of the sides does not face any parking. The side that does face the parking, the south side, contains horizontal metal panels with stone and a varying roof with a gable. We are requesting a variance for the rear and sides of the powersports building to be metal. For the tractor building, stone and a lot of glass windows will be used along with vertical metal panels. We are requesting a variance to allow the vertical metal panels on this building.

Entryways

1. Each building has two defined customer service entryways in lieu of 3. Each building does have a third entrance but they are for parts and maintenance. Therefore, we are requesting a variance from this requirement.

Landscaping

1. Ordinance requires foundation landscaping. Both buildings have a covered canopy on the front side of the buildings for covered display areas. There is a public sidewalk located along adjacent to these canopies. For sales reasons, these canopies need to be directly connected to the sidewalk and parking lot. There are also times that equipment or powersports will be driven over the sidewalks to outside display areas or for replenishing the displays. In lieu of placing a strip of foundation landscaping, the amount of shrubs and trees that would have been placed in this space has been placed in adjacent tree islands or other landscaped areas. Therefore, we are requesting a variance from this requirement.
2. One tree and seven shrubs every 25' is required along public street right of way. This requirement has been met along 48th Street. However, one tree and 10 shrubs has been provided along I-49. This is due to obtaining visibility of the outside display areas that will be placed along I-49. The full maturity of trees at 25' spacing could hinder the visibility of the outside display areas. Therefore, we are requesting a variance for the spacing of trees and shrubs.

Screening

1. The outside storage areas are required to be screened. However, the bulk of the outside storage areas will be for equipment and power sports that will replenish stock as sales are made. The stock needs to be seen from the entrance drive into the development. Due to the length of the private access drive, visibility of these storage areas will not be seen either from I-49 or from 48th Street. A customer would not see the outside storage areas until well after 1/2 the way up the private access drive. For this reason, we are requesting a variance from this requirement.
2. The ordinance requires that all truck docks and trash receptacles/dumpsters to be screened from public view. As stated before, the buildings are located a substantial distance from 48th Street. Also, the truck docks are located on the side of the building where shipping and receiving will be performed. Just east of this area, there is a steep grade of more than 15' in height providing a natural screen. Any future dumpsters added will be placed in this area

Board of Adjustments Chairperson
April 23, 2020
Page 4

Thank you for your consideration of the variances and we look forward to discussing them further with you and to your approval.

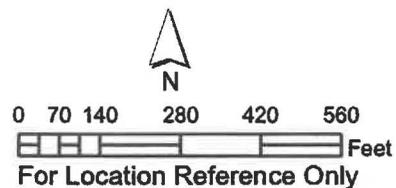
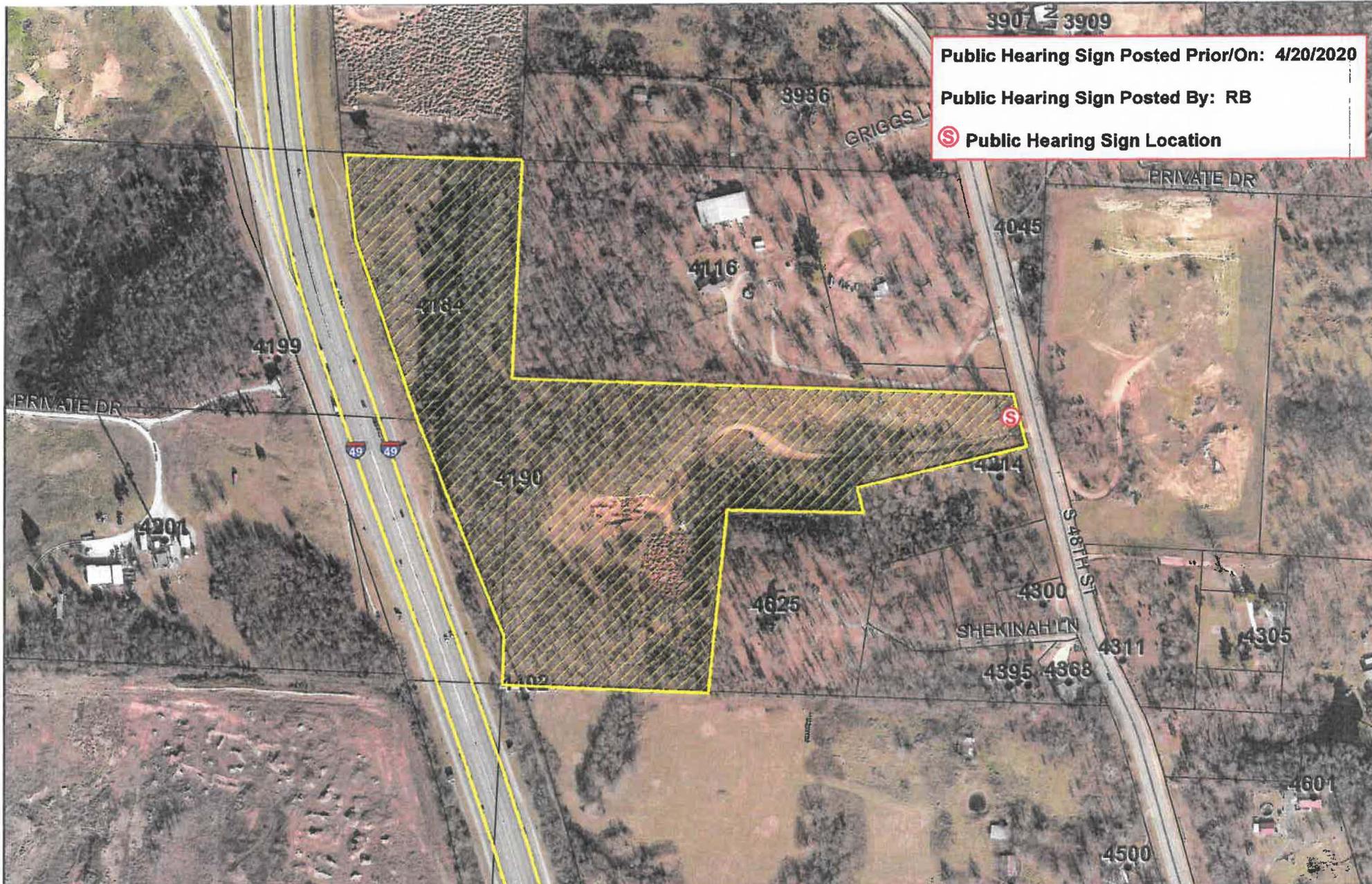
Best Regards,
EXPEDIENT CIVIL ENGINEERING, PLLC

Jason E. Ingalls

Jason E. Ingalls, P.E.
Owner/Senior Project Manager

Cc: Williams Tractor, Inc.

An equal opportunity employer



FILE NO. B20-18
APPLICANT: WT-LF, LLC
REQUEST: Variance for deviation of landscaping per
Ch 56 and deviation of commercial design standards
located south of DTP & East side of I-49

PLANNING COMMISSION MEETING
 May 5, 2020

Memo

To: Planning Commission
From: Staff
Date: May 5, 2020
RE: L20-12 Large Scale Development Randall Tyson Park

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-12. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Engineering Comments

1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.10.5.2.1** - Temporary Construction Entrances
 - o ~~Course Aggregate 2-3 inch stone required at Construction Entrances.~~
 - o Construction entrance must be a minimum of 50' long **and 12' wide.**

- Show Dimensions in Detail

- ~~Required at all locations where construction traffic moves to public road or other paved areas.~~

2. Chapter 106 – Stormwater Drainage

- **Splash Pad**
 - FYI if splash pad water is recirculated and treated with chlorine and acid, cannot be discharged to sanitary sewer (double check with SWU, but I believe this was what they said about the splash pad in Shaw Park). In order to discharge to storm sewer, permit from ADEQ is required and water must be dechlorinated and pH neutralized first – Bryan Leamons is the contact at ADEQ for permitting
- **Miracle Fields parking lot**
 - Is this parking lot included in drainage analysis?

3. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
 - The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

4. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - No comments.

PRELIMINARY DESIGN FOR A

LARGE SCALE DEVELOPMENT PLAN

TO SERVE

RANDALL TYSON PARK

IN THE CITY OF

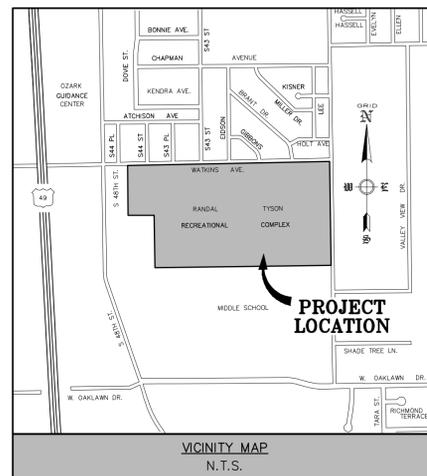
SPRINGDALE, ARKANSAS

L20-12

CONTACT LIST
BLACK HILLS ENERGY SCOTT STOKES - 479-575-1424
OZARKS ELECTRIC MIKE PHIPPS - 479-684-4696
SPRINGDALE WATER UTILITIES LARRY PECKHAM - 479-751-5751
COX COMMUNICATION CHRIS BYRD - 479-751-2000
AT&T LAYNE RHODES - 479-442-1977
SPRINGDALE FIRE DEPARTMENT DUANE MILLER - 479-750-8190



INDEX OF SHEETS	
SHEET No.	DESCRIPTION
1	OVERALL LAYOUT
2	LITTLE LEAGUE FIELDS SIDEWALK REHAB
3	SOFTBALL FIELDS SIDEWALK REHAB
4	BASEBALL FIELDS SIDEWALK REHAB
5	PARKING LOT B EXPANSION & A.D.A. CROSSING
6	PARKING LOT A EXPANSION/ SITE AMENITIES
7	EAST SOCCER FIELDS A.D.A. ACCESS
8	MIRACLE FIELDS PARKING LOT EXPANSION
9	LIGHTING REHAB PLAN
10-11	TYPICAL DETAILS
12-13	STORMWATER POLLUTION PREVENTION PLAN
14	LANDSCAPE PLAN



March 19, 2020

BY
ENGINEERING SERVICES INC.



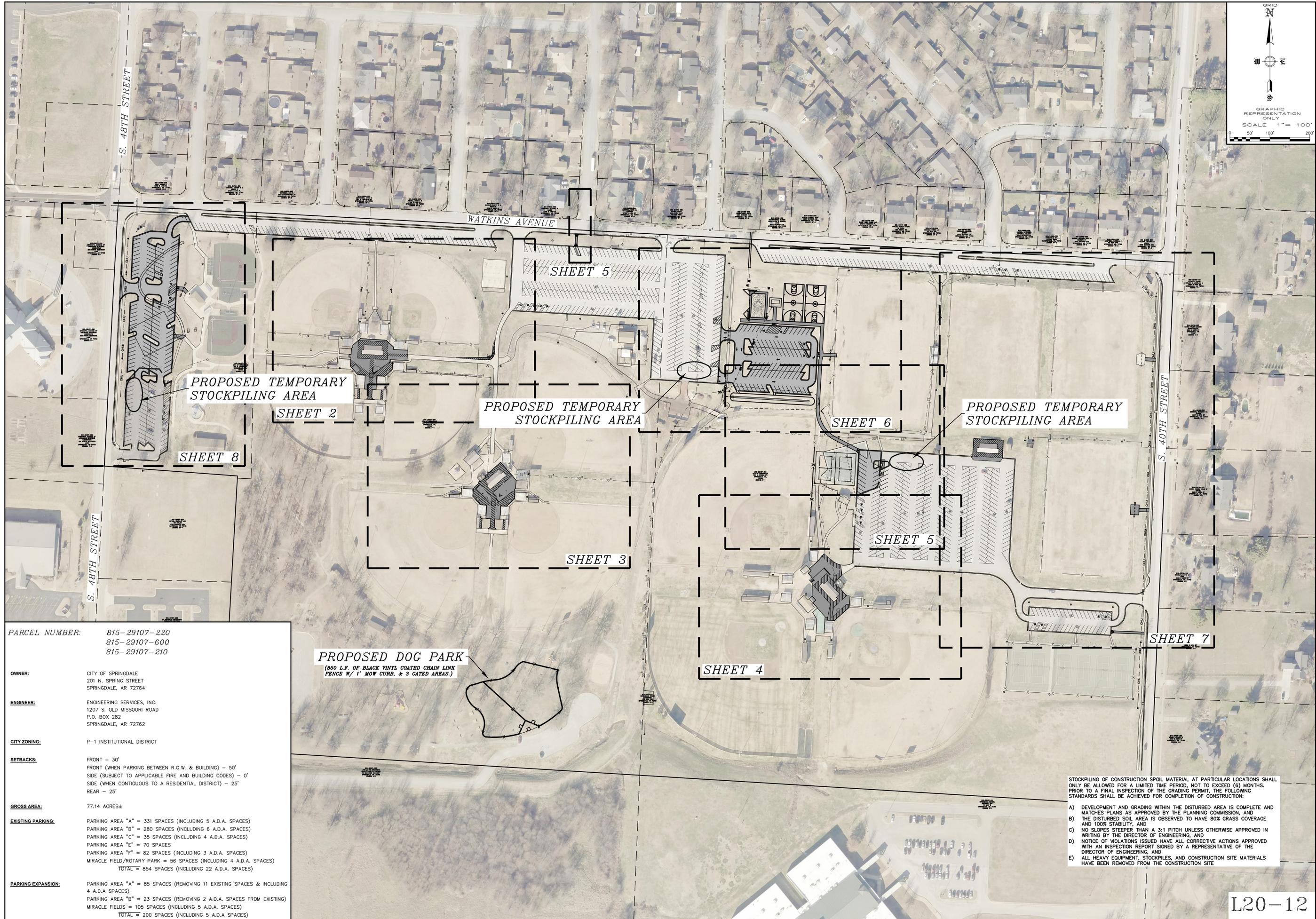
CONSULTING ENGINEERS
SPRINGDALE, ARKANSAS
PHONE: 479-751-8733
FAX: 479-751-8746
WWW.ENGINEERINGSERVICES.COM

REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF SPRINGDALE ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF SPRINGDALE RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

THOMAS J. APPEL, P.E. No. 13828
ENGINEERING SERVICES, INC.

NOTES :

- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF SPRINGDALE, ARKANSAS, AS CONTAINED IN CHAPTER 110, ART. III, OF THE CODE OF ORDINANCES, CITY OF SPRINGDALE, ARKANSAS.
- 2) ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF SPRINGDALE WATER UTILITIES. ADOPTED MARCH 10TH, 1987 BY ORDINANCE NO. 1640. AMENDED AUGUST 27, 2014 BY RESOLUTION No. 15-14 OF THE SPRINGDALE WATER AND SEWER COMMISSION.



**OVERALL LAYOUT
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS**

PARCEL NUMBER: 815-29107-220
815-29107-600
815-29107-210

OWNER: CITY OF SPRINGDALE
201 N. SPRING STREET
SPRINGDALE, AR 72764

ENGINEER: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD
P.O. BOX 282
SPRINGDALE, AR 72762

CITY ZONING: P-1 INSTITUTIONAL DISTRICT

SETBACKS: FRONT - 30'
FRONT (WHEN PARKING BETWEEN R.O.W. & BUILDING) - 50'
SIDE (SUBJECT TO APPLICABLE FIRE AND BUILDING CODES) - 0'
SIDE (WHEN CONTIGUOUS TO A RESIDENTIAL DISTRICT) - 25'
REAR - 25'

GROSS AREA: 77.14 ACRES±

EXISTING PARKING: PARKING AREA "A" = 331 SPACES (INCLUDING 5 A.D.A. SPACES)
PARKING AREA "B" = 280 SPACES (INCLUDING 6 A.D.A. SPACES)
PARKING AREA "C" = 35 SPACES (INCLUDING 4 A.D.A. SPACES)
PARKING AREA "E" = 70 SPACES
PARKING AREA "F" = 82 SPACES (INCLUDING 3 A.D.A. SPACES)
MIRACLE FIELD/ROTARY PARK = 56 SPACES (INCLUDING 4 A.D.A. SPACES)
TOTAL = 854 SPACES (INCLUDING 22 A.D.A. SPACES)

PARKING EXPANSION: PARKING AREA "A" = 85 SPACES (REMOVING 11 EXISTING SPACES & INCLUDING 4 A.D.A. SPACES)
PARKING AREA "B" = 23 SPACES (REMOVING 2 A.D.A. SPACES FROM EXISTING)
MIRACLE FIELDS = 105 SPACES (INCLUDING 5 A.D.A. SPACES)
TOTAL = 200 SPACES (INCLUDING 5 A.D.A. SPACES)

PROPOSED DOG PARK
(850 L.F. OF BLACK VINYL COATED CHAIN LINK
FENCES W/ 1' MOW CURB, & 3 GATED AREAS.)

STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:

- DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
- THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
- NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
- NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
- ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE

REVISION	DATE	DESCRIPTION

SCALE: X"=XX'

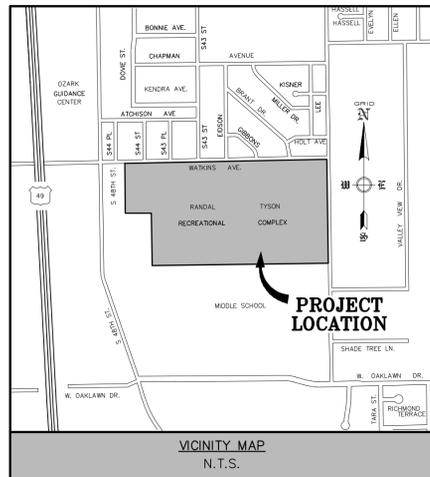
DATE: Mar 19, 2020

ENGINEER: TJA
DRAWN BY: DBB

W.O. #: 18906

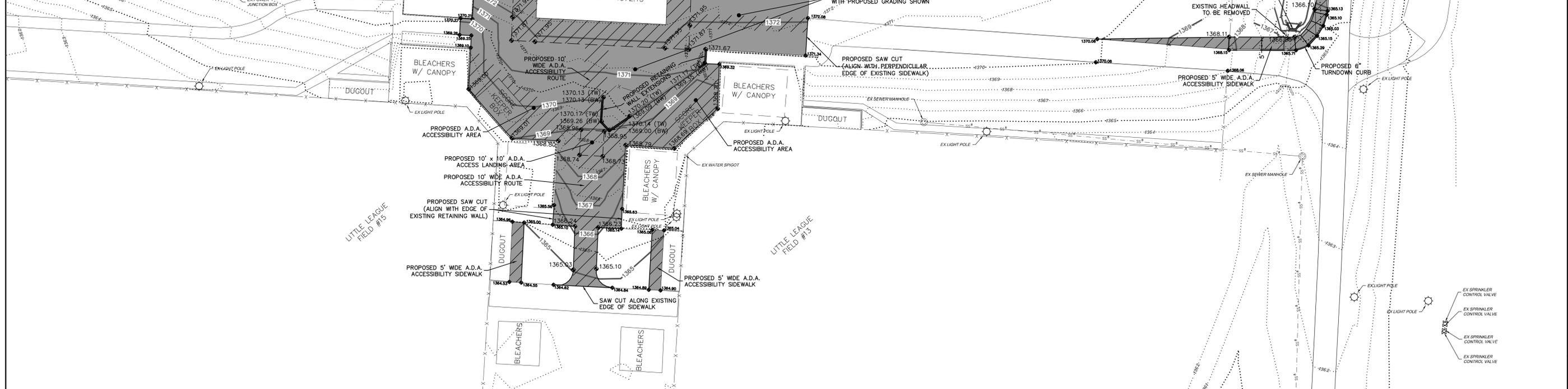
L20-12

1

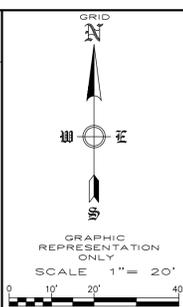


LEGEND

○	SET IRON PIN
●	IRON PIN FOUND
+	MAG NAIL FOUND
C	PROPERTY LINE
- - -	SAW-CUT LINE
- - -	EX. EASEMENT LINE
- - -	EX. BUILDING SETBACK LINE
- - -	EX. ROAD CENTERLINE
- - -	EX. CURB & GUTTER
- - -	EX. CONTOUR
- - -	PROPOSED CONTOUR LINE
- - -	EX. OVERHEAD POWER LINE
- - -	EX. GAS LINE
- - -	EX. UNDERGROUND TELEPHONE LINE
- - -	EX. 8" SEWER LINE
- - -	EX. STORM DRAIN LINE
- - -	EX. WATER LINE
- - -	EX. FIBER OPTIC LINE
- - -	EX. WATER METER
- - -	EX. FIRE HYDRANT
- - -	EX. SEWER MANHOLE
- - -	EX. POWER POLE
- - -	EX. WATER VALVE
- - -	EX. LIGHT POLE
- - -	EX. SIGN
- - -	EX. WATER METER
- - -	EX. TRAFFIC POLE
- - -	EX. GAS MANHOLE
- - -	EX. ELECTRIC MANHOLE
- - -	EX. TELEPHONE MANHOLE
- - -	EX. TREES
- - -	EX. SEWER VALVE
- - -	EX. WATER MANHOLE
- - -	EX. FIBER OPTIC VAULT
- - -	EX. TELEPHONE BOX
- - -	EX. MAILBOX
- - -	EX. GAS METER
- - -	EX. GAS VALVE
- - -	PROPOSED FENCE
- - -	PROPOSED EASEMENT LINE
- - -	PROPOSED SIDEWALK
- - -	PROPOSED GAS LINE
- - -	PROPOSED ELECTRIC LINE
- - -	PROPOSED WATERLINE
- - -	PROPOSED HADICAP RAMP
- - -	PROPOSED STORM BOX & PIPE
- - -	PROPOSED SEWER MANHOLE & PIPE



NOTES:
1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE BEGINNING ANY SITE WORK.



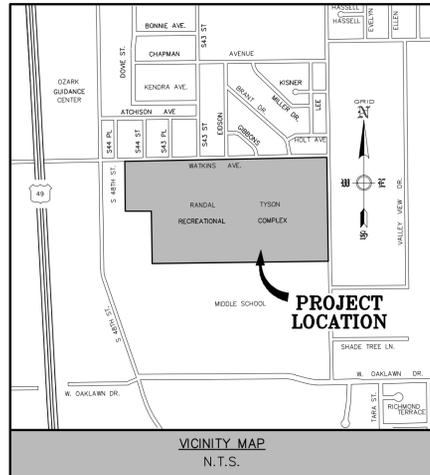
**LITTLE LEAGUE FIELDS SIDEWALK REHAB
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Mar 19, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 18906

L20-12

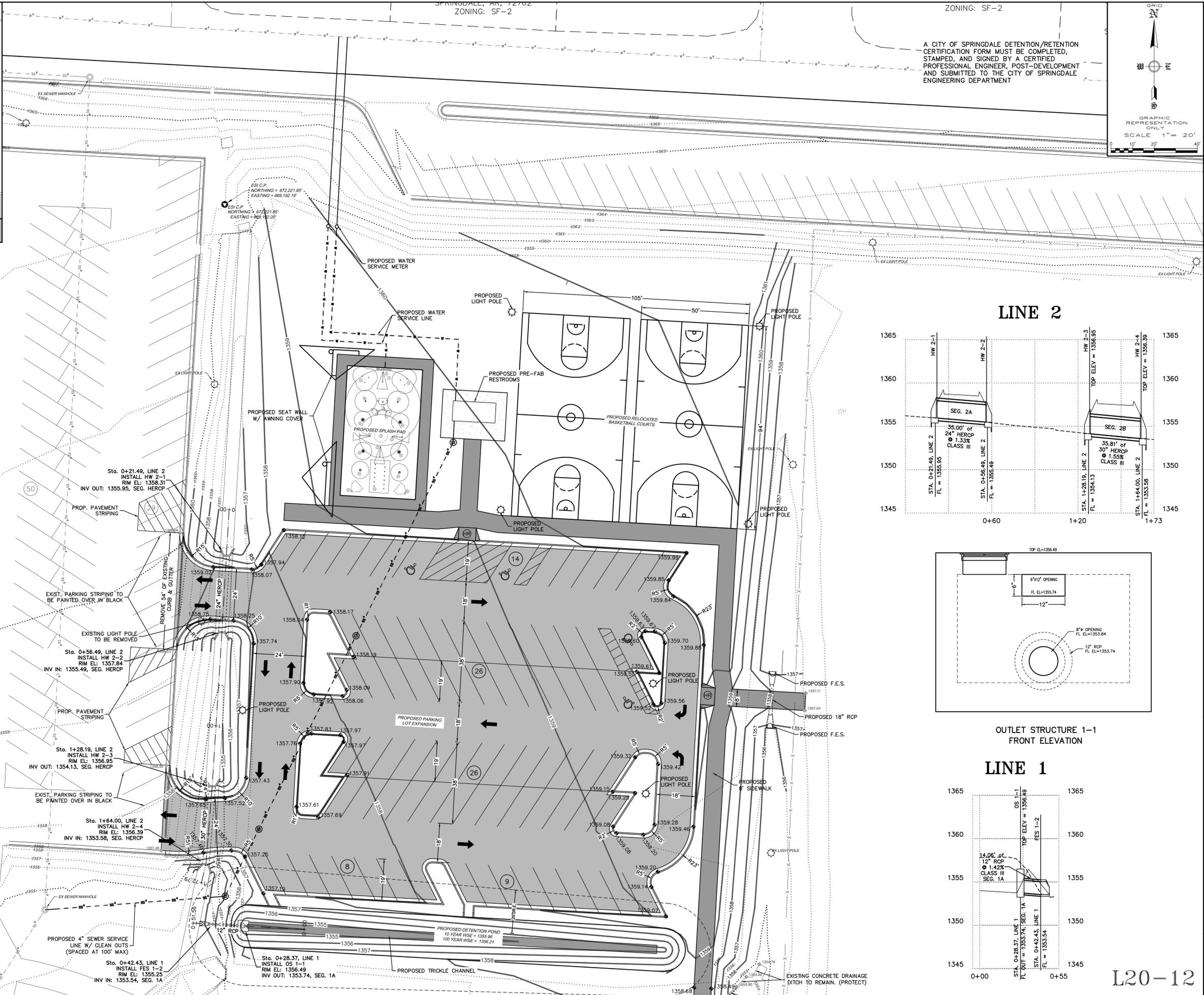
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PROJECT LOCATION

LEGEND

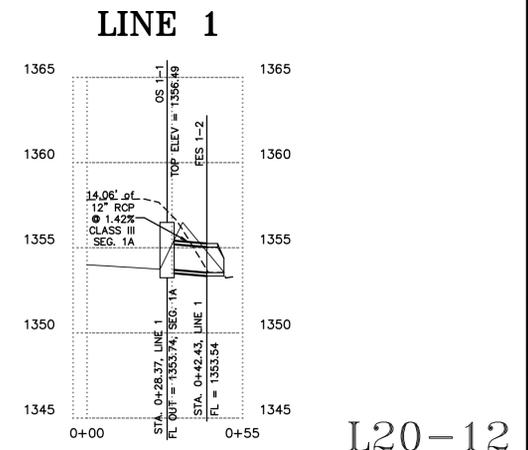
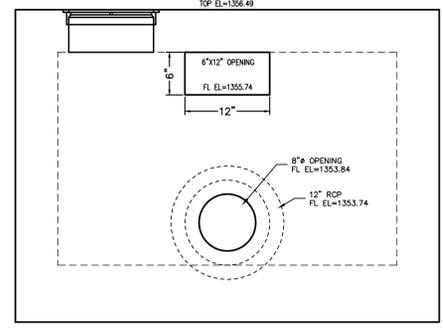
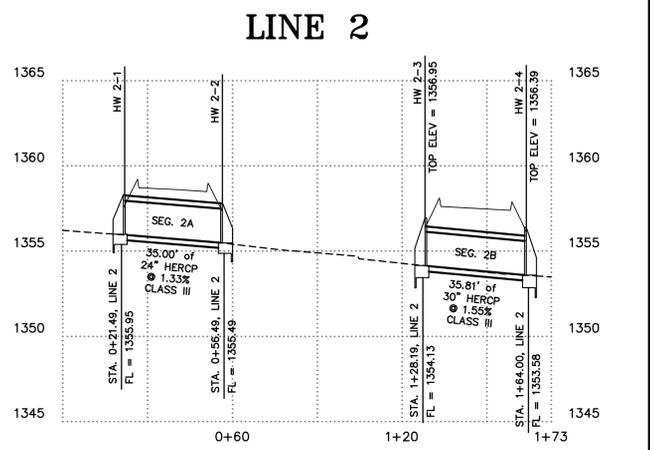
- SET IRON PIN
- IRON PIN FOUND
- MAG NAIL FOUND
- C. PROPERTY LINE
- SAW-CUT LINE
- EX. EASEMENT LINE
- EX. BUILDING SETBACK LINE
- EX. ROAD CENTERLINE
- EX. CURB & GUTTER
- EX. CONTOUR
- 1369 PROPOSED CONTOUR LINE
- 1368 EX. OVERHEAD POWER LINE
- GHP/T EX. GAS LINE
- UST EX. UNDERGROUND TELEPHONE LINE
- SS EX. 8" SEWER LINE
- W EX. STORM DRAIN LINE
- W EX. WATER LINE
- F.O. EX. FIBER OPTIC LINE
- EX. WATER METER
- EX. FIRE HYDRANT
- EX. SEWER MANHOLE
- EX. POWER POLE
- EX. WATER VALVE
- EX. LIGHT POLE
- EX. SIGN
- EX. WATER METER
- EX. TRAFFIC POLE
- EX. GAS MANHOLE
- EX. ELECTRIC MANHOLE
- EX. TELEPHONE MANHOLE
- EX. PRES
- EX. SEWER VALVE
- EX. WATER MANHOLE
- EX. FIBER OPTIC VAULT
- EX. TELEPHONE BOX
- EX. MAILBOX
- EX. GAS METER
- EX. GAS VALVE
- PROPOSED FENCE
- PROPOSED EASEMENT LINE
- PROPOSED SIDEWALK
- PROPOSED GAS LINE
- PROPOSED ELECTRIC LINE
- PROPOSED WATERLINE
- PROPOSED HADICAP RAMP
- PROPOSED STORM BOX & PIPE
- PROPOSED SEWER MANHOLE & PIPE



ZONING: SF-2

A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT

GRAPHIC REPRESENTATION ONLY
SCALE 1" = 20'



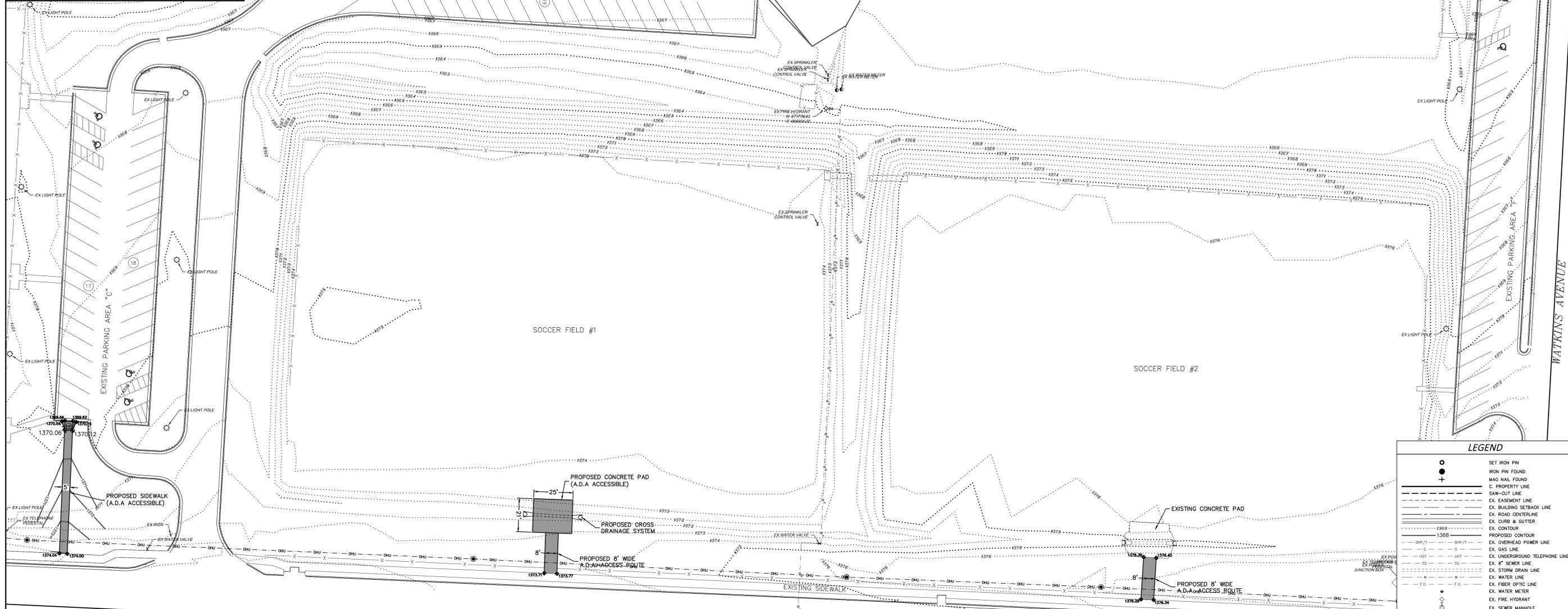
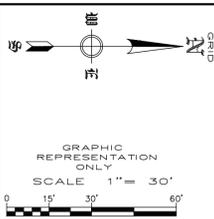
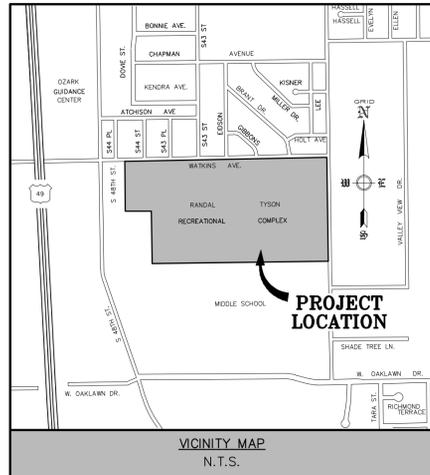
**PARKING LOT A EXPANSION / SITE AMENITIES
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Mar 19, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 18906

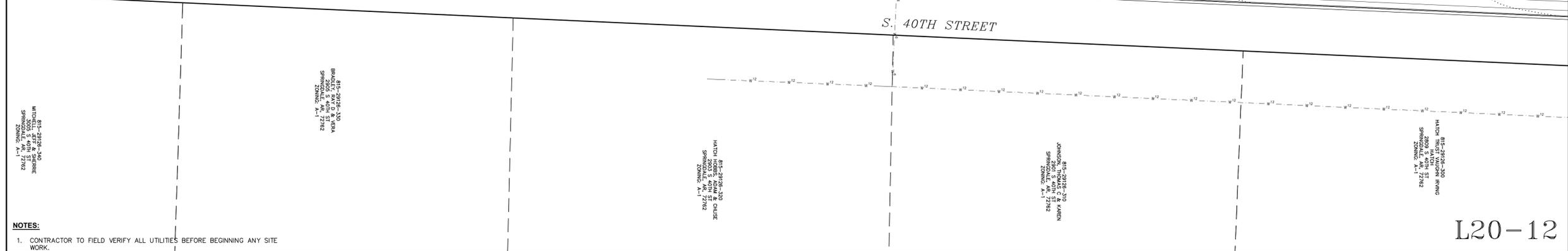
L20-12

6



LEGEND

○	SET IRON PIN
+	IRON PIN FOUND
—	MAG NAIL FOUND
—	C. PROPERTY LINE
—	SAW-CUT LINE
—	EX. EASEMENT LINE
—	EX. BUILDING SETBACK LINE
—	EX. ROAD CENTERLINE
—	EX. CURB & GUTTER
—	EX. CONTOUR
—	PROPOSED CONTOUR
—	EX. OVERHEAD POWER LINE
—	EX. GAS LINE
—	EX. UNDERGROUND TELEPHONE LINE
—	EX. 8" SEWER LINE
—	EX. STORM DRAIN LINE
—	EX. WATER LINE
—	EX. FIBER OPTIC LINE
—	EX. WATER METER
—	EX. FIRE HYDRANT
—	EX. SEWER MANHOLE
—	EX. POWER POLE
—	EX. WATER VALVE
—	EX. LIGHT POLE
—	EX. SIGN
—	EX. WATER METER
—	EX. TRAFFIC POLE
—	EX. GAS MANHOLE
—	EX. ELECTRIC MANHOLE
—	EX. TELEPHONE MANHOLE
—	EX. TRESS
—	EX. SEWER VALVE
—	EX. WATER MANHOLE
—	EX. FIBER OPTIC VAULT
—	EX. TELEPHONE BOX
—	EX. MAILBOX
—	EX. GAS METER
—	EX. GAS VALVE
—	PROPOSED FENCE
—	PROPOSED EASEMENT LINE
—	PROPOSED SIDEWALK
—	PROPOSED GAS LINE
—	PROPOSED ELECTRIC LINE
—	PROPOSED WATERLINE
—	PROPOSED HADICAP RAMP
—	PROPOSED STORM BOX & PIPE
—	PROPOSED SEWER MANHOLE & PIPE



NOTES:
1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE BEGINNING ANY SITE WORK.

815-2816-300
BRADLEY S. GIBSON
SPRINGDALE, AR 72782
ZONING: A-1

815-2816-300
HAYDEN HARRIS, JAMES & CHASE
SPRINGDALE, AR 72782
ZONING: A-1

815-2816-300
JOHNSON, THOMAS C. & KAREN
SPRINGDALE, AR 72782
ZONING: A-1

815-2816-300
NATHAN NICHOLS, LESLIE HOLTON
2809 S. 40TH ST.
SPRINGDALE, AR 72782
ZONING: A-1

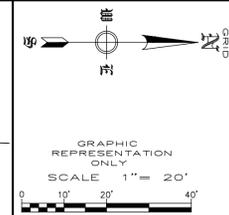
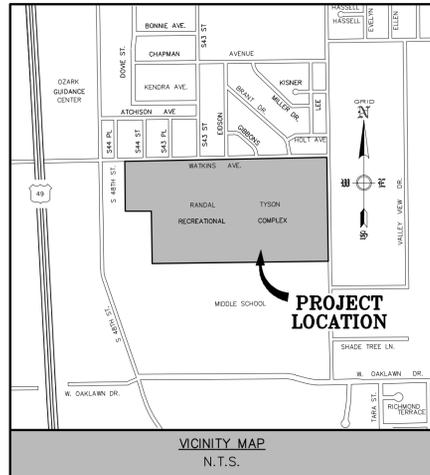
**EAST SOCCER FIELDS ADA ACCESS
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=30'
DATE: Mar 19, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 18906

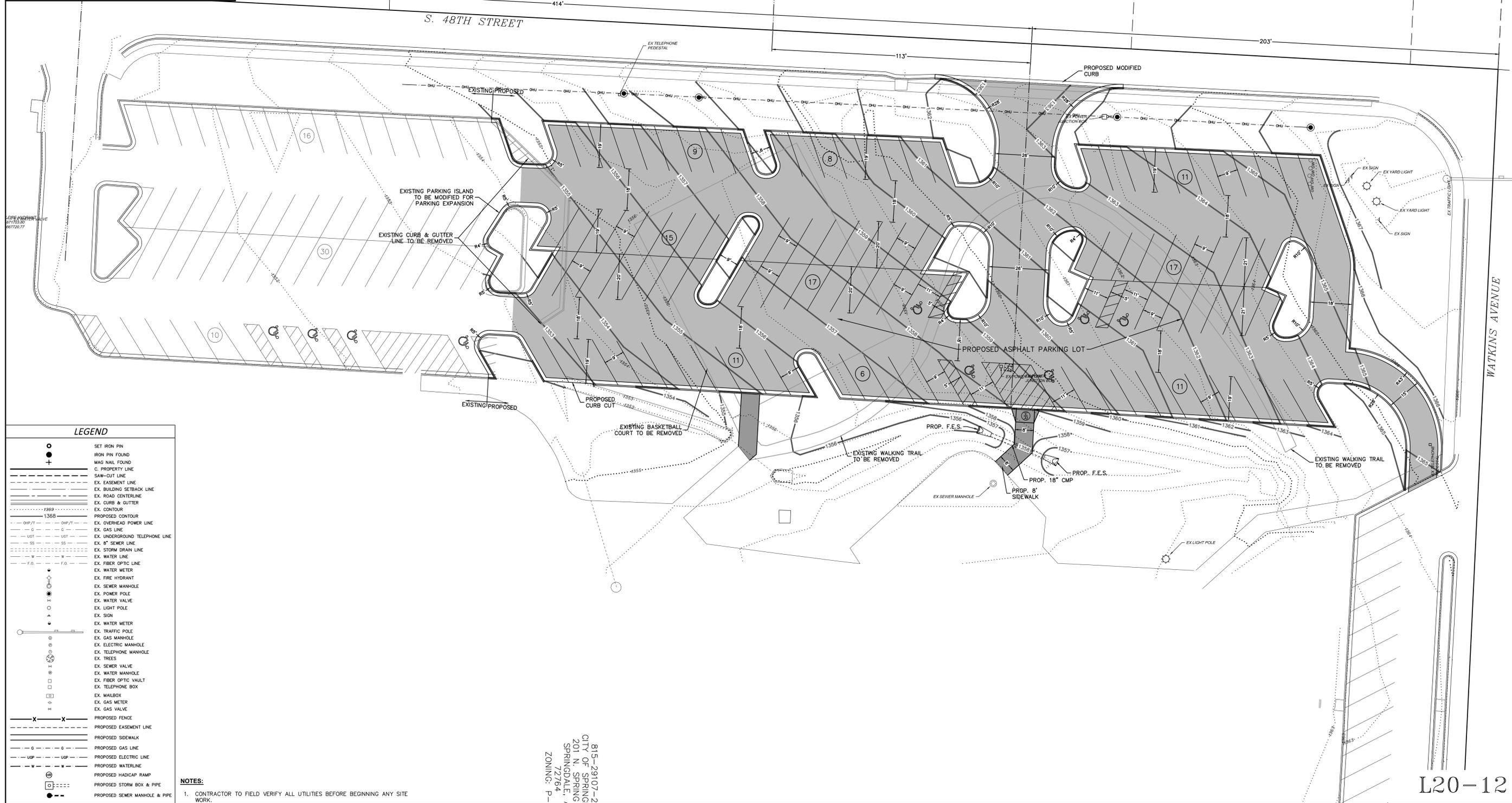
L20-12

7



815-29107-282
EPISCOPAL DIOCESE OF
ARKANSAS REVEREND
HADONOVAN
206 NORTH WESTWOOD
LANE
SPRINGDALE, AR 72762
ZONING: P-1

815-29107-290
EPISCOPAL DIOCESE OF
ARKANSAS REVEREND
HADONOVAN
206 NORTH WESTWOOD
LANE
SPRINGDALE, AR 72762
ZONING: P-1



LEGEND

○	SET IRON PIN
●	IRON PIN FOUND
+	MAG NAIL FOUND
—	C. PROPERTY LINE
- - -	SAW-CUT LINE
- - -	EX. EASEMENT LINE
- - -	EX. BUILDING SETBACK LINE
- - -	EX. ROAD CENTERLINE
- - -	EX. CURB & GUTTER
- - -	EX. CONTOUR
- - -	PROPOSED CONTOUR
- - -	EX. OVERHEAD POWER LINE
- - -	EX. GAS LINE
- - -	EX. UNDERGROUND TELEPHONE LINE
- - -	EX. 8" SEWER LINE
- - -	EX. STORM DRAIN LINE
- - -	EX. WATER LINE
- - -	EX. FIBER OPTIC LINE
- - -	EX. WATER METER
- - -	EX. FIRE HYDRANT
- - -	EX. SEWER MANHOLE
- - -	EX. POWER POLE
- - -	EX. WATER VALVE
- - -	EX. LIGHT POLE
- - -	EX. SIGN
- - -	EX. WATER METER
- - -	EX. TRAFFIC POLE
- - -	EX. GAS MANHOLE
- - -	EX. ELECTRIC MANHOLE
- - -	EX. TELEPHONE MANHOLE
- - -	EX. TREES
- - -	EX. SEWER VALVE
- - -	EX. WATER MANHOLE
- - -	EX. FIBER OPTIC VAULT
- - -	EX. TELEPHONE BOX
- - -	EX. MAILBOX
- - -	EX. GAS METER
- - -	EX. GAS VALVE
- - -	PROPOSED FENCE
- - -	PROPOSED EASEMENT LINE
- - -	PROPOSED SIDEWALK
- - -	PROPOSED GAS LINE
- - -	PROPOSED ELECTRIC LINE
- - -	PROPOSED WATERLINE
- - -	PROPOSED HADICAP RAMP
- - -	PROPOSED STORM BOX & PIPE
- - -	PROPOSED SEWER MANHOLE & PIPE

NOTES:
1. CONTRACTOR TO FIELD VERIFY ALL UTILITIES BEFORE BEGINNING ANY SITE WORK.

815-29107-2
CITY OF SPRING
201 N. SPRING
SPRINGDALE,
72764
ZONING: P-1

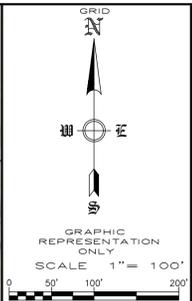
**MIRACLE FIELDS PARKING LOT EXPANSION
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Mar 19, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 18906

L20-12

8



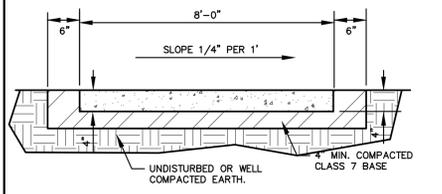
**LIGHTING REHAB PLAN
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS**

- NOTE:**
1. NEW FIXTURES TO BE HIGH PERFORMANCE L.E.D.
 2. NEW FIXTURES MUST MEET MINIMUM REQUIREMENTS FOR INFIELD/OUTFIELD LIGHTING FOOTCANDLES.
 3. EXISTING FIXTURES BASES/POLES TO BE TESTED AND EVALUATED FOR STRUCTURAL INTEGRITY
 4. CONDUIT AND EXISTING WIRING TO BE EVALUATED FOR COST SAVINGS WHERE POSSIBLE
 5. LIGHTING

LEGEND	
●	FOUND MONUMENT (AS NOTED)
—	PROPERTY LINE
---	EXISTING CONTOURS
---	EXISTING BACK OF CURB
---	EXISTING CENTERLINE
—OP—	EXISTING OVERHEAD POWER W/ POWER POLE AND GUY WIRE
---	EXISTING SEWER LINE
---	EXISTING WATERLINE
⊙	EXISTING SEWER MANHOLE
⊙	EXISTING FIRE HYDRANT
⊙	EXISTING WATER VALVE
---	PROPOSED BACK OF CURB
---	PROPOSED CONTOURS

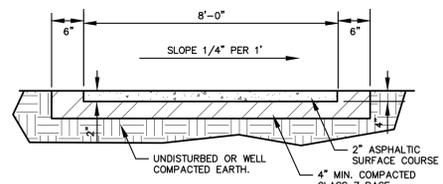
REVISION	DATE	DESCRIPTION

SCALE: 1"=100'
DATE: Mar 17, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 18906



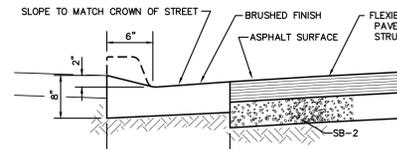
NOTE: PROVIDE EXPANSION JOINTS AT EACH STRUCTURE, CURB, AND A MINIMUM INTERVAL OF 200 FOOT.
 NOTE: TRANSVERSE JOINTS BETWEEN EXPANSION JOINTS TO BE SCORED AT 5 FOOT INTERVALS.
 NOTE: 10' TRAIL DETAIL FOR PARK INTERIOR. SEE SITE PLAN FOR LOCATIONS.

8' TRAIL DETAIL - (CONCRETE)



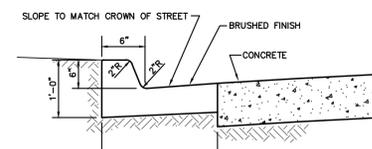
NOTE: 10' TRAIL DETAIL FOR PARK INTERIOR. SEE SITE PLAN FOR LOCATIONS.

8' TRAIL DETAIL - (ASPHALT)



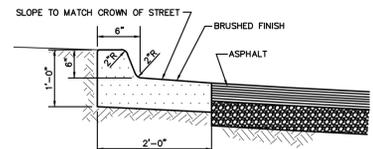
NOTE: COMPACTION REQUIREMENT UNDER CURB SAME AS UNDER STREET.

MODIFIED CONCRETE CURB & GUTTER



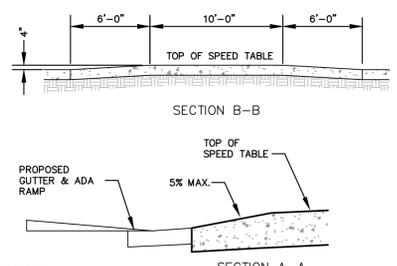
NOTE: COMPACTION REQUIREMENT UNDER CURB SAME AS UNDER STREET.

STANDARD CONCRETE CURB & GUTTER

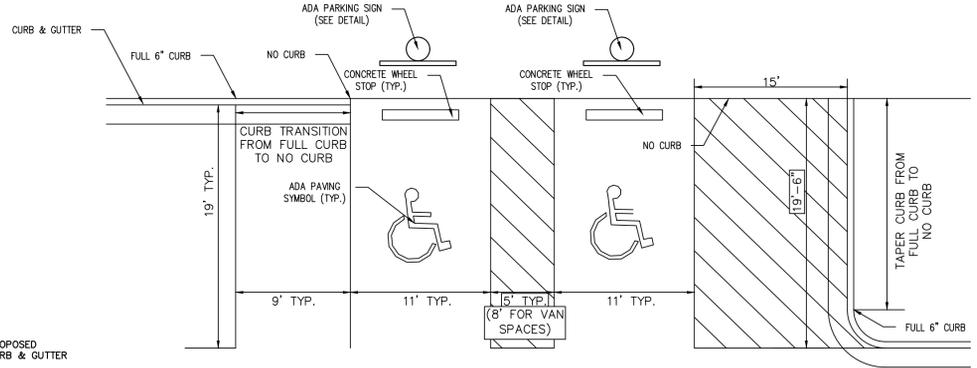


NOTE: COMPACTION REQUIREMENT UNDER CURB IS 95% OF MODIFIED PROCTOR.

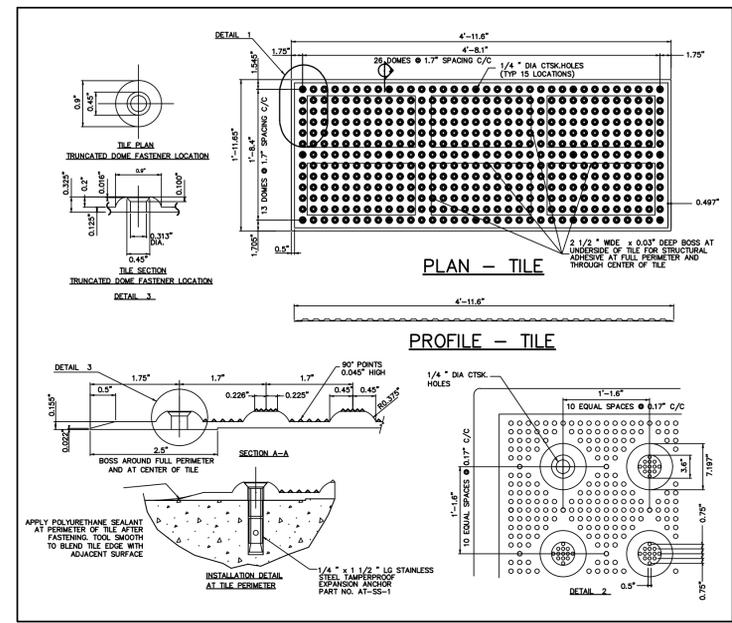
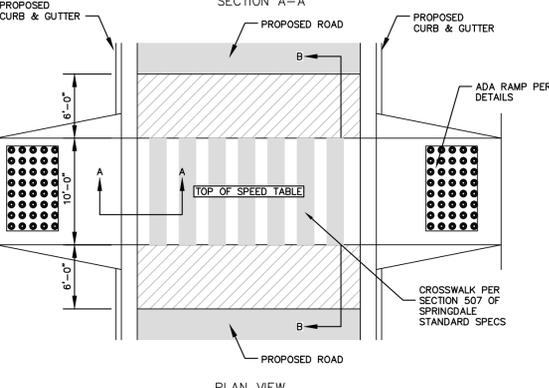
CONCRETE SPILL CURB & GUTTER



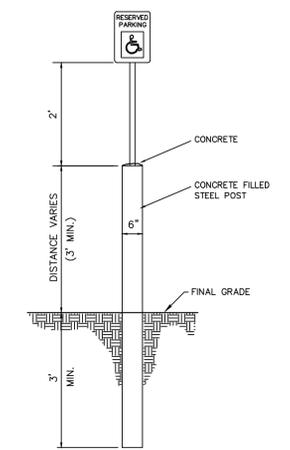
TYPICAL SPEED TABLE



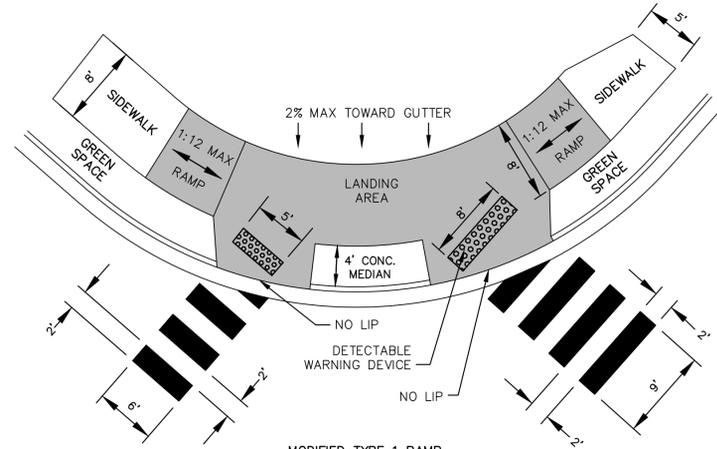
HANDICAPPED RAMP AND PARKING DETAILS (WITH CURB TAPER) N.T.S.



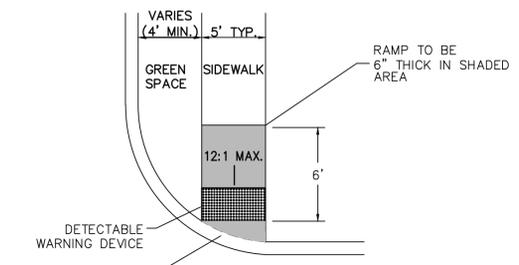
TRUNCATED DOMES DETAIL



BOLLARD DETAIL WITH HANDICAP SIGN



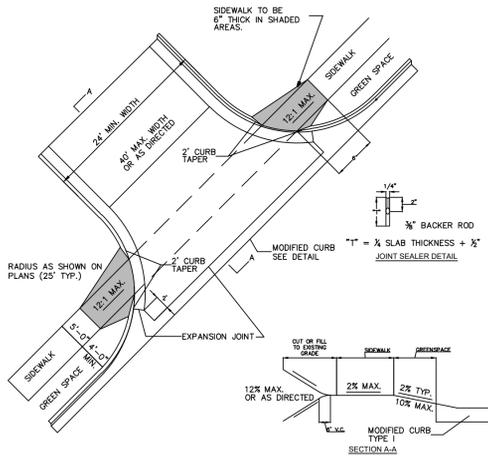
MODIFIED TYPE 1 RAMP



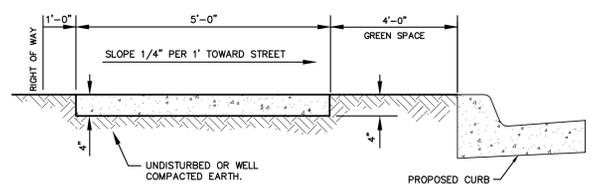
TYPE 2 RAMP

- NOTES:
1. THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
 2. THE NORMAL GUTTER SHALL BE MAINTAINED THROUGH THE AREA OF THE RAMP.
 3. THE MINIMUM THICKNESS FOR THE SHADED AREAS SHALL BE 6".
 4. DETECTABLE WARNING DEVICES SHALL BE 24" IN THE DIRECTION OF TRAVEL AND EXTEND TO THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
 5. CONCRETE PLACED IN THE SHADED AREA SHALL BE INCLUDED IN THE PRICE PER SY OF HANDICAP RAMPS PER SECTION 513.
 6. 5' CURB TRANSITIONS
 7. CONCRETE MEDIAN BETWEEN RAMPS. (1:10 MAX SLOPE) W/ 1:10 SIDE SLOPE ALONG CURB TAPER.

HANDICAP RAMP DETAILS NOT TO SCALE



DRIVEWAY DETAIL



SIDEWALK DETAIL

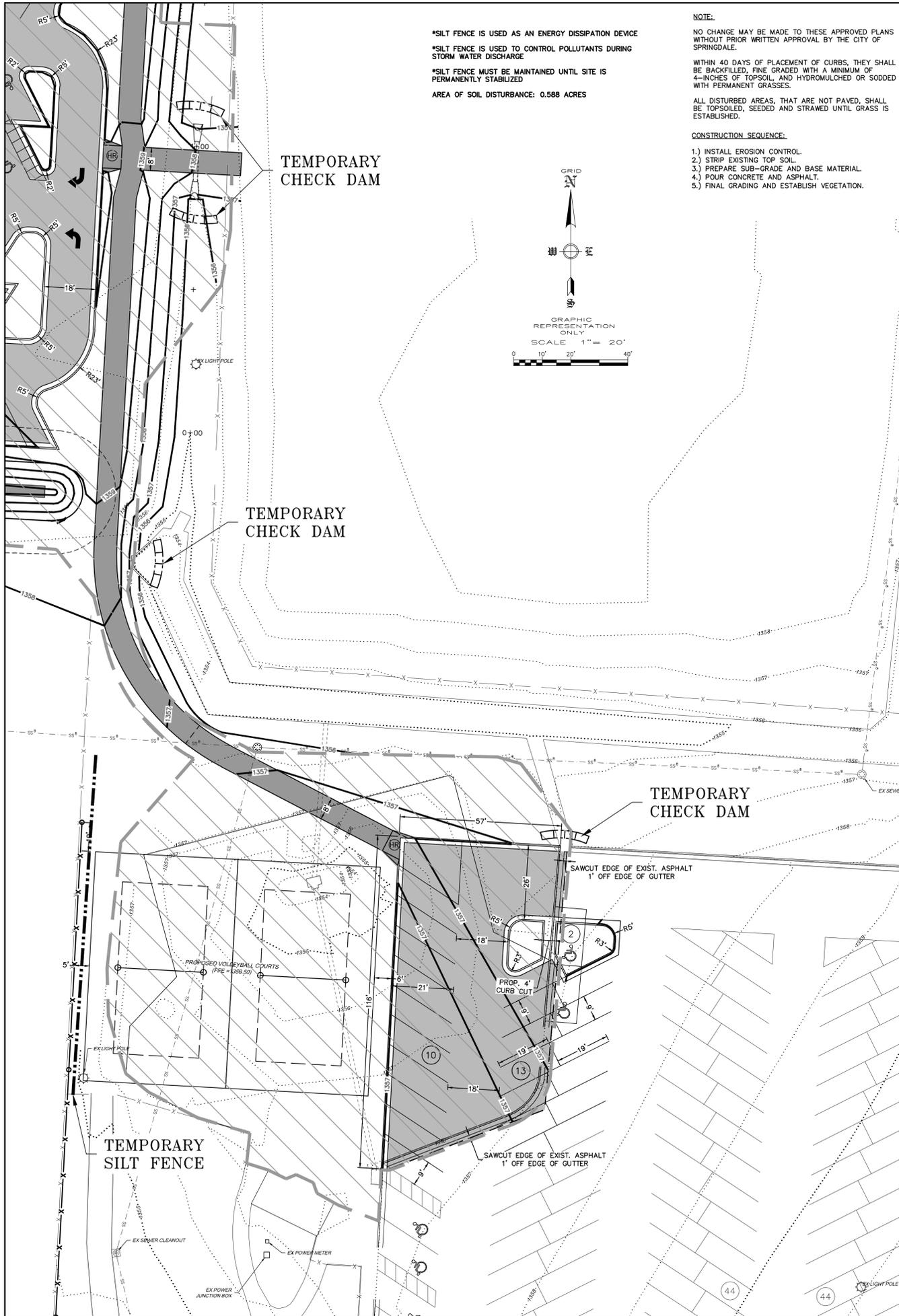
NOTE: PROVIDE EXPANSION JOINTS AT EACH STRUCTURE, CURB, AND A MINIMUM INTERVAL OF 200 FOOT.
 NOTE: TRANSVERSE JOINTS BETWEEN EXPANSION JOINTS TO BE SCORED AT 5 FOOT INTERVALS.
 NOTE: 5' SIDEWALK DETAIL FOR HYLTON ROAD IMPROVEMENT AS SHOWN ON PLAN.



TYPICAL DETAILS
 RANDALL TYSON PARK IMPROVEMENTS
 SPRINGDALE, ARKANSAS

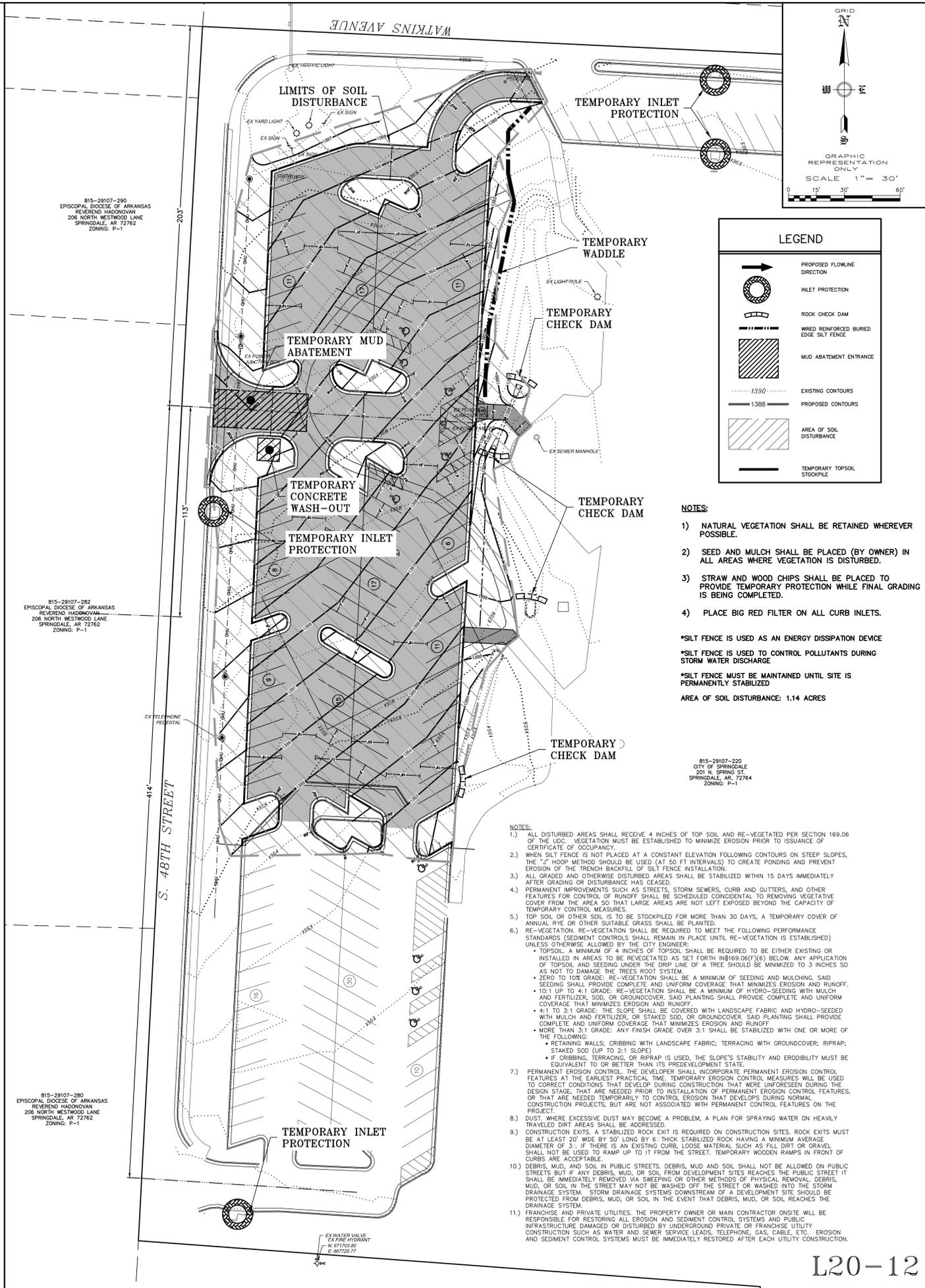
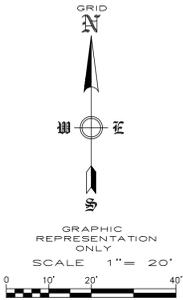
REVISION	DATE	DESCRIPTION

SCALE: N.T.S.
 DATE: Mar 17, 2020
 ENGINEER: TJA
 DRAWN BY: JSA
 W.O. #: 18906



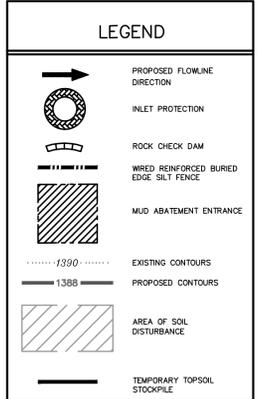
*SILT FENCE IS USED AS AN ENERGY DISSIPATION DEVICE
 *SILT FENCE IS USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE
 *SILT FENCE MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED
 AREA OF SOIL DISTURBANCE: 0.588 ACRES

NOTE:
 NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGDALE.
 WITHIN 40 DAYS OF PLACEMENT OF CURBS, THEY SHALL BE BACKFILLED, FINE GRADED WITH A MINIMUM OF 4-INCHES OF TOPSOIL, AND HYDROMULCHED OR SODDED WITH PERMANENT GRASSES.
 ALL DISTURBED AREAS, THAT ARE NOT PAVED, SHALL BE TOPSOILED, SEEDED AND STRAWED UNTIL GRASS IS ESTABLISHED.
CONSTRUCTION SEQUENCE:
 1.) INSTALL EROSION CONTROL.
 2.) STRIP EXISTING TOP SOIL.
 3.) PREPARE SUB-GRADE AND BASE MATERIAL.
 4.) POUR CONCRETE AND ASPHALT.
 5.) FINAL GRADING AND ESTABLISH VEGETATION.



*SILT FENCE IS USED AS AN ENERGY DISSIPATION DEVICE
 *SILT FENCE IS USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE
 *SILT FENCE MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED
 AREA OF SOIL DISTURBANCE: 1.14 ACRES

NOTE:
 1.) ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOP SOIL AND RE-VEGETATED PER SECTION 169.06 OF THE UDC. VEGETATION MUST BE ESTABLISHED TO MINIMIZE EROSION PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 2.) WHEN SILT FENCE IS NOT PLACED AT A CONSTANT ELEVATION FOLLOWING CONTOURS ON STEEP SLOPES, THE "J" HOOP METHOD SHOULD BE USED (AT 50 FT INTERVALS) TO CREATE PONDING AND PREVENT EROSION OF THE TRENCH BACKFILL OF SILT FENCE INSTALLATION.
 3.) ALL GRADED AND OTHERWISE DISTURBED AREAS SHALL BE STABILIZED WITHIN 15 DAYS IMMEDIATELY AFTER GRADING OR DISTURBANCE HAS CEASED.
 4.) PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED INCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
 5.) TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
 6.) RE-VEGETATION, RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER.
 * TOPSOIL: A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH IN §169.06(F)(6) BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE Drip LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREE'S ROOT SYSTEM.
 * ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 * 10:1 UP TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOIL, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 * 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDING WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 * MORE THAN 3:1 GRADE: ANY FINISH GRADE OVER 3:1 SHALL BE STABILIZED WITH ONE OR MORE OF THE FOLLOWING:
 • RETAINING WALLS; CRIBBING WITH LANDSCAPE FABRIC; TERRACING WITH GROUND COVER; RIPRAP; STAKED SOD (UP TO 2:1 SLOPE)
 • IF CRIBBING, TERRACING, OR RIPRAP IS USED, THE SLOPE'S STABILITY AND ERODIBILITY MUST BE EQUIVALENT TO OR BETTER THAN ITS PREDEVELOPMENT STATE.
 7.) PERMANENT EROSION CONTROL. THE DEVELOPER SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES AT THE EARLIEST PRACTICAL TIME. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE UNFORESEEN DURING THE DESIGN STAGE, THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT EROSION CONTROL FEATURES, OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PROJECTS, BUT ARE NOT ASSOCIATED WITH PERMANENT CONTROL FEATURES ON THE PROJECT.
 8.) DUST. WHERE EXCESSIVE DUST MAY BECOME A PROBLEM, A PLAN FOR SPRAYING WATER ON HEAVILY TRAVELED DIRT AREAS SHALL BE ADDRESSED.
 9.) CONSTRUCTION EXITS. A STABILIZED ROCK EXIT IS REQUIRED ON CONSTRUCTION SITES. ROCK EXITS MUST BE AT LEAST 20' WIDE BY 50' LONG BY 6" THICK STABILIZED ROCK HAVING A MINIMUM AVERAGE DIAMETER OF 3". IF THERE IS AN EXISTING CURB, LOOSE MATERIAL SUCH AS FILL DIRT OR GRAVEL SHALL NOT BE USED TO RAMP UP TO IT FROM THE STREET. TEMPORARY WOODEN RAMPS IN FRONT OF CURBS ARE ACCEPTABLE.
 10.) DEBRIS, MUD, AND SOIL IN PUBLIC STREETS. DEBRIS, MUD AND SOIL SHALL NOT BE ALLOWED ON PUBLIC STREETS BUT IF ANY DEBRIS, MUD, OR SOIL FROM DEVELOPMENT SITES REACHES THE PUBLIC STREET IT SHALL BE IMMEDIATELY REMOVED VIA SWEEPING OR OTHER METHODS OF PHYSICAL REMOVAL. DEBRIS, MUD, OR SOIL IN THE STREET MAY NOT BE WASHED OFF THE STREET OR WASHED INTO THE STORM DRAINAGE SYSTEM. STORM DRAINAGE SYSTEMS DOWNSTREAM OF A DEVELOPMENT SITE SHOULD BE PROTECTED FROM DEBRIS, MUD, OR SOIL IN THE EVENT THAT DEBRIS, MUD, OR SOIL REACHES THE DRAINAGE SYSTEM.
 11.) FRANCHISE AND PRIVATE UTILITIES. THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGED OR DISTURBED BY UNDERGROUND PRIVATE OR FRANCHISE UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.



815-29107-290
 EPISCOPAL DIOCESE OF ARKANSAS
 REVEREND HADONOVAN
 206 NORTH WESTWOOD LANE
 SPRINGDALE, AR 72762
 ZONING: P-1

815-29107-282
 EPISCOPAL DIOCESE OF ARKANSAS
 REVEREND HADONOVAN
 206 NORTH WESTWOOD LANE
 SPRINGDALE, AR 72762
 ZONING: P-1

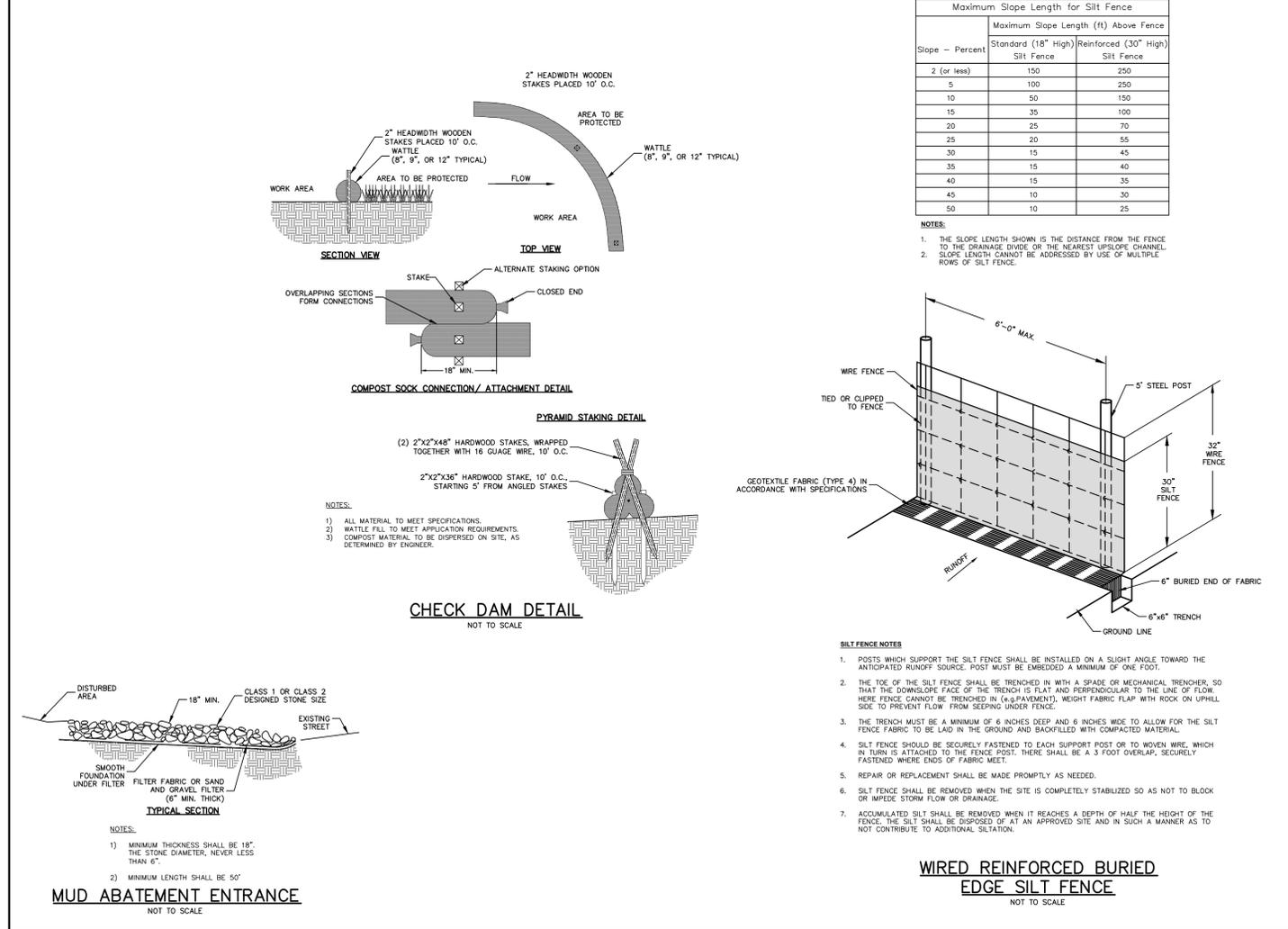
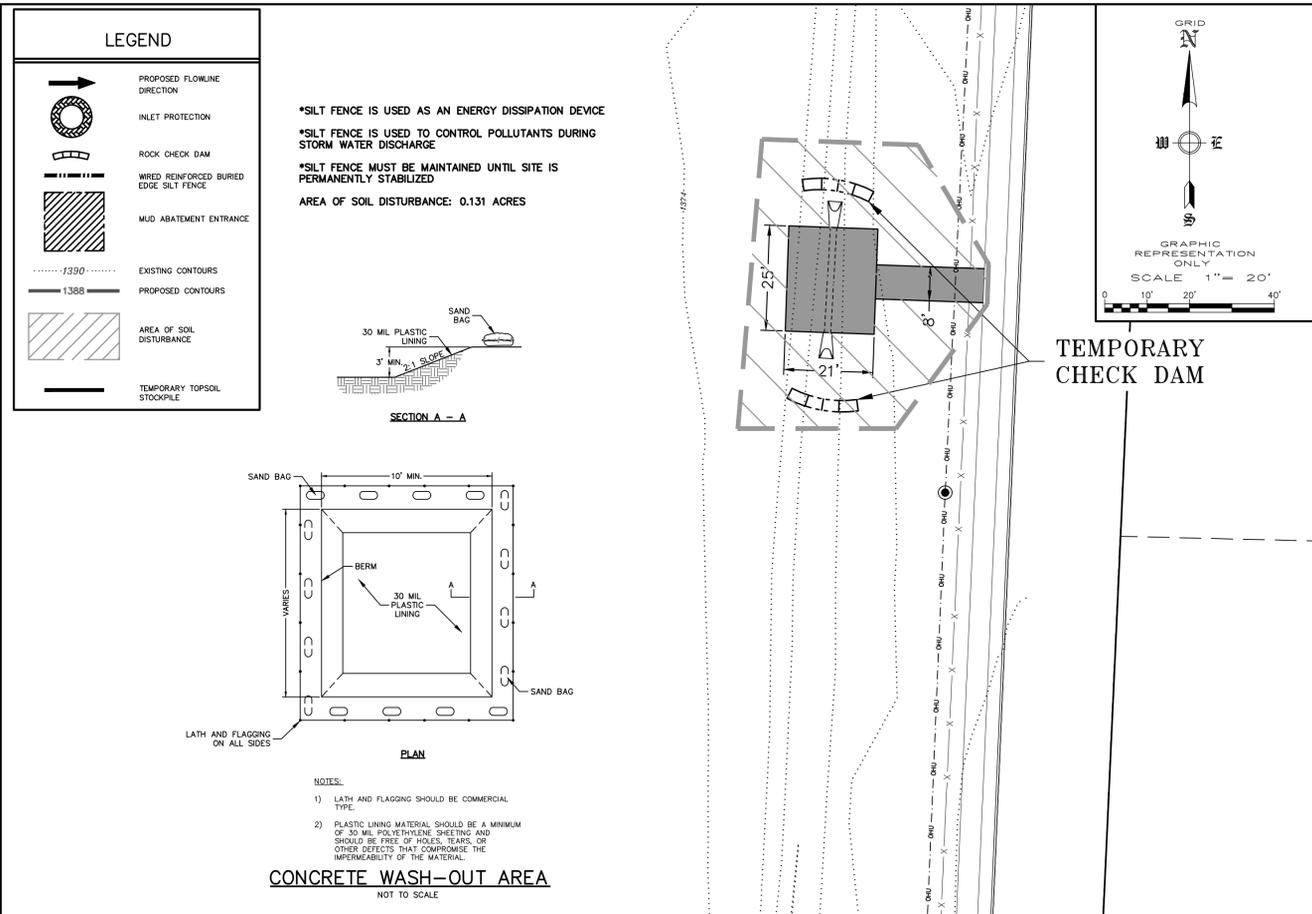
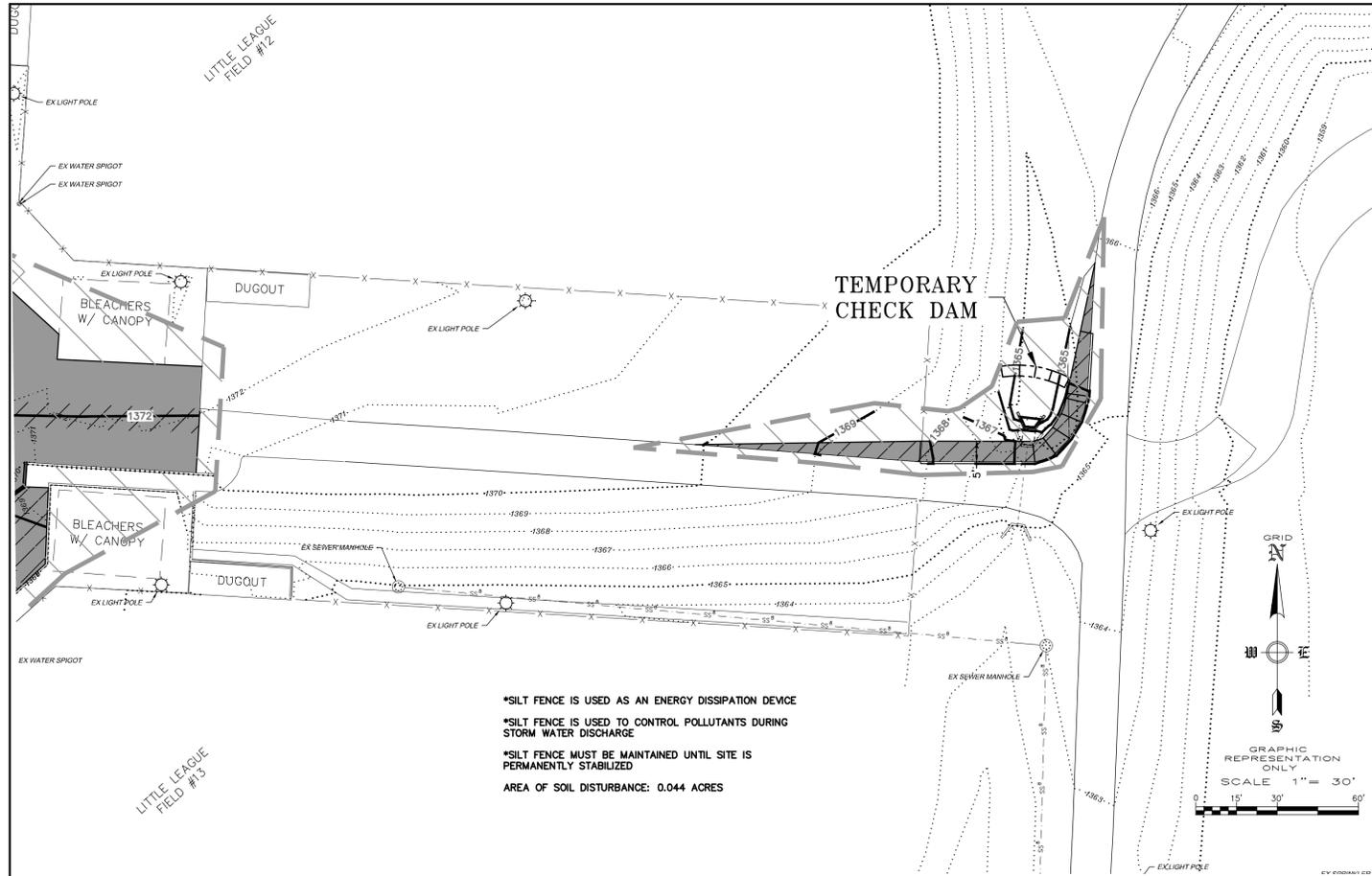
815-29107-280
 EPISCOPAL DIOCESE OF ARKANSAS
 REVEREND HADONOVAN
 206 NORTH WESTWOOD LANE
 SPRINGDALE, AR 72762
 ZONING: P-1



**STORM WATER POLLUTION PREVENTION PLAN
 RANDALL TYSON PARK IMPROVEMENTS
 SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
 DATE: Mar 19, 2020
 ENGINEER: JJA
 DRAWN BY: JRC
 W.O. #: 18906



STORM WATER POLLUTION PREVENTION PLAN
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS

815-2 BRADLE
2905 SPRINGDALE ZONI

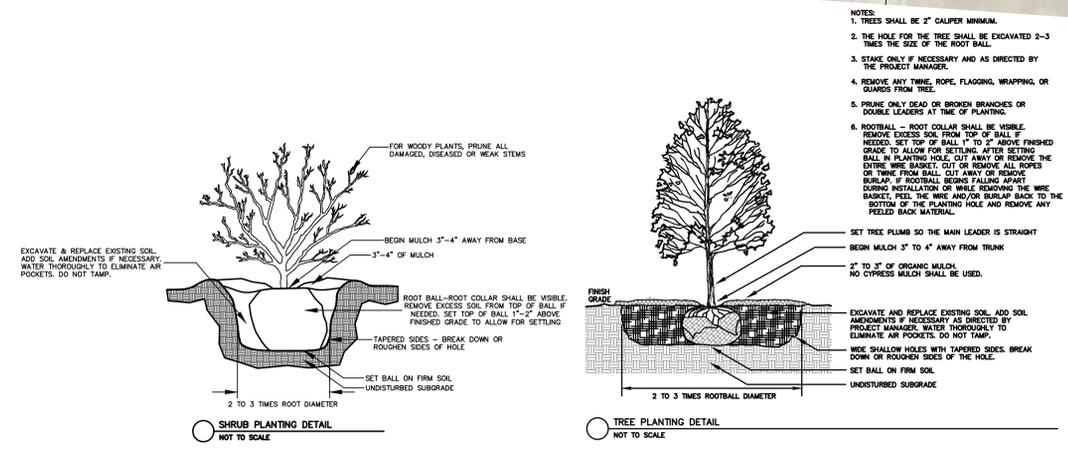
REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
 DATE: Mar 19, 2020
 ENGINEER: JJA
 DRAWN BY: JRC
 W.O. #: 18906

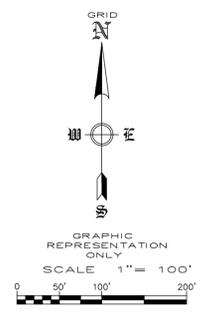


INDEX OF TREES				
TREE SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	SIZE
	EASTERN WHITE PINE	Pinus strobus	11	6' H B & B
	NORTHERN RED OAK	Quercus rubra	27	2" Cal B & B
	LACEBARK ELM	Ulmus parvifolia	10	2" Cal B & B
	SUGAR MAPLE	Acer saccharum	37	2" Cal B & B
	WILLOW OAK	Quercus phellos	24	2" Cal B & B
	EASTERN REDBUD	Cercis canadensis	18	2" Cal B & B
	PRAIRIEFIRE CRABAPPLE	Malus Species 'Prairiefire'	13	2" Cal B & B

- LANDSCAPED AREAS:**
- LANDSCAPE BEDS AND LANDSCAPED ENTRY AREAS:**
- LANDSCAPE NOTES:**
1. AUTOMATIC IRRIGATION SYSTEM OR HOSE BIBS WILL BE PROVIDED FOR ALL LANDSCAPED AREAS
 2. SOIL SHALL BE AMENDED AND ALL ROCKS AND FOREIGN MATERIAL SHALL BE REMOVED PRIOR TO ANY LANDSCAPE INSTALLATION
 3. NOTE THE SIZE OF LANDSCAPE TREES AND MATERIALS AT TIME OF PLANTING
 4. WIRE BASKETS AND BURLAP TO BE REMOVED DURING TREE PLANTING
 5. ALL PLANTING BEDS SHALL RECEIVE 6" OF TOPSOIL FREE OF ROCKS/WEEDS/DEBRIS PRIOR TO INSTALLATION OF PLANT MATERIAL
 6. ALL PLANTING BEDS SHALL RECEIVE 3"-4" OF ORGANIC MULCH AT TIME OF INSTALLATION
 7. ALL PLANTING BEDS SHALL BE CONTAINED BY EDGING OR MATERIAL OTHER THAN VEGETATION/SOD
 8. SHADE TREES SHALL HAVE A MIN. CALIPER OF 2" AND A HEIGHT OF 8' ONCE INSTALLED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY LIVING CONDITION, AND IF PLANT MATERIAL DIES IT SHALL BE REPLACED WITHIN THE NEXT APPROPRIATE GROWING SEASON
 10. IF CONFLICTS WITH PROPOSED LIGHTS, FIRE HYDRANTS, OR OTHER SITE FEATURES EXIST, TREES OR SHRUBS SHALL BE MOVED AND SHALL NOT INTERFERE WITH PROPOSED FEATURES.
 11. TREES SHALL BE STAKED AS NECESSARY TO PREVENT LEANING OR FALLING OVER.
 12. TREES SHALL BE AT LEAST 5 FEET FROM ANY UTILITY MAIN LINES.
 13. LANDSCAPING SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS FROM DATE OF INSTALLATION



- NOTES:**
1. TREES SHALL BE 2" CALIPER MINIMUM.
 2. THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
 3. STAKE ONLY IF NECESSARY AND AS DIRECTED BY THE PROJECT MANAGER.
 4. REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
 5. PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
 6. ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. SET TOP OF BALL 1" TO 2" ABOVE FINISHED GRADE TO ALLOW FOR SETTLING. AFTER SETTING BALL IN PLANTING HOLE, CUT AWAY OR REMOVE THE OUTER WIRE BASKET, CUT OR REMOVE ALL WIPES BURLAP. IF ROOTBALL BEINGS FALLING APART DURING INSTALLATION OR WHILE REMOVING THE WIRE BASKET, PEEL THE WIRE AND/OR BURLAP BACK TO THE BOTTOM OF THE PLANTING HOLE AND REMOVE ANY FIELDED BACK MATERIAL.



LANDSCAPE PLAN
RANDALL TYSON PARK IMPROVEMENTS
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: 1"=100'
 DATE: Mar 19, 2020
 ENGINEER: TJA
 DRAWN BY: J.S.
 W.O. #: 18906

Memo

To: Planning Commission
From: Staff
Date: May 5, 2020
RE: L20 14 Large Scale Development Go Punch List

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-14. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Commercial Design Standards Comments

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade.
Developments shall use articulating features such as arcades; display

windows, entry areas, or awnings along at least sixty (60) percent of the façade. (Variance Item)

2. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan. (Variance Item)
3. Each principal building on a site shall have clearly defined, highly visible customer entrances featuring any three (3) of the following:
 - o Canopies or porticos
 - o Overhangs
 - o Recesses/projections
 - o Arcades
 - o Raised corniced parapets over the door
 - o Peaked roof forms
 - o Arches
 - o Outdoor patios
 - o Display windows
 - o Architectural details such as tile work and moldings which are integrated into the building structure and design
 - o Integral planters or wing walls that incorporate landscaped areas and/or places for sitting. (Variance Item)
4. Predominant exterior building materials shall be high quality materials. These include, without limitation:
 - o Brick
 - o Native/natural stone
 - o Synthetic Stone
 - o Concrete masonry units—standard smooth face units with integral color
 - o Synthetic stucco/EIFS
 - o Architectural precast concrete
 - o Decorative face concrete masonry units, such as splitface, scored, fluted, ground face, burnished, etc.
 - o Glass
 - o Wood – natural or composite (Variance Item)
5. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
 - o Smooth-faced concrete block
 - o Tilt-up concrete panels
 - o Pre-fabricated steel panels (Variance Item)

Engineering Comments

1. Chapter 106 – Stormwater Drainage

2. **106.5.4.11.1**** - A General Note is needed on the Site Plan stating that "A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department." <http://www.springdalear.gov/DocumentCenter/View/4652/DetentionRetention-Certification-Form-2020>

Even though this isn't a traditional detention pond, we will still require the certification to show that the drainage infrastructure was constructed as designed

Revise narrative in drainage report that mentions detention pond since that is no longer in the design.

3. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.

- o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

5. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - **Adjust sidewalk layout around existing pole and fire hydrant, avoid sharp and short tangents.**
 - **Set monuments at all property corners.**
 - **Street light should face the street.**
 - **Provide wheel blocks where 5' sidewalk is adjacent to curb.**
 - **Any screening required?**
 - **Temporary Construction Entrance Detail, Dimension the width.**

PRELIMINARY PLANS FOR A

LARGE SCALE DEVELOPMENT

TO SERVE

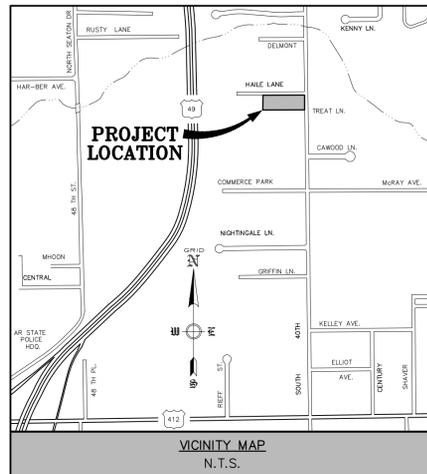
GO PUNCH LIST

A COMMERCIAL DEVELOPMENT
 IN THE CITY OF
SPRINGDALE, ARKANSAS
 L20-14



CONTACT LIST	
BLACK HILLS ENERGY	SCOTT STOKES - 479-575-1424
OZARKS ELECTRIC	MIKE PHIPPS - 479-684-4696
SPRINGDALE WATER UTILITIES	LARRY PECKHAM - 479-751-5751
COX COMMUNICATION	CHRIS BYRD - 479-751-2000
AT&T	LAYNE RHODES - 479-442-1977
SPRINGDALE FIRE DEPARTMENT	DUANE MILLER - 479-750-8190

INDEX OF SHEETS	
SHEET No.	DESCRIPTION
1	LARGE SCALE DEVELOPMENT
2	STORM DRAINAGE & GRADING PLAN
3	UTILITY PLAN
4	TYPICAL DETAILS
5	LANDSCAPE PLAN
6	LIGHTING PLAN
7	STORM WATER POLLUTION PREVENTION PLAN



April 23, 2020

BY
ENGINEERING SERVICES INC.



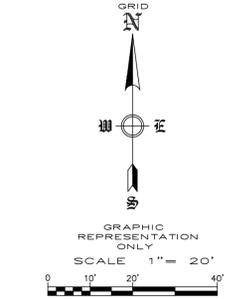
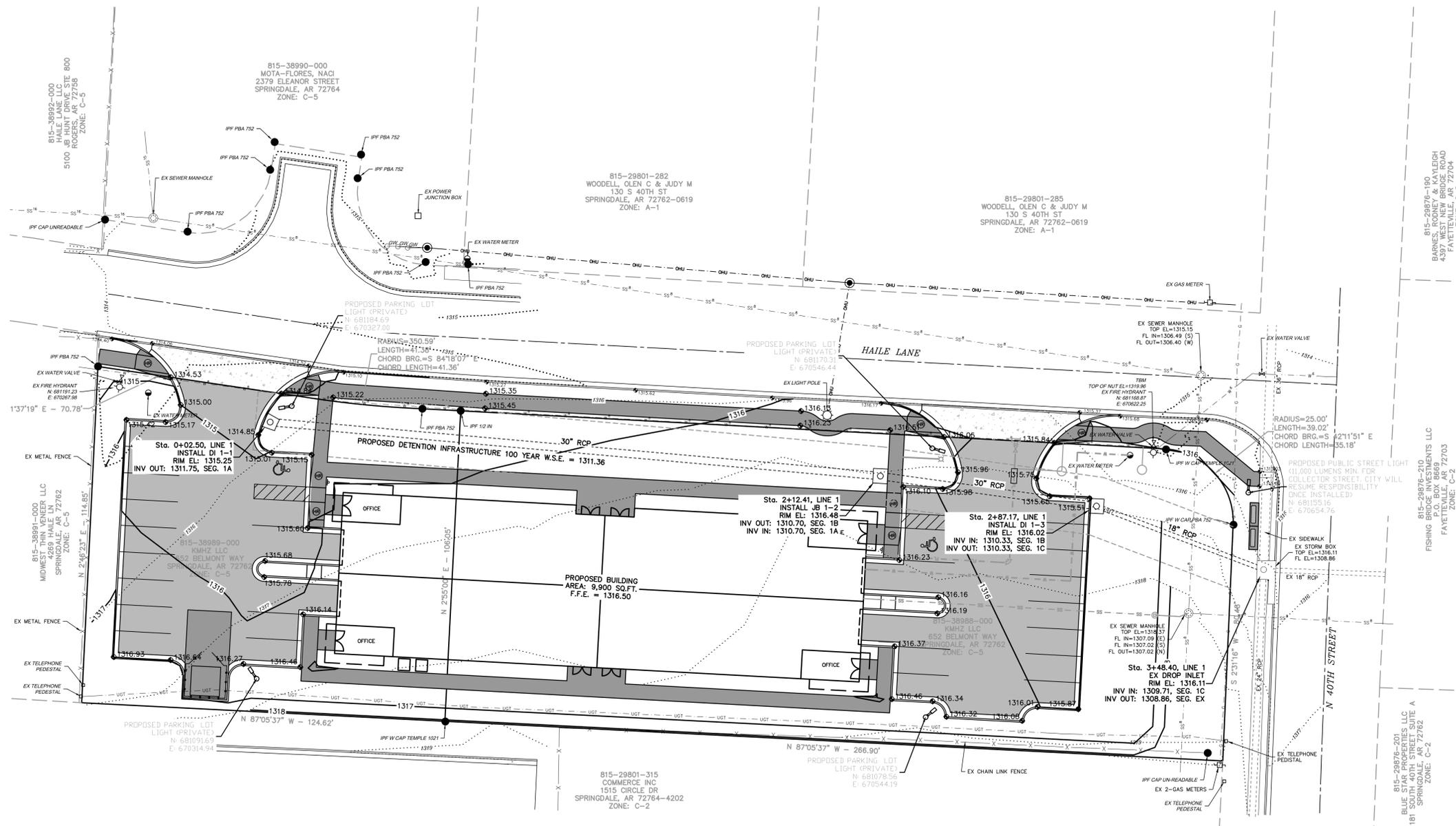
CONSULTING ENGINEERS
 SPRINGDALE, ARKANSAS
 PHONE: 479-751-8733
 FAX: 479-751-8746
 WWW.ENGINEERINGSERVICES.COM

REVIEW OF THESE PLANS IS LIMITED TO COMPLIANCE WITH CITY CODES AND REGULATIONS. BY REVIEWING AND APPROVING THESE PLANS THE REVIEWER AND THE CITY OF SPRINGDALE ASSUME NO RESPONSIBILITY FOR ANY ERRORS OR OMISSIONS IN THE PLANS. THE ADEQUACY OF THE PLANS IS THE SOLE RESPONSIBILITY OF THE DESIGN ENGINEER HOWEVER, THE CITY OF SPRINGDALE RESERVES THE RIGHT TO REQUIRE CORRECTIVE ACTION, IF ANY INADEQUACIES ARE FOUND AFTER THE IMPROVEMENTS ARE CONSTRUCTED.

THOMAS J. APPEL, P.E. No. 13828
 ENGINEERING SERVICES, INC.

NOTES :

- 1) ALL STREET AND DRAINAGE CONSTRUCTION MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF SPRINGDALE, ARKANSAS, AS CONTAINED IN CHAPTER 110, ART. III, OF THE CODE OF ORDINANCES, CITY OF SPRINGDALE, ARKANSAS.
- 2) ALL WATER AND SEWER CONSTRUCTION MUST COMPLY WITH THE SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES OF THE CITY OF SPRINGDALE WATER UTILITIES.
- 3) ALL BUILDINGS SHALL BE DESIGNED ACCORDING TO THE 2017 SPRINGDALE, ARKANSAS ORDINANCES CHAPTER 22, ARTICLE II. SUPPLEMENT 102- CODIFIED THROUGH ORDINANCE NO. 5210, ENACTED SEPTEMBER 12, 2017. UPDATED ON NOVEMBER 2, 2017.



OWNER / DEVELOPER: KMHZ LLC
652 BELMONT WAY
SPRINGDALE, AR 72762

GO PUNCH LIST
P.O. BOX 724
SPRINGDALE, AR 72765

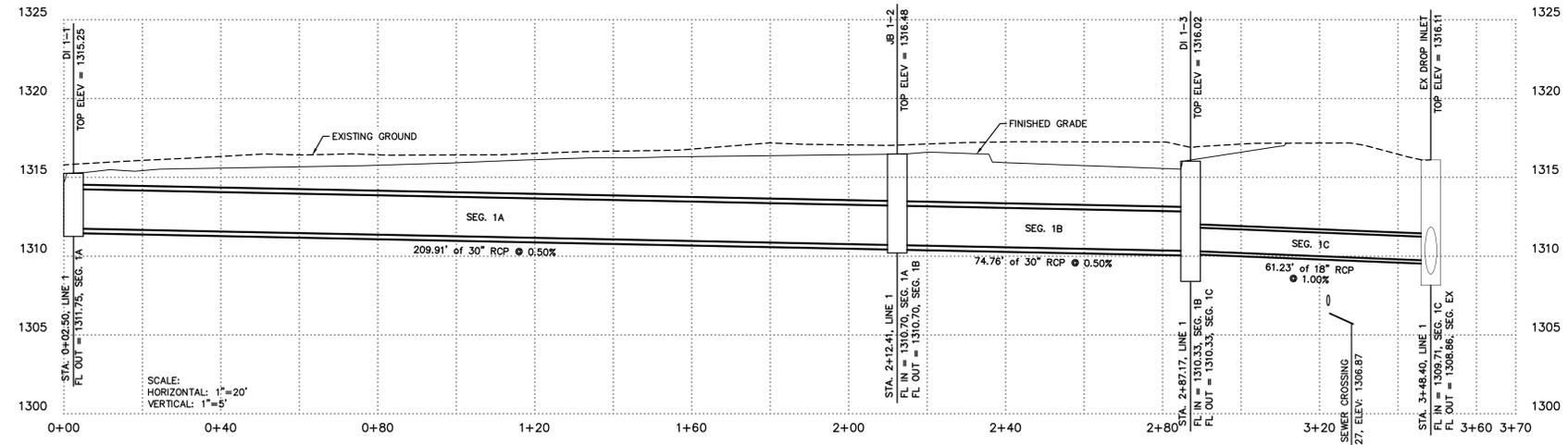
ENGINEER/SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
SPRINGDALE, AR 72762

ZONING: C-5 (COMMERCIAL)

LEGEND

●	IRON PIN FOUND
—	PROPERTY LINE
- - -	EX. EASEMENT LINE
- - -	EX. BUILDING SETBACK LINE
- - -	EX. CURB & GUTTER
- - -	EX. CONTOUR
- - -	PROPOSED CONTOUR
- - -	EX. GAS LINE
- - -	EX. OVERHEAD UTILITIES
- - -	EX. 8" SEWER LINE
- - -	EX. STORM DRAIN LINE
- - -	EX. WATER LINE
- - -	EX. UNDERGROUND TELEPHONE LINE
- - -	EX. FENCE
○	EX. WATER METER
○	EX. FIRE HYDRANT
○	EX. SEWER MANHOLE
○	EX. POWER POLE
○	EX. WATER VALVE
○	EX. LIGHT POLE
○	EX. TELEPHONE BOX
○	EX. GAS METER

LINE 1



REVISION	DATE	DESCRIPTION

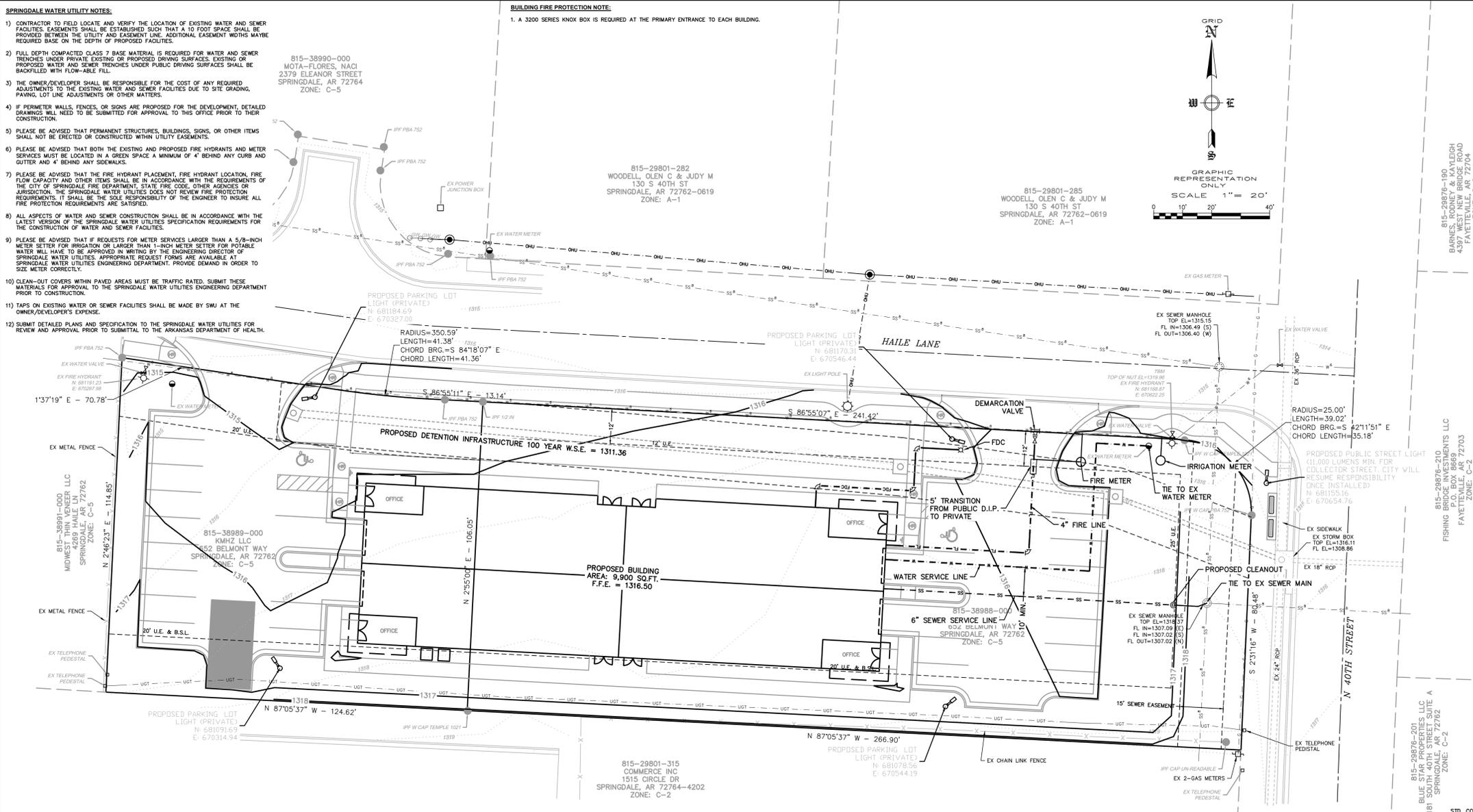
SCALE: 1"=20'
DATE: Apr 22, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 20918

SPRINGDALE WATER UTILITY NOTES:

- CONTRACTOR TO FIELD LOCATE AND VERIFY THE LOCATION OF EXISTING WATER AND SEWER FACILITIES. EASEMENTS SHALL BE ESTABLISHED SUCH THAT A 10 FOOT SPACE SHALL BE PROVIDED BETWEEN THE UTILITY AND EASEMENT LINE. ADDITIONAL EASEMENT NOTES MAY BE REQUIRED BASE ON THE DEPTH OF PROPOSED FACILITIES.
- FULL DEPTH COMPACTED CLASS 7 BASE MATERIAL IS REQUIRED FOR WATER AND SEWER TRENCHES UNDER PRIVATE EXISTING OR PROPOSED DRIVING SURFACES. EXISTING OR PROPOSED WATER AND SEWER TRENCHES UNDER PUBLIC DRIVING SURFACES SHALL BE BACKFILLED WITH FLOW-ABLE FILL.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING, PAVING, LOT LINE ADJUSTMENTS OR OTHER MATTERS.
- IF PERMETER WALLS, FENCES, OR SIGNS ARE PROPOSED FOR THE DEVELOPMENT, DETAILED DRAWINGS WILL NEED TO BE SUBMITTED FOR APPROVAL TO THIS OFFICE PRIOR TO THEIR CONSTRUCTION.
- PLEASE BE ADVISED THAT PERMANENT STRUCTURES, BUILDINGS, SIGNS, OR OTHER ITEMS SHALL NOT BE ERRECTED OR CONSTRUCTED WITHIN UTILITY EASEMENTS.
- PLEASE BE ADVISED THAT BOTH THE EXISTING AND PROPOSED FIRE HYDRANTS AND METER SERVICES MUST BE LOCATED IN A GREEN SPACE A MINIMUM OF 4' BEHIND ANY CURB AND GUTTER AND 4' BEHIND ANY SIDEWALKS.
- PLEASE BE ADVISED THAT THE FIRE HYDRANT PLACEMENT, FIRE HYDRANT LOCATION, FIRE FLOW CAPACITY AND OTHER ITEMS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SPRINGDALE FIRE DEPARTMENT, STATE FIRE CODE, OTHER AGENCIES OR JURISDICTION. THE SPRINGDALE WATER UTILITIES DOES NOT REVIEW FIRE PROTECTION REQUIREMENTS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE ENGINEER TO INSURE ALL FIRE PROTECTION REQUIREMENTS ARE SATISFIED.
- ALL ASPECTS OF WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE SPRINGDALE WATER UTILITIES SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER AND SEWER FACILITIES.
- PLEASE BE ADVISED THAT IF REQUESTS FOR METER SERVICES LARGER THAN A 5/8-INCH METER SETTER FOR IRRIGATION OR LARGER THAN 1-INCH METER SETTER FOR POTABLE WATER WILL HAVE TO BE APPROVED IN WRITING BY THE ENGINEERING DIRECTOR OF SPRINGDALE WATER UTILITIES. APPROPRIATE REQUEST FORMS ARE AVAILABLE AT SPRINGDALE WATER UTILITIES ENGINEERING DEPARTMENT. PROVIDE DEMAND IN ORDER TO SIZE METER CORRECTLY.
- CLEAN-OUT COVERS WITHIN PAVED AREAS MUST BE TRAFFIC RATED. SUBMIT THESE MATERIALS FOR APPROVAL TO THE SPRINGDALE WATER UTILITIES ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- TAPS ON EXISTING WATER OR SEWER FACILITIES SHALL BE MADE BY SWU AT THE OWNER/DEVELOPER'S EXPENSE.
- SUBMIT DETAILED PLANS AND SPECIFICATION TO THE SPRINGDALE WATER UTILITIES FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL TO THE ARKANSAS DEPARTMENT OF HEALTH.

BUILDING FIRE PROTECTION NOTE:

- A 3200 SERIES KNOX BOX IS REQUIRED AT THE PRIMARY ENTRANCE TO EACH BUILDING.



OWNER / DEVELOPER : KMHZ LLC
652 BELMONT WAY
SPRINGDALE, AR 72762

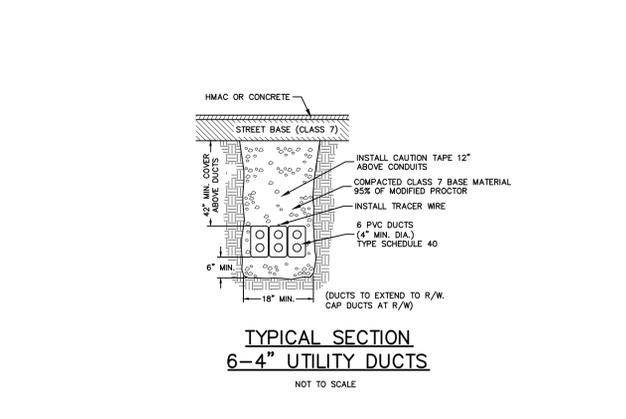
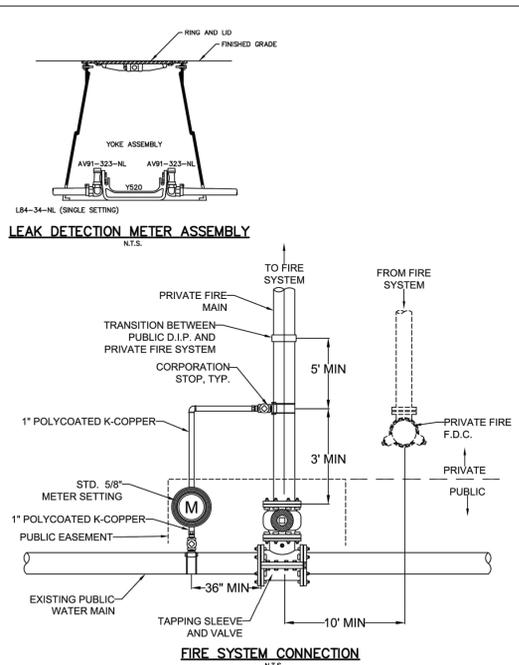
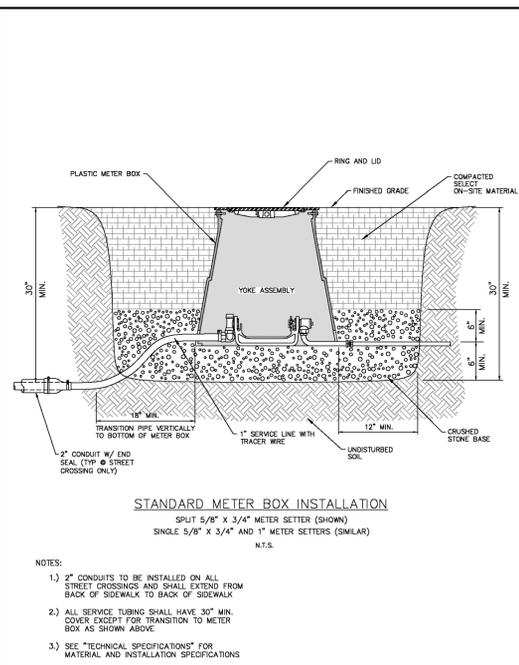
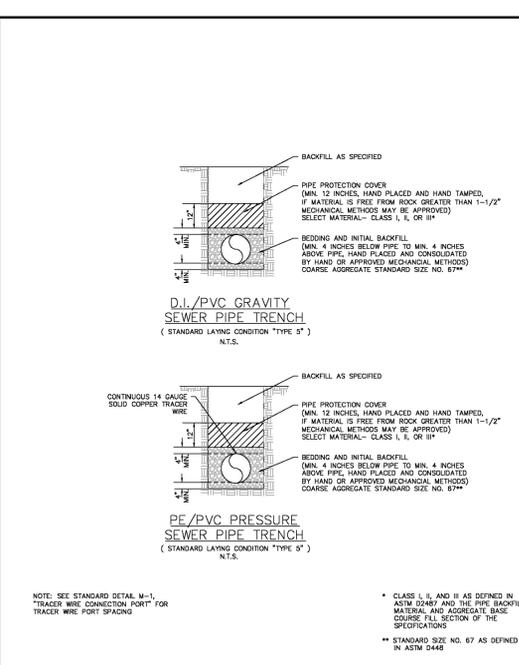
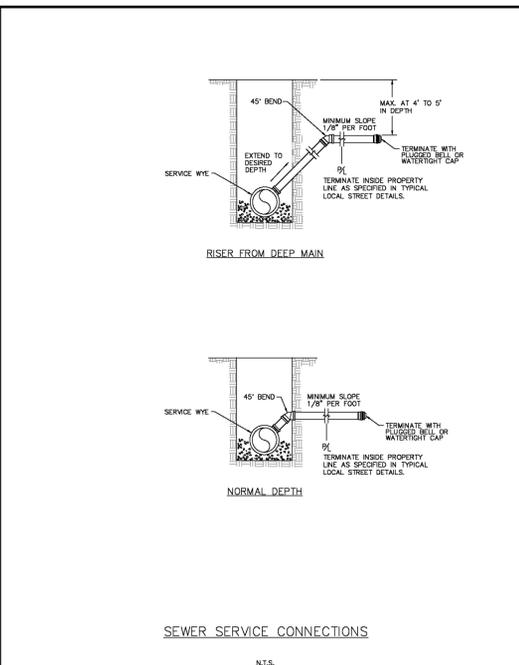
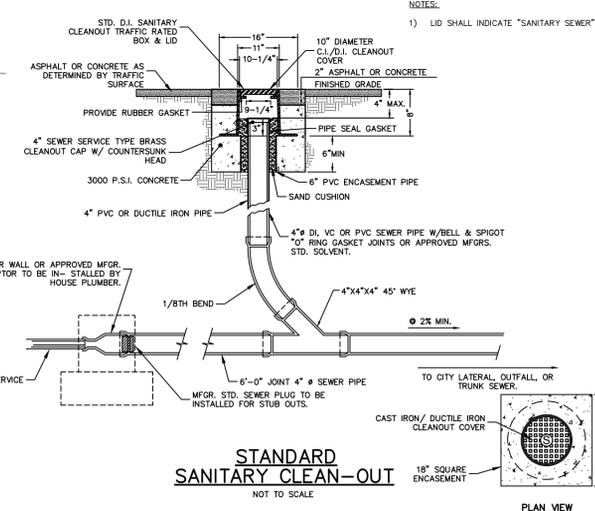
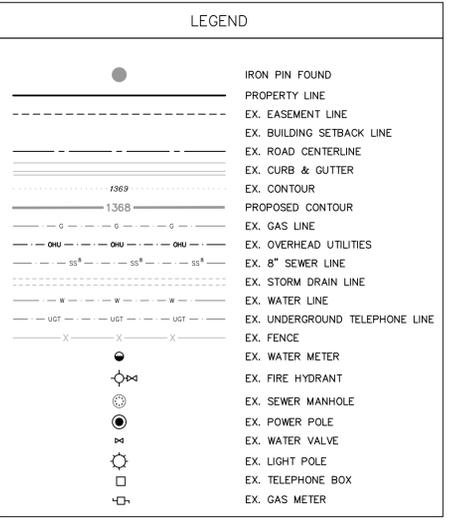
GO PUNCH LIST
P.O. BOX 724
SPRINGDALE, AR 72765

ENGINEER/SURVEYOR : ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72762

ZONING : C-5 (COMMERCIAL)

SETBACKS : FRONT SETBACK = 30' (50' IF PARKING BETWEEN RIGHT-OF-WAY AND BUILDING)

FLOOD PLAIN ZONING :
THIS PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE F.I.R.M. MAP #051430070 F, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS, PANEL 70 OF 575. EFFECTIVE DATE: MAY 16, 2008.



SPRINGDALE WATER UTILITIES
STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION
DRAWN BY: TJS
DRAWING NO.: S-16
DATE: MARCH 2008

SPRINGDALE WATER UTILITIES
STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION
DRAWN BY: TJS
DRAWING NO.: S-19
DATE: AUGUST 2014

SPRINGDALE WATER UTILITIES
STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION
DRAWN BY: TJS
DRAWING NO.: S-23
DATE: OCTOBER 2014

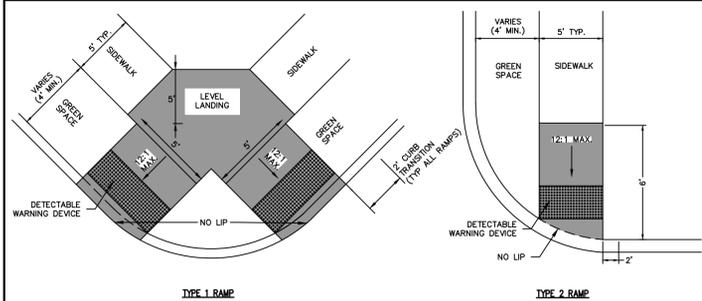
SPRINGDALE WATER UTILITIES
STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION
DRAWN BY: crk
DRAWING NO.: S-36
DATE: FEB. 2016



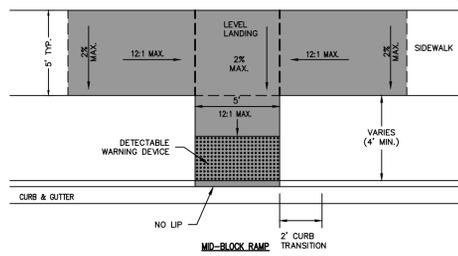
**UTILITY PLAN
GO PUNCH LIST
SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Apr 23, 2020
ENGINEER: TJA
DRAWN BY: JSA
W.O. #: 20918



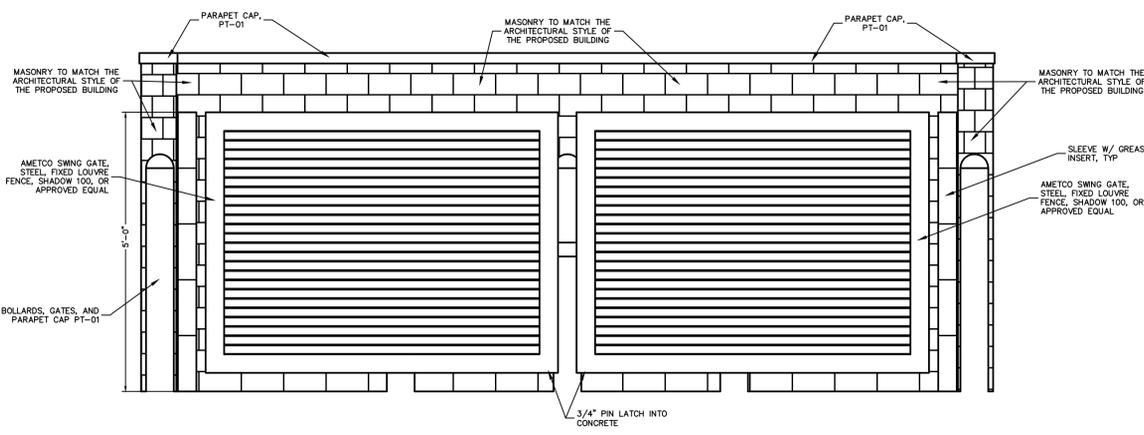
- NOTES:
- 1) THE LENGTH OF THE RAMP SHALL BE SUCH THAT THE SLOPE DOES NOT EXCEED 12:1.
 - 2) THE NORMAL GUTTER SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE RAMP.
 - 3) THE MINIMUM THICKNESS FOR THE RAMP, WALK, & LANDING SHALL BE 4".
 - 4) DETECTABLE WARNING DEVICES SHALL BE PLACED AT THE LOCATIONS WHERE RAMP CROSS A CURB.



HANDICAP RAMP DETAILS

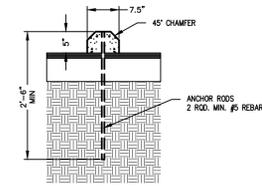
NOT TO SCALE

PAIN BOLLARDS, GATES, AND PARAPET CAP PT-01



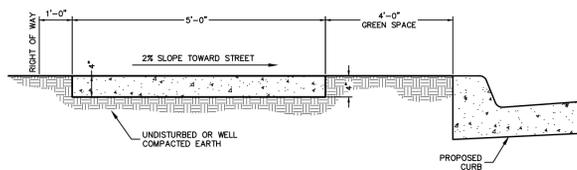
DUMPSTER SCREENING FENCE DETAIL

NOT TO SCALE



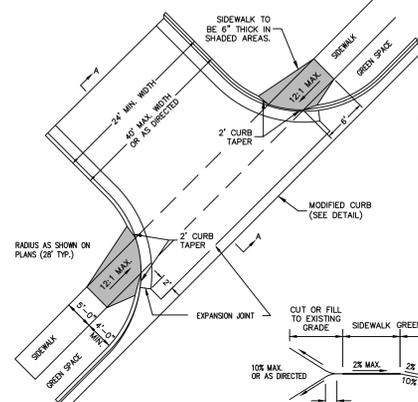
WHEEL STOP DETAIL

NOT TO SCALE



SIDEWALK DETAIL

NOT TO SCALE

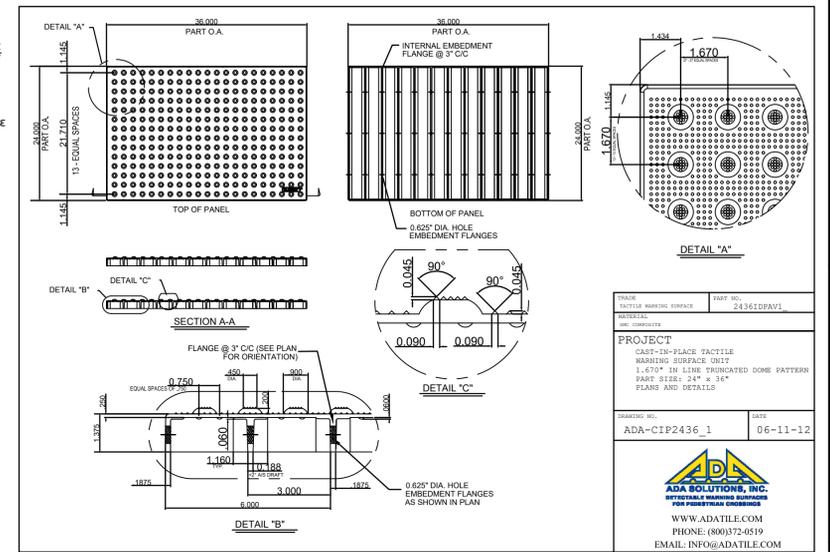


DRIVEWAY DETAIL

NOT TO SCALE

NOTES:

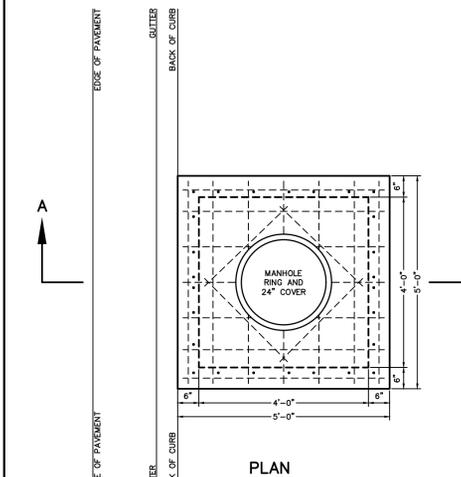
- 1) DRIVEWAY TO BE CONSTRUCTED TO THE RADIUS TANGENT POINTS AND ALSO TO STREET R/W AS DIRECTED, IF NEEDED.
- 2) 1/2" PREFORMED EXPANSION MATERIAL CONFORMING TO AASHTO M213, ASTM-1752, TYPE 1 OR REDWOOD SHALL BE PLACED AS SHOWN, OR AS DIRECTED BY THE ENGINEER.
- 3) CONCRETE CURB TO BE SAW-CUT AT 15' INTERVALS PERPENDICULAR TO THE GUTTER LINE AND SEALED SEE DETAIL.
- 4) HANDICAP RAMP COMPLYING WITH A.D.A. REQUIREMENTS TO BE CONSTRUCTED AT ALL COMMERCIAL DRIVEWAYS.
- 5) CONTRACTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY SO THAT NO SLAB DIMENSION IS MORE THAN 15'.
- 6) DRIVEWAY SECTION TO BE 6" PORTLAND CEMENT CONCRETE (3,500 P.S.I.) WITH 6" AGGREGATE BASE COURSE UNLESS OTHERWISE SPECIFIED.
- 7) CONCRETE APRONS SHALL HAVE 10' SAWCUTS IN EACH DIRECTION (BOTH HORIZONTAL AND VERTICAL).
- 8) INDUSTRIAL DRIVES SHOULD INCREASE RADIUS AT DRIVEWAY ENTRANCES TO 50'-FT.



PROJECT: ADA SOLUTIONS, INC. 24" x 36" PLANS AND DETAILS

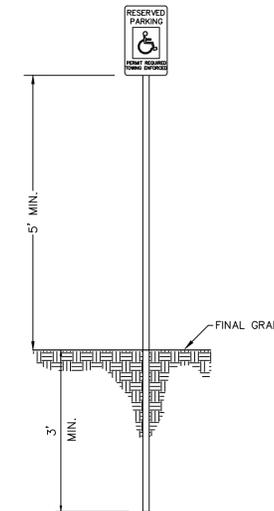
DATE: 06-11-12

ADA SOLUTIONS, INC. 800.572.4519



PLAN

- NOTES:
1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
 2. ALL REINFORCEMENT BARS SHALL BE GRADE 60 AND SHALL HAVE A MINIMUM 1-1/2" COVER UNLESS OTHERWISE NOTED.
 3. CURB INLET BACK OPENING LOCATIONS SHALL BE DETERMINED IN THE FIELD BY THE ENGINEER.
 4. WHEN AN INLET IS PLACED ADJACENT TO CONCRETE PAVEMENT, THE GUTTER DEPRESSION SHALL BE FORMED IN CONCRETE PAVEMENT. PIPES MAY ENTER BOX FROM ANY ANGLE OF ELEVATION AS DIRECTED BY THE ENGINEER. REINFORCING BARS SHALL BE CUT TO CLEAR PIPE BY 1-1/2".
 5. THE EXPANSION JOINT SHALL HAVE A THICKNESS OF 1-1/2" AND CONFORM TO AASHTO M213.
 6. REFER TO PLAN AND PROFILE SHEETS TO DETERMINE EXTENSIONS AND SIZE (IF ANY) ACCOMPANYING DROP INLETS.
 7. EXTENSIONS WITH LENGTHS DESIGNATED ON THE PLANS EXCEEDING 6'-0" SHALL HAVE THE SAME INSIDE DEPTH DIMENSIONS AS STATED ON DETAILS UNLESS OTHERWISE NOTED.
 8. CONCRETE FOR RECTANGULAR DROP INLETS SHALL BE CLASS A, 3,000 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
 9. ALL REINFORCING TO BE #5 BAR GRID @ 10" O.C. E-W, EXCEPT WHERE ALLOWANCES MUST BE MADE FOR PIPES, OPENING, OR MANHOLE RING.
 10. NEOPRENE-COATED STEEL STEPS ARE TO BE INSTALLED IN ALL DROP INLETS AND JUNCTION BOXES WITH A DEPTH OF 4'-0" OR GREATER. STEP SPACING TO BE 12".
 11. BOTTOM OF DRAINAGE BOX TO BE AT 0.5% MINIMUM SLOPE FROM INLET TO OUTLET.
 12. #5 BAR GRID EACH WAY EXCEPT WHERE ALLOWANCES MUST BE MADE FOR MANHOLE RING, WITH EXTRA #5 BARS AROUND MANHOLE OPENING.

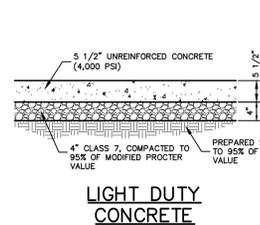


A.D.A. PARKING SIGN DETAIL

NOT TO SCALE

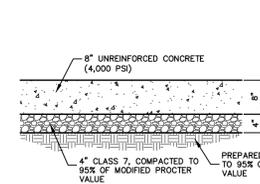


LEGEND - GREEN (RETROREFL), WHITE SYMBOL ON BLUE (RETROREFL) BACKGROUND - WHITE (RETROREFL)



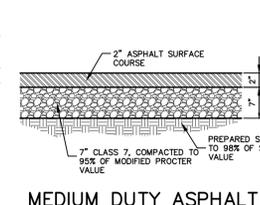
LIGHT DUTY CONCRETE

NOT TO SCALE



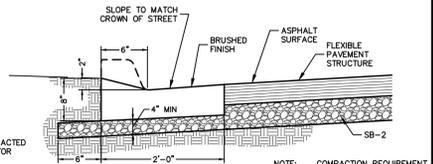
MEDIUM DUTY ASPHALT

NOT TO SCALE



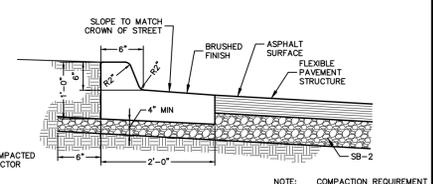
HEAVY DUTY CONCRETE FOR DUMPSTER

NOT TO SCALE



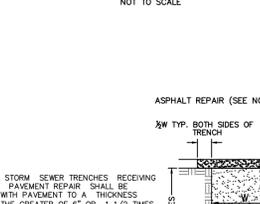
STANDARD 6" CONCRETE CURB & GUTTER

NOT TO SCALE



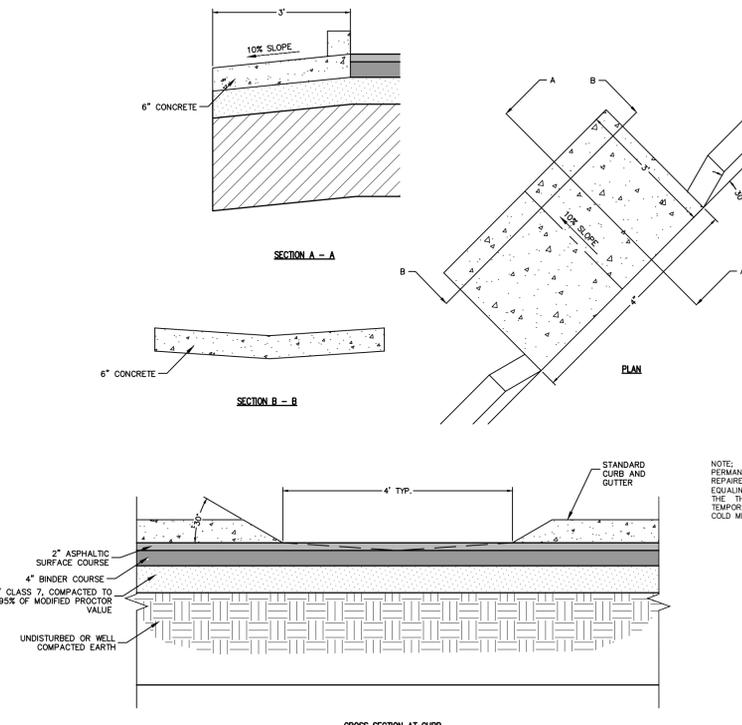
STANDARD 6" CONCRETE CURB & GUTTER

NOT TO SCALE



STORM SEWER BEDDING AND BACKFILL

NOT TO SCALE



TYPICAL 4" CURB CUT WITH CONCRETE FLUME

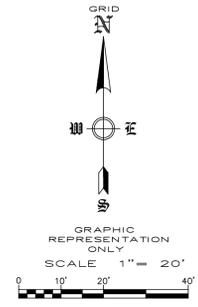
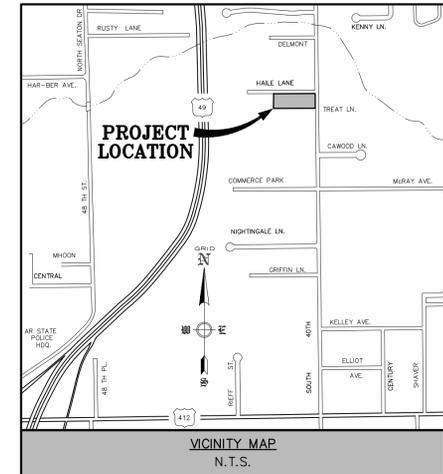
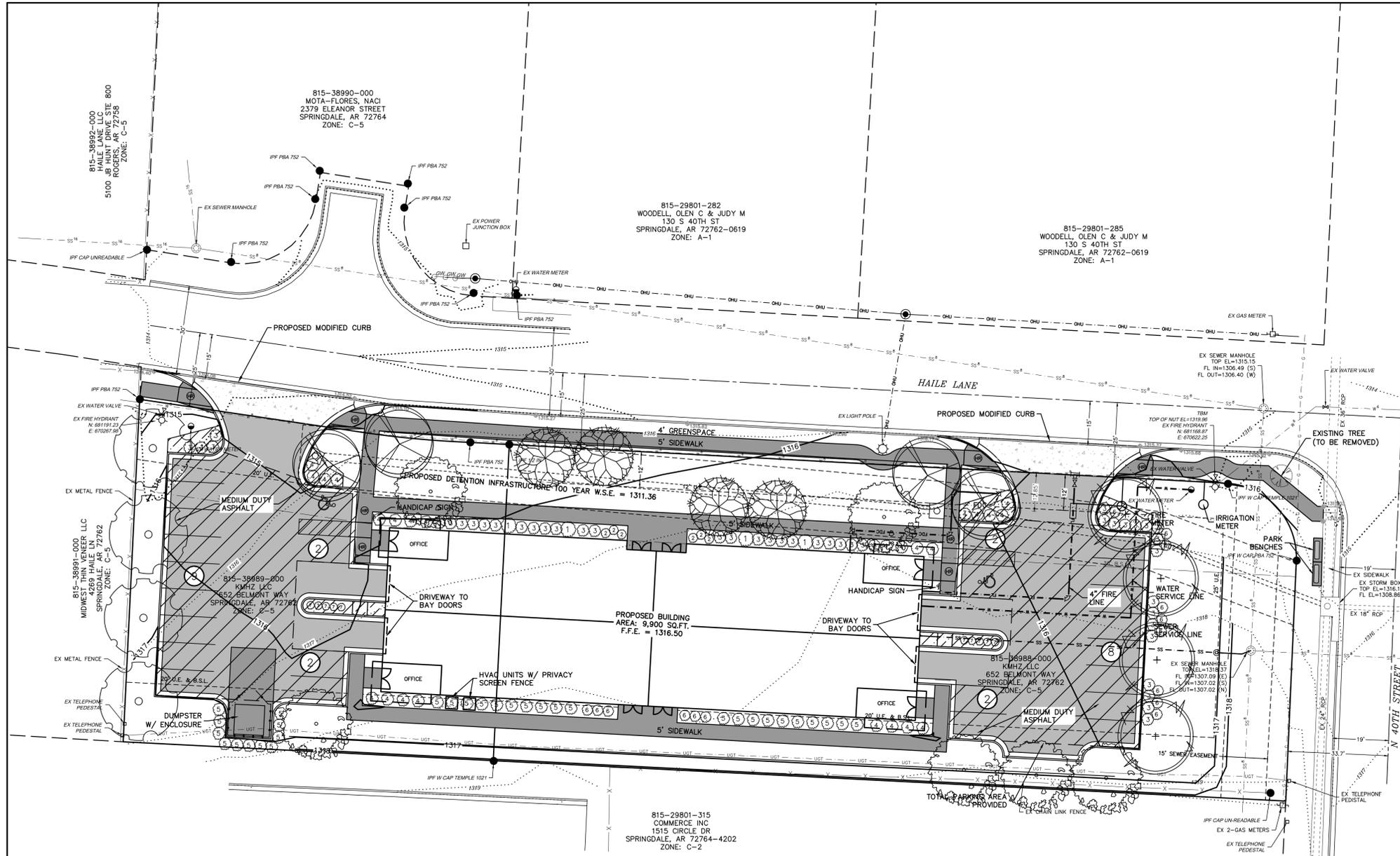
NOT TO SCALE



TYPICAL DETAILS
GO PUNCH LIST
SPRINGDALE, ARKANSAS

REVISION	DATE	DESCRIPTION

SCALE: N.T.S.
DATE: Apr 21, 2020
ENGINEER: JJA
DRAWN BY: JSA
W.O. #: 20918



OWNER / DEVELOPER: KMHZ LLC
652 BELMONT WAY
SPRINGDALE, AR 72762

GO PUNCH LIST
P.O. BOX 724
SPRINGDALE, AR 72765

ENGINEER/SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72762

ZONING: C-5 (COMMERCIAL)

SETBACKS: FRONT SETBACK = 30' (50' IF PARKING BETWEEN RIGHT-OF-WAY AND BUILDING)
SIDE SETBACK = 0' (20' WHEN CONTIGUOUS TO A RESIDENTIAL DISTRICT)
REAR SETBACK = 20'

LANDSCAPE NOTES:

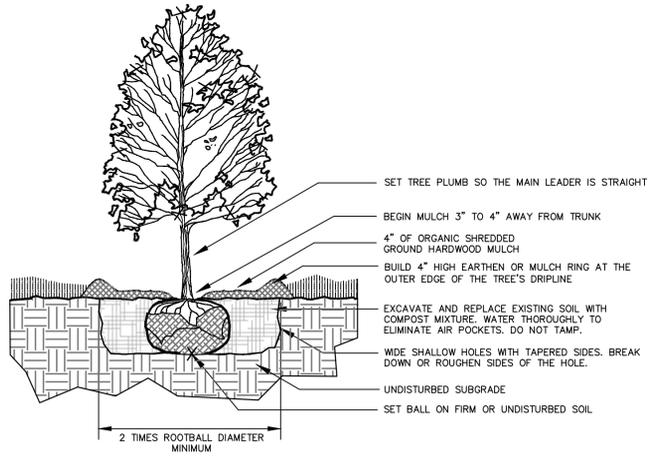
1. AUTOMATIC IRRIGATION SYSTEM OR HOSE BIBS 100' O.C. WILL BE PROVIDED FOR ALL LANDSCAPED AREAS
2. SOIL SHALL BE AMENDED AND ALL ROCKS AND FOREIGN MATERIAL SHALL BE REMOVED PRIOR TO ANY LANDSCAPE INSTALLATION
3. TURF AREAS AND LANDSCAPE BEDS TO BE COVERED WITH 4" OF TOPSOIL FREE OF ROCKS AND DEBRIS.
4. 3-4" OF ORGANIC MULCH SHALL BE PLACED AROUND ALL TREES AND WITHIN ALL LANDSCAPE BEDS.
5. WIRE BASKETS AND BURLAP TO BE REMOVED DURING TREE PLANTING.
6. CONTRACTOR TO PRESERVE EXISTING TREE CANOPY WHERE POSSIBLE ON SITE
7. SHADE TREES SHALL HAVE A MIN. CALIPER OF 2" AND A HEIGHT OF 8'
8. ONCE INSTALLED LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY LIVING CONDITION, AND IF PLANT MATERIAL DIES IT SHALL BE REPLACED WITHIN THE NEXT APPROPRIATE GROWING SEASON
9. IF CONFLICTS WITH PROPOSED LIGHTS, FIRE HYDRANTS, OR OTHER SITE FEATURES EXIST, TREES OR SHRUBS SHALL BE MOVED AND SHALL NOT INTERFERE WITH PROPOSED FEATURES.
10. TREES SHALL BE STAKED AS NECESSARY TO PREVENT LEANING OR FALLING OVER.
11. TREES SHALL BE AT LEAST 5 FEET FROM ANY UTILITY MAIN LINES.
12. LANDSCAPING SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS FROM DATE OF INSTALLATION
13. DETENTION BASIN AND DISTURBED AREAS TO BE SOODED WITH BERMUDA SOD.

INDEX OF TREES				
SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # TREES	PLANTING SIZE
	Legacy Sugar Maple	Acer saccharum 'Legacy'	4	2" Cal B & B
	Willow Oak	Quercus phellos	4	2" Cal B & B
	Southern Magnolia 'Little Gem'	Magnolia grandiflora 'Little Gem'	4	2" Cal B & B
	Chinese Pistache	Pistachia chinensis	6	2" Cal B & B
	Eastern Redbud 'Forest Pansy'	Cercis canadensis 'Forest Pansy'	4	2" Cal B & B

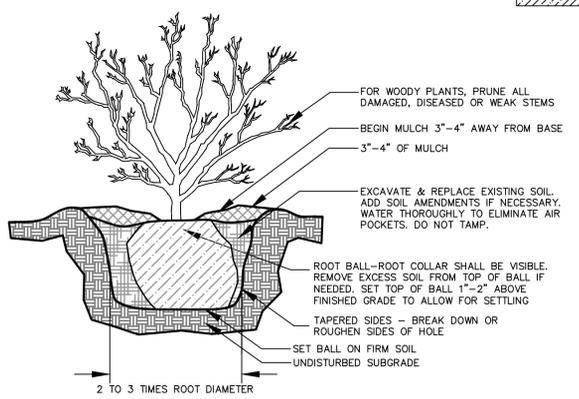
INDEX OF SHRUBS				
SYMBOL	COMMON NAME	BOTANICAL NAME	TOTAL # PLANTS	SIZE
①	Emerald Green Arborvitae	Thuja occidentalis 'Smaragd'	4	3 GAL.
②	Fashion Azalea	Rhododendron x 'Fashion'	6	3 GAL.
③	Shamrock Inkberry	Ilex glabra 'Shamrock'	45	3 GAL.
④	Red Drift Rose	Rosa 'Meijocos'	25	3 GAL.
⑤	Sea Green Juniper	Juniperus x pfitzeriana 'Sea Green'	31	3 GAL.
⑥	Kaleidoscope Abelia	Abelia x grandiflora 'Kaleidoscope'	16	3 GAL.
⑦	Dwarf Fountain Grass	Pennisetum alopecuroides 'Hameln'	10	1 GAL.

LANDSCAPE REQUIREMENTS:
TOTAL PARKING AREA PROVIDED: 8,528 SQ. FT.
TOTAL INTERIOR LANDSCAPE REQUIRED: 682 SQ. FT. (8%)
TOTAL INTERIOR LANDSCAPE PROVIDED: 789 SQ. FT. (9.25%)

INTERIOR LANDSCAPING AREAS:



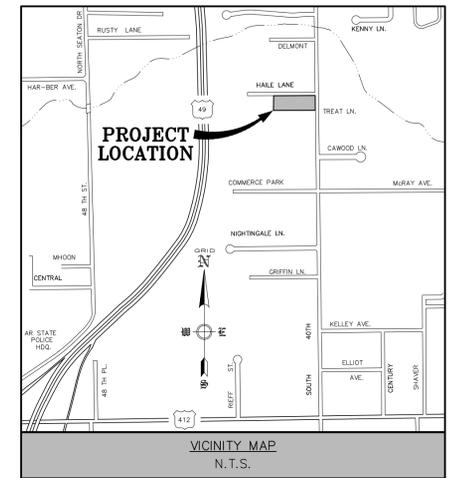
- NOTES:**
1. TREES SHALL BE 1-1/2" OR 2" CALIPER AS SPECIFIED.
 2. THE HOLE FOR THE TREE SHALL BE EXCAVATED 2-3 TIMES THE SIZE OF THE ROOT BALL.
 3. REMOVE ANY TWINE, ROPE, FLAGGING, WRAPPING, OR GUARDS FROM TREE.
 4. PRUNE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT TIME OF PLANTING.
 5. ROOTBALL - ROOT COLLAR SHALL BE VISIBLE. REMOVE EXCESS SOIL FROM TOP OF BALL IF NEEDED. AFTER LOCATING AND SETTING BALL IN PLANTING HOLE, CUT AWAY OR REMOVE THE ENTIRE WIRE BASKET, CUT OR REMOVE ALL ROPES OR TWINE FROM BALL, CUT AWAY OR REMOVE BURLAP, IF ROOTBALL BEGINS FALLING APART DURING INSTALLATION OR WHILE REMOVING THE WIRE BASKET, CUT AWAY ONLY HALF OF THE BURLAP. ENSURE THAT NONE OF THE ROOTBALL IS EXPOSED TO AIR.
 6. REFER TO THE TREE STAKING AND WRAPPING DETAIL FOR ADDITIONAL INSTALLATION REQUIREMENTS



FLOOD PLAIN ZONING:
THIS PROPERTY IS NOT WITHIN THE 100 YEAR FLOOD ZONE AS SHOWN ON THE F.I.R.M. MAP #0514300070 F, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS, PANEL 70 OF 575. EFFECTIVE DATE: MAY 16, 2008.

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Apr 23, 2020
ENGINEER: TJA
DRAWN BY: JSA
W.O. #: 20918



OWNER / DEVELOPER: KMHZ LLC
652 BELMONT WAY
SPRINGDALE, AR 72762

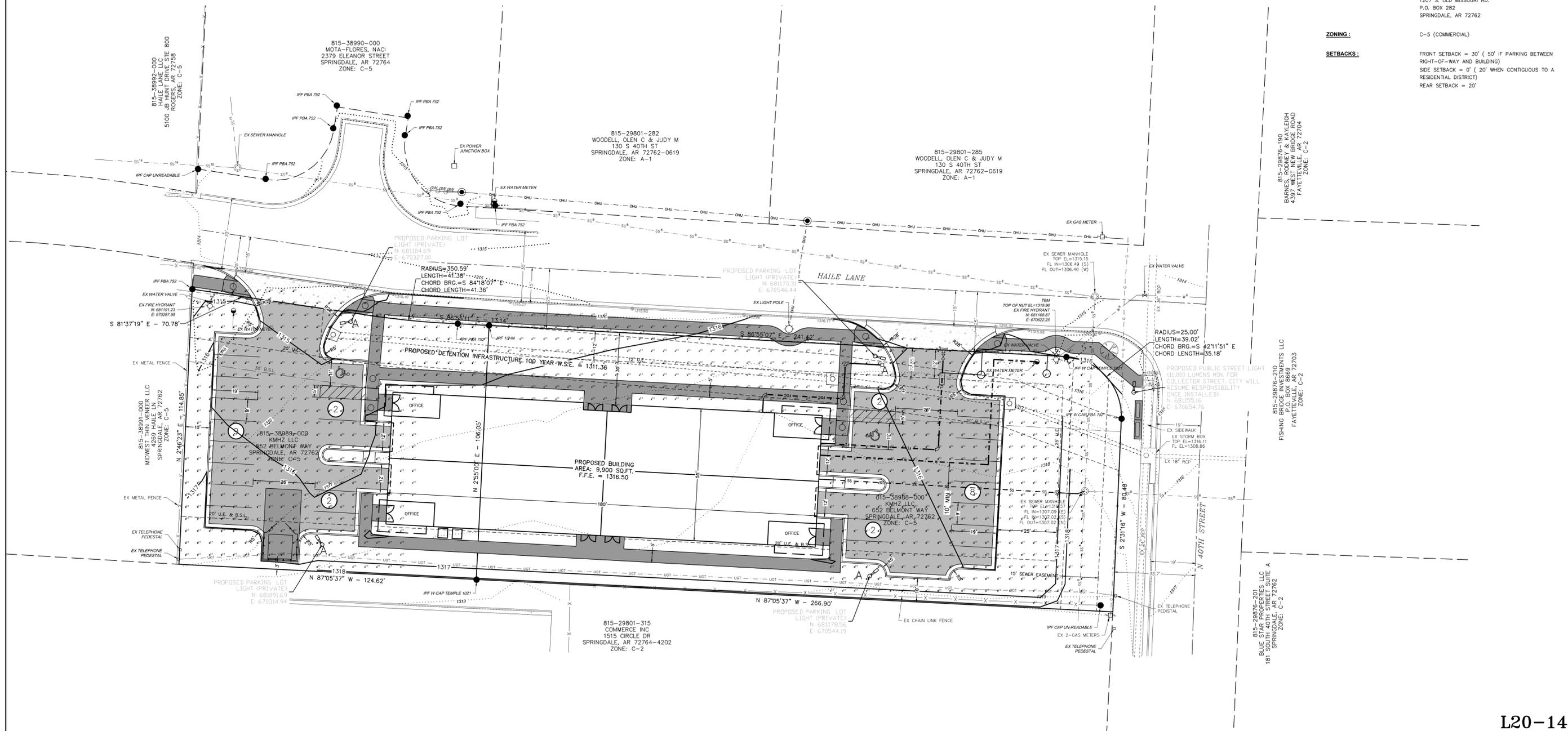
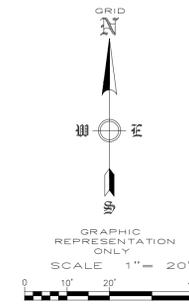
GO PUNCH LIST
P.O. BOX 724
SPRINGDALE, AR 72765

ENGINEER/SURVEYOR: ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI RD.
P.O. BOX 282
SPRINGDALE, AR 72762

ZONING: C-5 (COMMERCIAL)

SETBACKS: FRONT SETBACK = 30' (50' IF PARKING BETWEEN RIGHT-OF-WAY AND BUILDING)
SIDE SETBACK = 0' (20' WHEN CONTIGUOUS TO A RESIDENTIAL DISTRICT)
REAR SETBACK = 20'

LUMINAIRE SCHEDULE									
SYMBOL	LABEL	QTY.	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS
☐	A	4	EST0090CWOONDXXL2SG	ESTILO	LED Array	EST0090CWOONDXXL2SG.IES	ABSOLUTE	1	98



**LIGHTING PLAN
GO PUNCH LIST
SPRINGDALE, ARKANSAS**

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Apr 23, 2020
ENGINEER: TJA
DRAWN BY: DBB
W.O. #: 20918

REVISION	DATE	DESCRIPTION

SCALE: 1"=20'
DATE: Apr 23, 2020
ENGINEER: TJA
DRAWN BY: JSA
W.O. #: 20918

NOTE:
NO CHANGE MAY BE MADE TO THESE APPROVED PLANS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY OF SPRINGDALE.

WITHIN 40 DAYS OF PLACEMENT OF CURBS, THEY SHALL BE BACKFILLED, FINE GRADED WITH A MINIMUM OF 4-INCHES OF TOPSOIL, AND HYDROMULCHED OR SODED WITH PERMANENT GRASSES.

ALL DISTURBED AREAS, THAT ARE NOT PAVED, SHALL BE TOPSOILED, SEEDED AND STRAWED UNTIL GRASS IS ESTABLISHED.

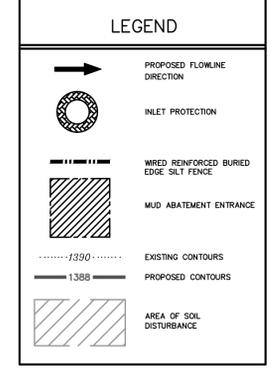
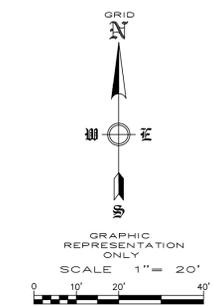
CONSTRUCTION SEQUENCE:

- 1.) INSTALL EROSION CONTROL.
- 2.) STRIP EXISTING TOP SOIL.
- 3.) PREPARE SUB-GRADE AND BASE MATERIAL.
- 4.) POUR CONCRETE AND ASPHALT.
- 5.) FINAL GRADING AND ESTABLISH VEGETATION.

NOTES:

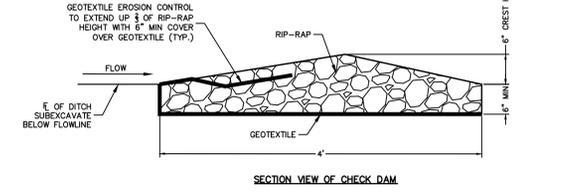
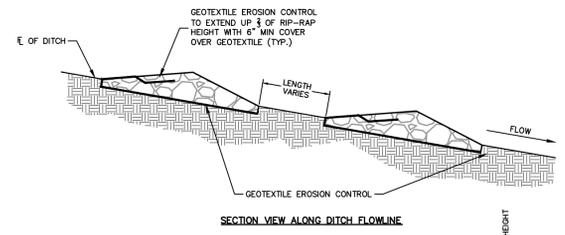
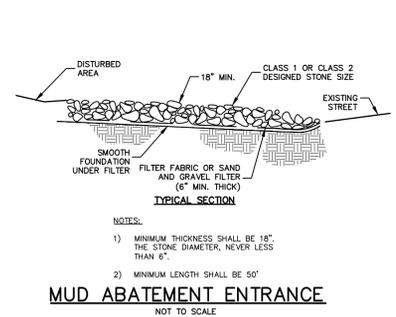
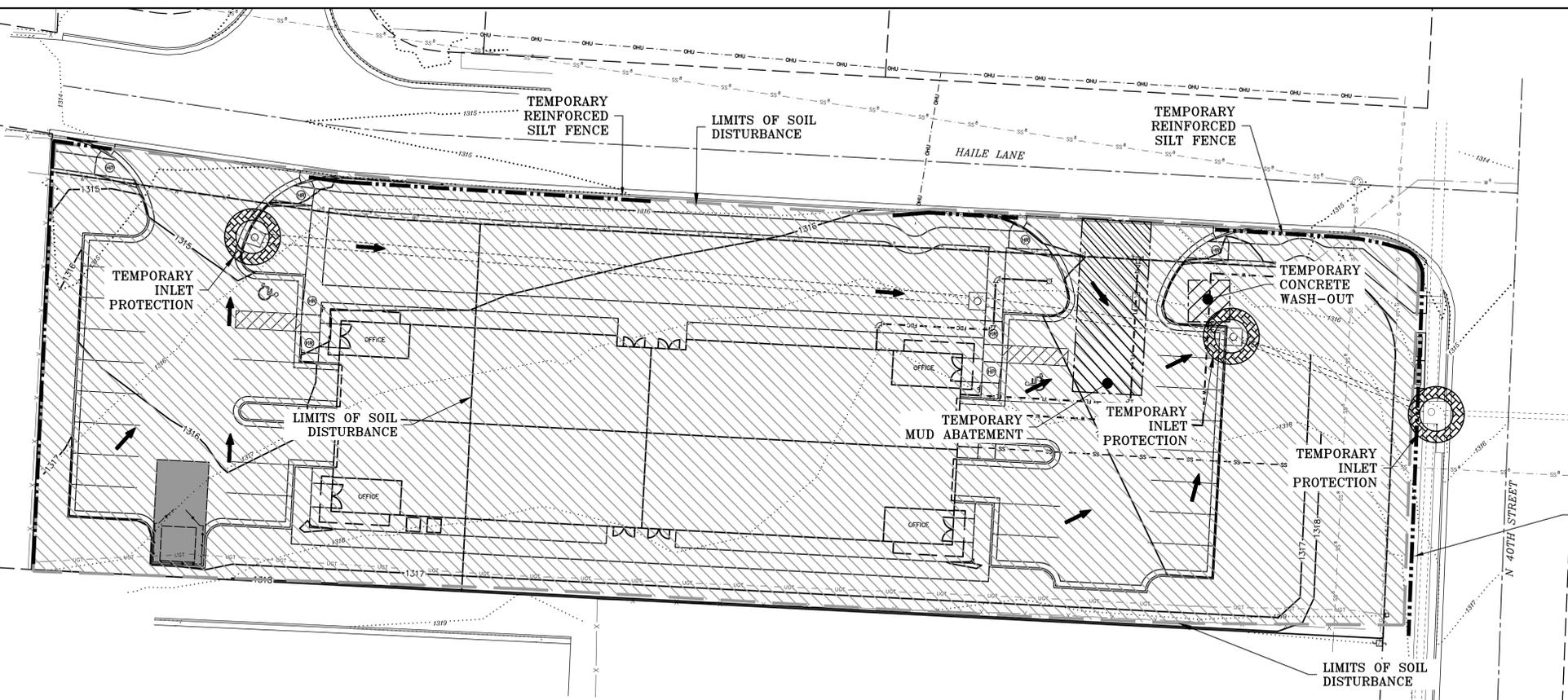
- 1.) NATURAL VEGETATION SHALL BE RETAINED WHEREVER POSSIBLE.
- 2.) SEED AND MULCH SHALL BE PLACED (BY OWNER) IN ALL AREAS WHERE VEGETATION IS DISTURBED.
- 3.) STRAW AND WOOD CHIPS SHALL BE PLACED TO PROVIDE TEMPORARY PROTECTION WHILE FINAL GRADING IS BEING COMPLETED.
- 4.) PLACE BIG RED FILTER ON ALL CURB INLETS.

*SILT FENCE IS USED AS AN ENERGY DISSIPATION DEVICE
*SILT FENCE IS USED TO CONTROL POLLUTANTS DURING STORM WATER DISCHARGE
*SILT FENCE MUST BE MAINTAINED UNTIL SITE IS PERMANENTLY STABILIZED
AREA OF SOIL DISTURBANCE: 1.05 ACRES



NOTES:

- 1.) ALL DISTURBED AREAS SHALL RECEIVE 4 INCHES OF TOP SOIL AND RE-VEGETATED PER SECTION 169.06 OF THE UDC. VEGETATION MUST BE ESTABLISHED TO MINIMIZE EROSION PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- 2.) WHEN SILT FENCE IS NOT PLACED AT A CONSTANT ELEVATION FOLLOWING CONTOURS ON STEEP SLOPES, THE "U" HOOP METHOD SHOULD BE USED (AT 50 FT INTERVALS) TO CREATE PONDING AND PREVENT EROSION OF THE TRENCH BACKFILL OF SILT FENCE INSTALLATION.
- 3.) ALL GRADED AND OTHERWISE DISTURBED AREAS SHALL BE STABILIZED WITHIN 15 DAYS IMMEDIATELY AFTER GRADING OR DISTURBANCE HAS CEASED.
- 4.) PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED CONCURRENTLY TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- 5.) TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- 6.) RE-VEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS (SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED) UNLESS OTHERWISE ALLOWED BY THE CITY ENGINEER:
 - TOPSOIL: A MINIMUM OF 4 INCHES OF TOPSOIL SHALL BE REQUIRED TO BE EITHER EXISTING OR INSTALLED IN AREAS TO BE REVEGETATED AS SET FORTH IN §169.06(F)(6) BELOW. ANY APPLICATION OF TOPSOIL AND SEEDING UNDER THE DRIP LINE OF A TREE SHOULD BE MINIMIZED TO 3 INCHES SO AS NOT TO DAMAGE THE TREE'S ROOT SYSTEM.
 - ZERO TO 10% GRADE: RE-VEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 - 10% UP TO 4:1 GRADE: RE-VEGETATION SHALL BE A MINIMUM OF HYDRO-SEEDING WITH MULCH AND FERTILIZER, SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 - 4:1 TO 3:1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDING WITH MULCH AND FERTILIZER OR STAKED OR CRIBBING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF.
 - MORE THAN 3:1 GRADE: ANY FINISH GRADE OVER 3:1 SHALL BE STABILIZED WITH ONE OR MORE OF THE FOLLOWING:
 - RETAINING WALLS, CRIBBING WITH LANDSCAPE FABRIC, TERRACING WITH GROUND COVER, RIPRAP, STAKED SOD (UP TO 2:1 SLOPE)
 - IF CRIBBING, TERRACING, OR RIPRAP IS USED, THE SLOPE'S STABILITY AND ERODIBILITY MUST BE EQUIVALENT TO OR BETTER THAN ITS PREDEVELOPMENT STATE.
- 7.) PERMANENT EROSION CONTROL: THE DEVELOPER SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES AT THE EARLIEST PRACTICAL TIME. TEMPORARY EROSION CONTROL MEASURES WILL BE USED TO CORRECT CONDITIONS THAT DEVELOP DURING CONSTRUCTION THAT WERE UNFORESEEN DURING THE DESIGN STAGE, THAT ARE NEEDED PRIOR TO INSTALLATION OF PERMANENT EROSION CONTROL FEATURES, OR THAT ARE NEEDED TEMPORARILY TO CONTROL EROSION THAT DEVELOPS DURING NORMAL CONSTRUCTION PROJECTS, BUT ARE NOT ASSOCIATED WITH PERMANENT CONTROL FEATURES ON THE PROJECT.
- 8.) DUST: WHERE EXCESSIVE DUST MAY BECOME A PROBLEM, A PLAN FOR SPRAYING WATER ON HEAVILY TRAVELED TRIP AREAS SHALL BE ADDRESSED.
- 9.) CONSTRUCTION EXITS: A STABILIZED ROCK EXIT IS REQUIRED ON CONSTRUCTION SITES. ROCK EXITS MUST BE AT LEAST 20' WIDE BY 50' LONG BY 6" THICK STABILIZED ROCK HAVING A MINIMUM AVERAGE DIAMETER OF 3.1". IF THERE IS AN EXISTING CURB, LOOSE MATERIAL SUCH AS FILL DIRT OR GRAVEL SHALL NOT BE USED TO RAMP UP TO IT FROM THE STREET. TEMPORARY WOODEN RAMPS IN FRONT OF CURBS ARE ACCEPTABLE.
- 10.) DEBRIS, MUD, AND SOIL IN PUBLIC STREETS, DEBRIS, MUD AND SOIL SHALL NOT BE ALLOWED ON PUBLIC STREETS BUT IF ANY DEBRIS, MUD, OR SOIL FROM DEVELOPMENT SITES REACHES THE PUBLIC STREET IT SHALL BE IMMEDIATELY REMOVED VIA SWEEPING OR OTHER METHODS OF PHYSICAL REMOVAL. DEBRIS, MUD, OR SOIL IN THE STREET MAY NOT BE WASHED OFF THE STREET OR WASHED INTO THE STORM DRAINAGE SYSTEM. STORM DRAINAGE SYSTEMS DOWNSTREAM OF A DEVELOPMENT SITE SHOULD BE PROTECTED FROM DEBRIS, MUD, OR SOIL IN THE EVENT THAT DEBRIS, MUD, OR SOIL REACHES THE DRAINAGE SYSTEM.
- 11.) FRANCHISE AND PRIVATE UTILITIES: THE PROPERTY OWNER OR MAIN CONTRACTOR ON SITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGED OR DISTURBED BY UNDERGROUND PRIVATE OR FRANCHISE UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.



NOTES:

1. RIP-RAP SIZE D50 = 6" OR AS SHOWN ON THE PLANS.

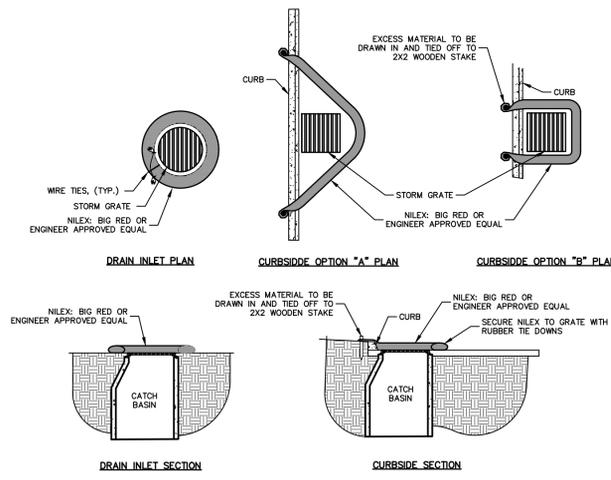
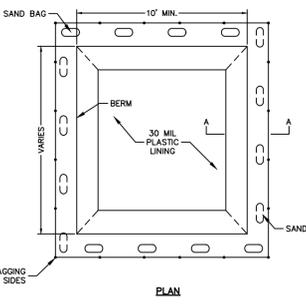
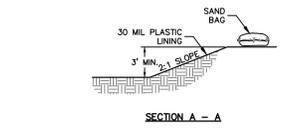
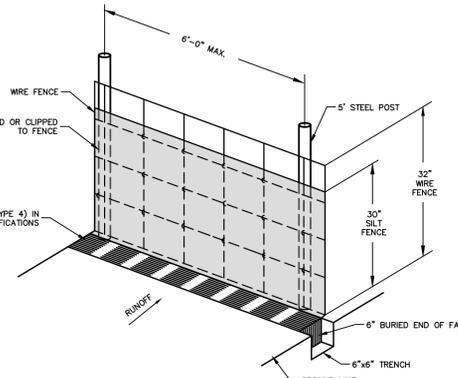
ROCK CHECK DAM

Maximum Slope Length for Silt Fence

Slope - Percent	Maximum Slope Length (L) Above Fence	
	Standard (18" High) Silt Fence	Reinforced (30" High) Silt Fence
2 (or less)	150	250
5	100	230
10	50	150
15	35	100
20	25	70
25	20	55
30	15	45
35	15	40
40	15	35
45	10	30
50	10	25

NOTES:

1. THE SLOPE LENGTH SHOWN IS THE DISTANCE FROM THE FENCE TO THE DRAINAGE DIVIDE OR THE NEAREST UPSLOPE CHANNEL.
2. SLOPE LENGTH CANNOT BE ADDRESSED BY USE OF MULTIPLE ROWS OF SILT FENCE.



FILE NUMBER: B20-19
DATE: _____

APPLICATION FOR VARIANCE
COMMERCIAL DESIGN STANDARDS
BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: Lots 1 & 2 of Hammit-Eoff Business Center

Applicant Name: Go Punch List (Brandon King)

Address: P.O. Box 724

City: Springdale **State:** Arkansas **Zip:** 72765

Phone: 479-310-5860 **Fax:** _____ **Email:** gopunchlistnwa@gmail.com

Property Owner Owner's Representative Contract Purchaser

Represented by: ESI

Address: 1207 S. Old Missouri Rd.

City: Springdale **State:** Arkansas **Zip:** 72765

Phone: 479-751-8733 **Fax:** _____ **Email:** jappel@engineeringservices.com

Legal Description: (Check if attached)

P121

The Planning Commission may approve variances to depart from the literal requirements of the Commercial Design Standards where strict enforcement of said requirements would cause undue hardship due to circumstances unique to the individual property under consideration, and the granting of such variance is demonstrated to be within the spirit and intent of the provisions of the design standards.

Check item(s) for which variance is requested:

- ENTRANCES** – one customer entrance on all sides of principal building directly facing abutting public right of-way
- PARKING LOT ORIENTATION** – no more than 60% of off-street parking area located between the front façade within the front yard of the principal building
- STRUCTURE BACK AND SIDES**
 - Minimum setback according to zoning district requirements
 - Earthen berm installed with trees and landscaping for façade facing adjacent residential uses or area on Comprehensive Land Use Plan
- PEDESTRIAN FLOW**
 - 5' sidewalk along all sides of lot abutting public right-of-way
 - 5' continuous internal pedestrian walkways from public sidewalk to principal customer entrance of all principal building on site
 - 5' sidewalk along the full length of building on façade featuring customer entrance on façade abutting public parking areas 6' from façade of building
 - Weather protection features within 30' of all customer entrances, constructed parallel to building façade
 - Internal walkway distinguished from driving surface through use of durable, low maintenance surface materials to enhance safety and comfort
- CENTRAL FEATURES AND COMMUNITY SPACES**
 - Provision of at least 2 central features
 - Direct access to public sidewalk network
- MULTIPLE BUILDINGS IN COMMERCIAL CENTERS**
 - Use of similar building materials
 - Use of similar architectural styles or theme
- OUTDOOR STORAGE, TRASH COLLECTION AND LOADING AREAS**
 - Not visible from public right-of-way, located within 20' of any public street, sidewalk or internal pedestrian way
 - Incorporated into the overall design of the building
 - Screening material similar to principal materials of the building and landscape
 - Landscaped so that visual and acoustic impacts fully contained and out of view of adjacent property and public streets
 - Landscaped so not attention is attached to the function by the use of screening material and no attention is attached to the function by the use

- Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

FOR EACH ITEM CHECKED

Variance requested: (attach visual representation of request)

Visual representations in the form of elevation renderings have been attached.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)

Our client desires to have a building with Architectural Metal panels with enhanced customer storefront entires as shown on the provided elevations.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)

Variance would allow proposed building to be constructed with material and layout provided by LSD submission.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)

A project will generally comply with commercial design standards and the Springdale code of ordinances but the variances will allow for construction as shown in the submitted plans.



The Applicant understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

The Applicant understands that he/she must be present at the meeting to present the variance request and to answer questions. If the Applicant is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S)

DATE: 4/15/2020



P126

CONSULTANT

GO PUNCH LIST

HAILE LANE
SPRINGDALE, AR 72782

DESIGNED BY
CORE ARCHITECTS
ARCHITECTS INC.
GENL

PROJECT #
20-022

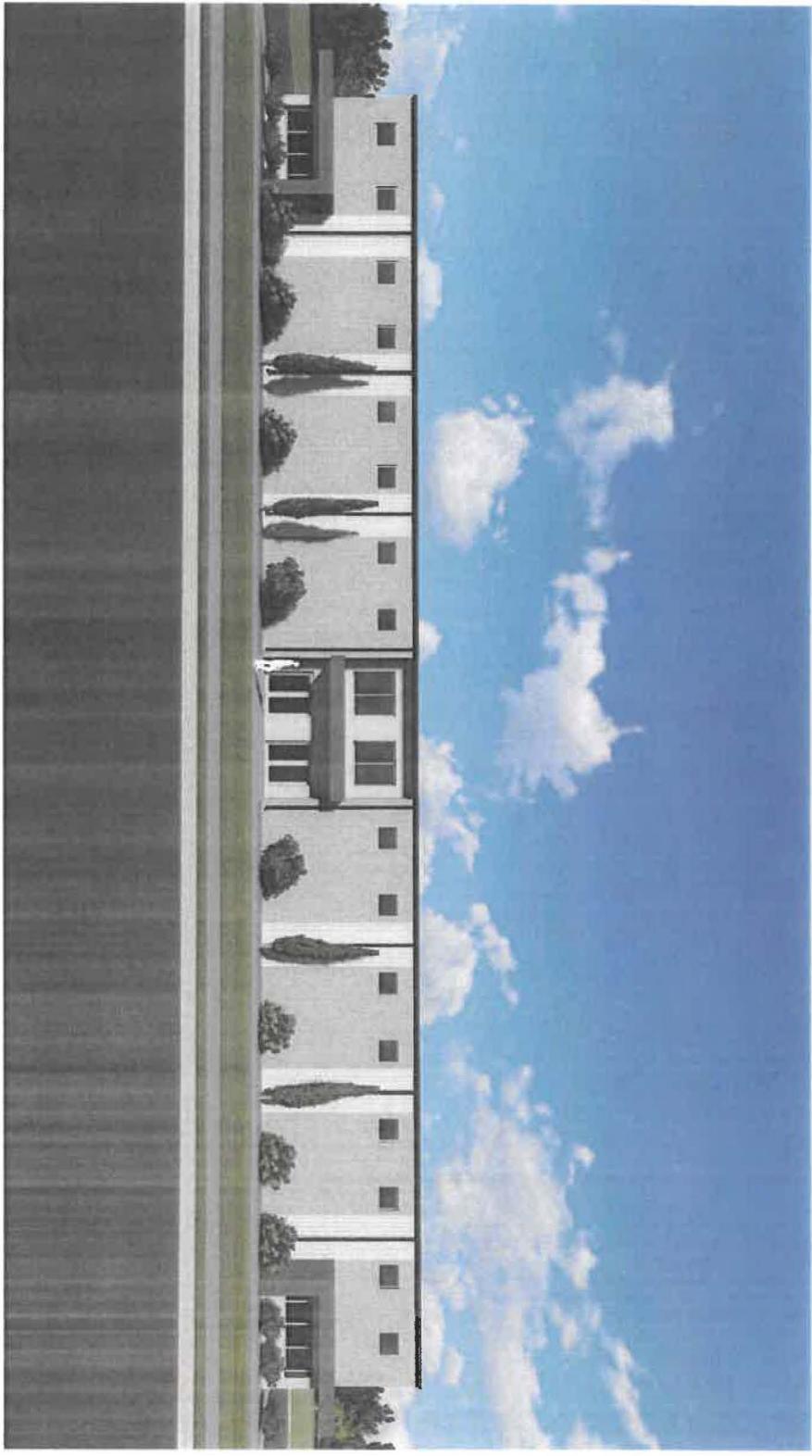
DATE:
2020/04/02

DATE:
4/1/20
RENDERING

NO.	REVISION	ISSUE	DATE

ARCHITECTS OF RECORD
**NOT FOR
CONSTRUCTION**

CORE ARCHITECTS
 1800 N. OSAGE SPRINGS DR. - SUITE 100 - ROGERS, AR 72758
 PH - 479.631.2678 FX - 479.631.2674 www.corearch.com



P127

DATE 2020.04.02	PROJECT 20-022	DESIGNED BY GEM
DATE 2020.04.02	PROJECT 20-022	DESIGNED BY GEM
DATE 2020.04.02	PROJECT 20-022	DESIGNED BY GEM

GO PUNCH LIST

HAILE LANE
SPRINGDALE, AR 72762

CONTRACT NUMBER:

NO.	ISSUE	DATE
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ARCHITECT OF RECORD
 NOT FOR
 CONSTRUCTION

CORE
 ARCHITECTS

1800 S. GAGE SPANOS DR. - SUITE 180 - ROGERS, AR 72758
 PH - 479.851.3673 FX - 479.851.2674 www.core-arch.com

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses
 - Minimum 3' depth
 - Minimum of 20 contiguous feet within each 100' of façade length
 - Extends 20% of the façade

- DETAIL FEATURES**

- Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
- At least one element repeating horizontally
- Elements repeat at intervals of more than 30' horizontally or vertically
- Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ROOFS** – change in height every 100 linear feet in building length

- MATERIALS AND COLORS**

- Predominate exterior materials high quality materials
- Façade color – low reflectance, subtle, neutral or earth tone

- ENTRYWAYS** – 3 defined, highly visible customer entrances

- LANDSCAPING**

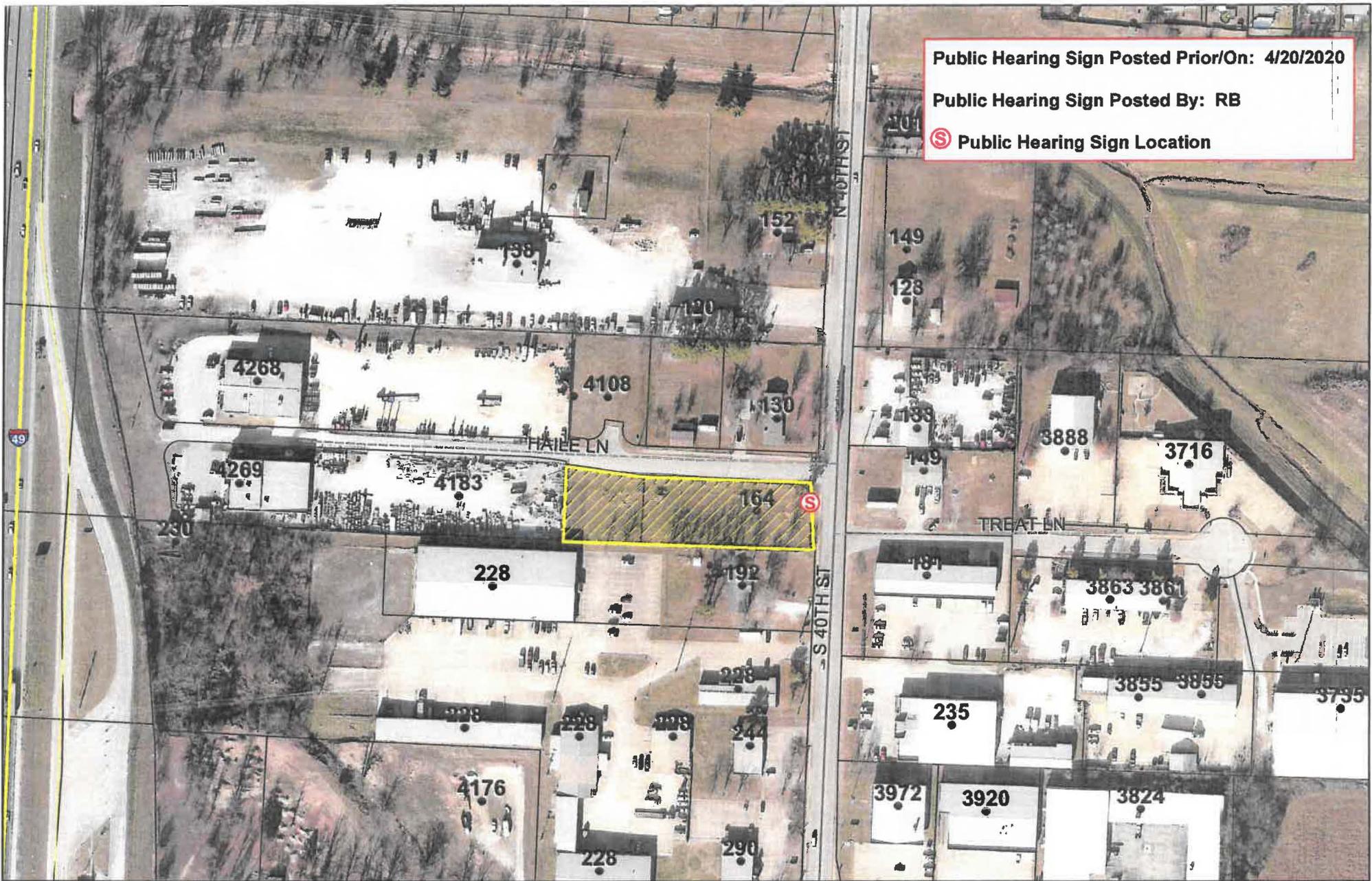
- Entryway landscaping
- Parking lot landscaping
- Perimeter parking area landscaping
- Building foundation landscaping

- SCREENING**

- Trash containers, trash compactor, and recycling bins screened from public view 4 sides
- Exterior ground-mounted or building-mounted equipment
- Rooftop equipment
- Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
- Required screening fence or wall maximum height 8', high quality materials
- Required screening fence or wall maximum continuous length of 50'

- LIGHTING**

- Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
- Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
- Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
- Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
- Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
- Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy



Public Hearing Sign Posted Prior/On: 4/20/2020
Public Hearing Sign Posted By: RB
S Public Hearing Sign Location

FILE NO. B20-19
APPLICANT: Go Punch List (Brandon King)
REQUEST: Variance for deviation of Commercial Design Standards

PLANNING COMMISSION MEETING
May 5, 2020

For Location Reference Only

P129

CITY OF SPRINGDALE, ARKANSAS

FILE NUMBER: B20-18

DATE: _____

APPLICATION FOR VARIANCE
COMMERCIAL DESIGN STANDARDS
BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: S. 48th Street, Tax Parcel #'s 815-30871-000, 30870-000, & 30857-151

Applicant Name: WT-LF, LLC

Address: 2501 Shiloh Dr

City: Fayetteville State: AR Zip: 72702

Phone: _____ Fax: _____ Email: gtollett@williamstractor.com

Property Owner Owner's Representative Contract Purchaser

Represented by: Expedient Civil Engineering, PLLC

Address: 9200 Suits Us Dr, Ste. B

City: Bella Vista State: AR Zip: 72714

Phone: (509) 759-5300 Fax: _____ Email: jason@ece-pllc.com

Legal Description: (Check if attached)

Attached

P131

The Planning Commission may approve variances to depart from the literal requirements of the Commercial Design Standards where strict enforcement of said requirements would cause undue hardship due to circumstances unique to the individual property under consideration, and the granting of such variance is demonstrated to be within the spirit and intent of the provisions of the design standards.

Check item(s) for which variance is requested:

- ENTRANCES** – one customer entrance on all sides of principal building directly facing abutting public right of-way
- PARKING LOT ORIENTATION** – no more than 60% of off-street parking area located between the front façade within the front yard of the principal building
- STRUCTURE BACK AND SIDES**
 - Minimum setback according to zoning district requirements
 - Earthen berm installed with trees and landscaping for façade facing adjacent residential uses or area on Comprehensive Land Use Plan
- PEDESTRIAN FLOW**
 - 5' sidewalk along all sides of lot abutting public right-of-way
 - 5' continuous internal pedestrian walkways from public sidewalk to principal customer entrance of all principal building on site
 - 5' sidewalk along the full length of building on façade featuring customer entrance on façade abutting public parking areas 6' from façade of building
 - Weather protection features within 30' of all customer entrances, constructed parallel to building façade
 - Internal walkway distinguished from driving surface through use of durable, low maintenance surface materials to enhance safety and comfort
- CENTRAL FEATURES AND COMMUNITY SPACES**
 - Provision of at least 2 central features
 - Direct access to public sidewalk network
- MULTIPLE BUILDINGS IN COMMERCIAL CENTERS**
 - Use of similar building materials
 - Use of similar architectural styles or theme
- OUTDOOR STORAGE, TRASH COLLECTION AND LOADING AREAS**
 - Not visible from public right-of-way, located within 20' of any public street, sidewalk or internal pedestrian way
 - Incorporated into the overall design of the building
 - Screening material similar to principal materials of the building and landscape
 - Landscaped so that visual and acoustic impacts fully contained and out of view of adjacent property and public streets
 - Landscaped so not attention is attached to the function by the use of screening material and no attention is attached to the function by the use

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses

- Minimum 3' depth

- Minimum of 20 contiguous feet within each 100' of façade length

- Extends 20% of the façade

- DETAIL FEATURES**

- Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)

- At least one element repeating horizontally

- Elements repeat at intervals of more than 30' horizontally or vertically

- Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ROOFS** – change in height every 100 linear feet in building length

- MATERIALS AND COLORS**

- Predominate exterior materials high quality materials

- Façade color – low reflectance, subtle, neutral or earth tone

- ENTRYWAYS** – 3 defined, highly visible customer entrances

- LANDSCAPING**

- Entryway landscaping

- Parking lot landscaping

- Perimeter parking area landscaping

- Building foundation landscaping

- SCREENING**

- Trash containers, trash compactor, and recycling bins screened from public view 4 sides

- Exterior ground-mounted or building-mounted equipment

- Rooftop equipment

- Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes

- Required screening fence or wall maximum height 8', high quality materials

- Required screening fence or wall maximum continuous length of 50'

- LIGHTING**

- Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle

- Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles

- Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade

- Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum

- Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy

- Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy

- Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

FOR EACH ITEM CHECKED

Variance requested: (attach visual representation of request)
See attached letter.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)
See attached letter.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)
See attached letter.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)
See attached letter.

The Applicant understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

The Applicant understands that he/she must be present at the meeting to present the variance request and to answer questions. If the Applicant is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S) Walter Williams

DATE: _____



April 23, 2020

Board of Adjustments Chairperson
City of Springdale
201 Spring Street
Springdale, AR 72764

**RE: WILLIAMS TRACTOR & FREEDOM POWER SPORTS
LARGE SCALE DEVELOPMENT
48TH STREET, SPRINGDALE, AR
ECE PROJECT NO. 19-1045**

Mr. Chairperson:

Williams Tractor, Inc. is proposing to construct a new tractor sales dealership building and power sports dealership building on Washington County tax parcel numbers 815-30871-000, 815-30870-000, & 815-30857-151 located on the west side of 48th Street and fronting I-49 in Springdale, Arkansas. Due to the uniqueness of the site and type of business, we are requesting several variances from the City's development ordinances and commercial design standards. They are listed as follows:

Pedestrian Flow:

1. Continuous internal pedestrian walkways, 5' in width, are required to be connected to the public sidewalk along 48th Street. Internal sidewalks, 5' in width, have been provided around each building with access to adjacent parking areas. The private access drive is more than ¼ mile long. This is a very long distance for someone to walk from 48th Street to look at tractors and powersports. Also, most customers that visit the dealerships, that are there for a purchase, bring a truck and trailer, for it is needed for transport of the new purchase. For this reason, we are requesting a variance from this requirement.

Central Features and Community Spaces

1. The buildings are located quite a distance from 48th Street. Therefore, the use of the public central features and community spaces would not be beneficial to this site. The majority of customers visiting the site will be to either purchase new equipment or for maintenance. We are requesting a variance from this requirement.

Outdoor Storage, Trash Collection and Loading Areas

1. Storage areas shall not be visible from public rights of way. Both buildings will face I-49. Pavement has been added for the parking and display areas that front I-49. Due to the nature of the tractor business, there will be a lot of storage of tractors and heavy equipment. The heavy equipment will be stored outside the pavement areas. However, since the equipment will be

located quite a distance from 48th Street and behind the proposed buildings, we are requesting a variance to not screen these gravel storage areas. This is not to be confused with the outside storage areas that now house the Williams Tractor in Fayetteville. The facility is very outdated with a lot of old equipment. The original facility dates back to the early 1970's and a lot of old equipment has been collected. With the new facility, a sort of cleaning house will occur so that a lot of the old equipment will not be relocated to the new facility. Also, there is a good amount of existing tree canopy along the property lines that will be preserved and temporarily fenced off to prevent damage to the canopy. In areas where there either canopy will be removed or no canopy existed along the property lines, new trees will be planted to aid in screening the outdoor storage areas from adjacent property owners and public rights of way.

2. Ordinance allows up to 20% of outside storage areas to be gravel. However, due to the uniqueness of the tractor and powersports businesses and a good share of equipment that contain tracks, we are requesting a variance from 20 to 52.6 %. Also, some of the equipment is heavy and extensive damage could occur from all the turning movements if a larger amount of pavement is required.

Facades and Exterior Walls

1. On the façade, we are requesting a variance from the change in materials serving as the depth of material in lieu of every 100' to have a 3' wall projection or recess with a minimum of 20 contiguous feet or 20% of the facade.

Roofs

1. Rooflines shall be varied with a change in height every 100'. We are requesting a variance to 120' for the rooflines. Due to the layout of columns in the building, we are requesting this minimal variance.

Materials and Colors

1. Predominant materials of either brick, stone, masonry units, etc. shall be used. We have provided stone, a lot of windows, and architectural metal awnings for both buildings. The rear and sides of the powersports building is metal with architectural metal awnings. However, the back of the building faces a steep vertical grade behind the building providing a natural screen. Also, one of the sides does not face any parking. The side that does face the parking, the south side, contains horizontal metal panels with stone and a varying roof with a gable. We are requesting a variance for the rear and sides of the powersports building to be metal. For the tractor building, stone and a lot of glass windows will be used along with vertical metal panels. We are requesting a variance to allow the vertical metal panels on this building.

Entryways

1. Each building has two defined customer service entryways in lieu of 3. Each building does have a third entrance but they are for parts and maintenance. Therefore, we are requesting a variance from this requirement.

Landscaping

1. Ordinance requires foundation landscaping. Both buildings have a covered canopy on the front side of the buildings for covered display areas. There is a public sidewalk located along adjacent to these canopies. For sales reasons, these canopies need to be directly connected to the sidewalk and parking lot. There are also times that equipment or powersports will be driven over the sidewalks to outside display areas or for replenishing the displays. In lieu of placing a strip of foundation landscaping, the amount of shrubs and trees that would have been placed in this space has been placed in adjacent tree islands or other landscaped areas. Therefore, we are requesting a variance from this requirement.
2. One tree and seven shrubs every 25' is required along public street right of way. This requirement has been met along 48th Street. However, one tree and 10 shrubs has been provided along I-49. This is due to obtaining visibility of the outside display areas that will be placed along I-49. The full maturity of trees at 25' spacing could hinder the visibility of the outside display areas. Therefore, we are requesting a variance for the spacing of trees and shrubs.

Screening

1. The outside storage areas are required to be screened. However, the bulk of the outside storage areas will be for equipment and power sports that will replenish stock as sales are made. The stock needs to be seen from the entrance drive into the development. Due to the length of the private access drive, visibility of these storage areas will not be seen either from I-49 or from 48th Street. A customer would not see the outside storage areas until well after 1/2 the way up the private access drive. For this reason, we are requesting a variance from this requirement.
2. The ordinance requires that all truck docks and trash receptacles/dumpsters to be screened from public view. As stated before, the buildings are located a substantial distance from 48th Street. Also, the truck docks are located on the side of the building where shipping and receiving will be performed. Just east of this area, there is a steep grade of more than 15' in height providing a natural screen. Any future dumpsters added will be placed in this area

Board of Adjustments Chairperson
April 23, 2020
Page 4

Thank you for your consideration of the variances and we look forward to discussing them further with you and to your approval.

Best Regards,
EXPEDIENT CIVIL ENGINEERING, PLLC



Jason E. Ingalls, P.E.
Owner/Senior Project Manager

Cc: Williams Tractor, Inc.

P139

An equal opportunity employer

APPLICATION FOR VARIANCE
COMMERCIAL DESIGN STANDARDS
BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: Lots 1 & 2 of Hammit-Eoff Business Center

Applicant Name: Go Punch List (Brandon King)

Address: P.O. Box 724

City: Springdale State: Arkansas Zip: 72765

Phone: 479-310-5860 Fax: _____ Email: gopunchlistnwa@gmail.com

Property Owner Owner's Representative Contract Purchaser

Represented by: ESI

Address: 1207 S. Old Missouri Rd.

City: Springdale State: Arkansas Zip: 72765

Phone: 479-751-8733 Fax: _____ Email: jappel@engineeringservices.com

Legal Description: (Check if attached)

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The Planning Commission may approve variances to depart from the literal requirements of the Commercial Design Standards where strict enforcement of said requirements would cause undue hardship due to circumstances unique to the individual property under consideration, and the granting of such variance is demonstrated to be within the spirit and intent of the provisions of the design standards.

Check item(s) for which variance is requested:

- ENTRANCES** – one customer entrance on all sides of principal building directly facing abutting public right-of-way
- PARKING LOT ORIENTATION** – no more than 60% of off-street parking area located between the front façade within the front yard of the principal building
- STRUCTURE BACK AND SIDES**
 - Minimum setback according to zoning district requirements
 - Earthen berm installed with trees and landscaping for façade facing adjacent residential uses or area on Comprehensive Land Use Plan
- PEDESTRIAN FLOW**
 - 5' sidewalk along all sides of lot abutting public right-of-way
 - 5' continuous internal pedestrian walkways from public sidewalk to principal customer entrance of all principal building on site
 - 5' sidewalk along the full length of building on façade featuring customer entrance on façade abutting public parking areas 6' from façade of building
 - Weather protection features within 30' of all customer entrances, constructed parallel to building façade
 - Internal walkway distinguished from driving surface through use of durable, low maintenance surface materials to enhance safety and comfort
- CENTRAL FEATURES AND COMMUNITY SPACES**
 - Provision of at least 2 central features
 - Direct access to public sidewalk network
- MULTIPLE BUILDINGS IN COMMERCIAL CENTERS**
 - Use of similar building materials
 - Use of similar architectural styles or theme
- OUTDOOR STORAGE, TRASH COLLECTION AND LOADING AREAS**
 - Not visible from public right-of-way, located within 20' of any public street, sidewalk or internal pedestrian way
 - Incorporated into the overall design of the building
 - Screening material similar to principal materials of the building and landscape
 - Landscaped so that visual and acoustic impacts fully contained and out of view of adjacent property and public streets
 - Landscaped so not attention is attached to the function by the use of screening material and no attention is attached to the function by the use

- Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

FOR EACH ITEM CHECKED

Variance requested: (attach visual representation of request)
Visual representations in the form of elevation renderings have been attached.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)
Our client desires to have a building with Architectural Metal panels with enhanced customer storefront entires as shown on the provided elevations.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)
Variance would allow proposed building to be constructed with material and layout provided by LSD submission.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)
A project will generally comply with commercial design standards and the Springdale code of ordinances but the variances will allow for construction as shown in the submitted plans.

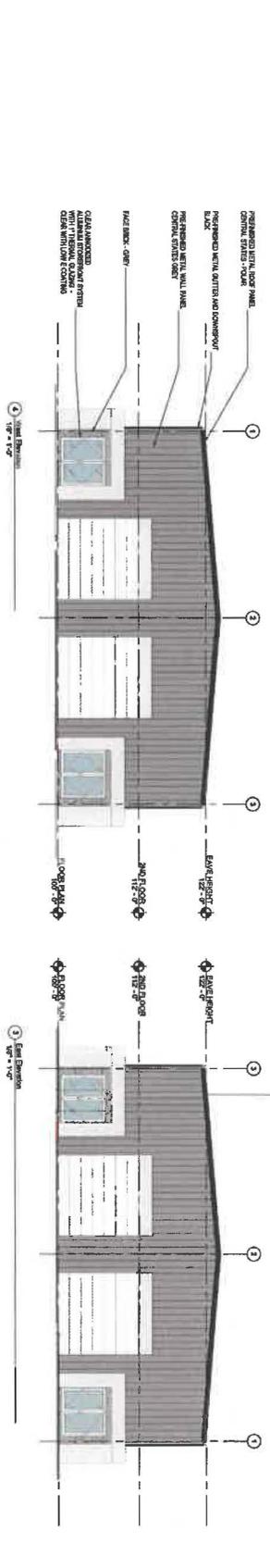
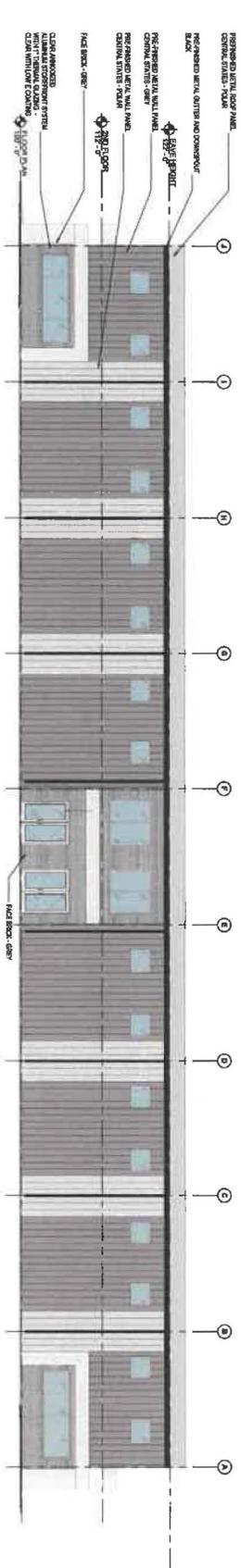
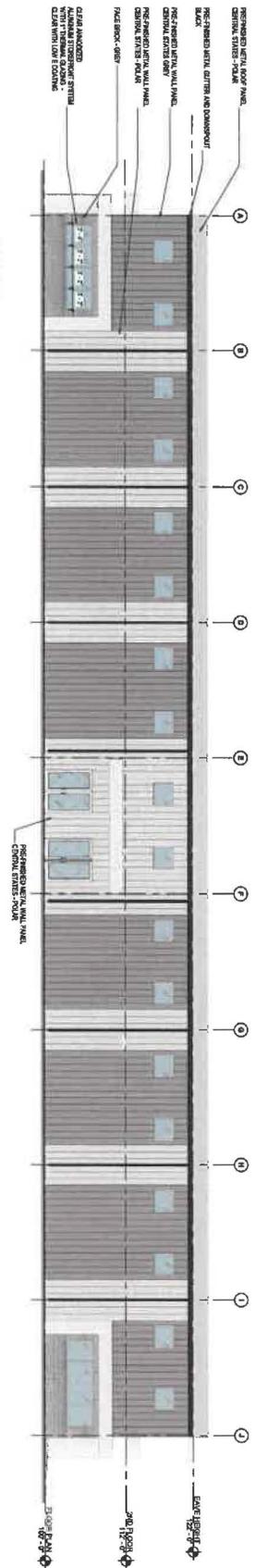


The Applicant understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

The Applicant understands that he/she must be present at the meeting to present the variance request and to answer questions. If the Applicant is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S)

DATE: 4/15/2020



NO.	REVISION
ISSUE	DATE

CORE ARCHITECTS
 ARCHITECTS OF RECORD
 1400 S. COLLEGE SPRINGS DR. SUITE 100 - R00286, AR 72738
 PH - 479.631.2673 FX - 479.631.2674 www.corearch.com

GO PUNCH LIST

 HAILE LANE
 SPRINGDALE, AR 72782

DATE	2020/04/02
PROJECT #	20-022
DESIGNED BY	GOHN
DRAWN BY	GOHN
CHECKED BY	GOHN
DATE	2020/04/02
PROJECT #	20-022
DATE	2020/04/02
PROJECT #	20-022
DATE	2020/04/02
PROJECT #	20-022



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CORE
ARCHITECTS

1807 S. OSAGE SPRING DR. SUITE 100 - ROGERS, AR 72756
PH - 479.631.2673 FX - 479.631.2674 www.core-arch.com

ARCHITECT OF RECORD

NO TIME
CONSTRAINTS

NO.	REVISION	ISSUE	DATE

CONSULTANT

GO PUNCH LIST

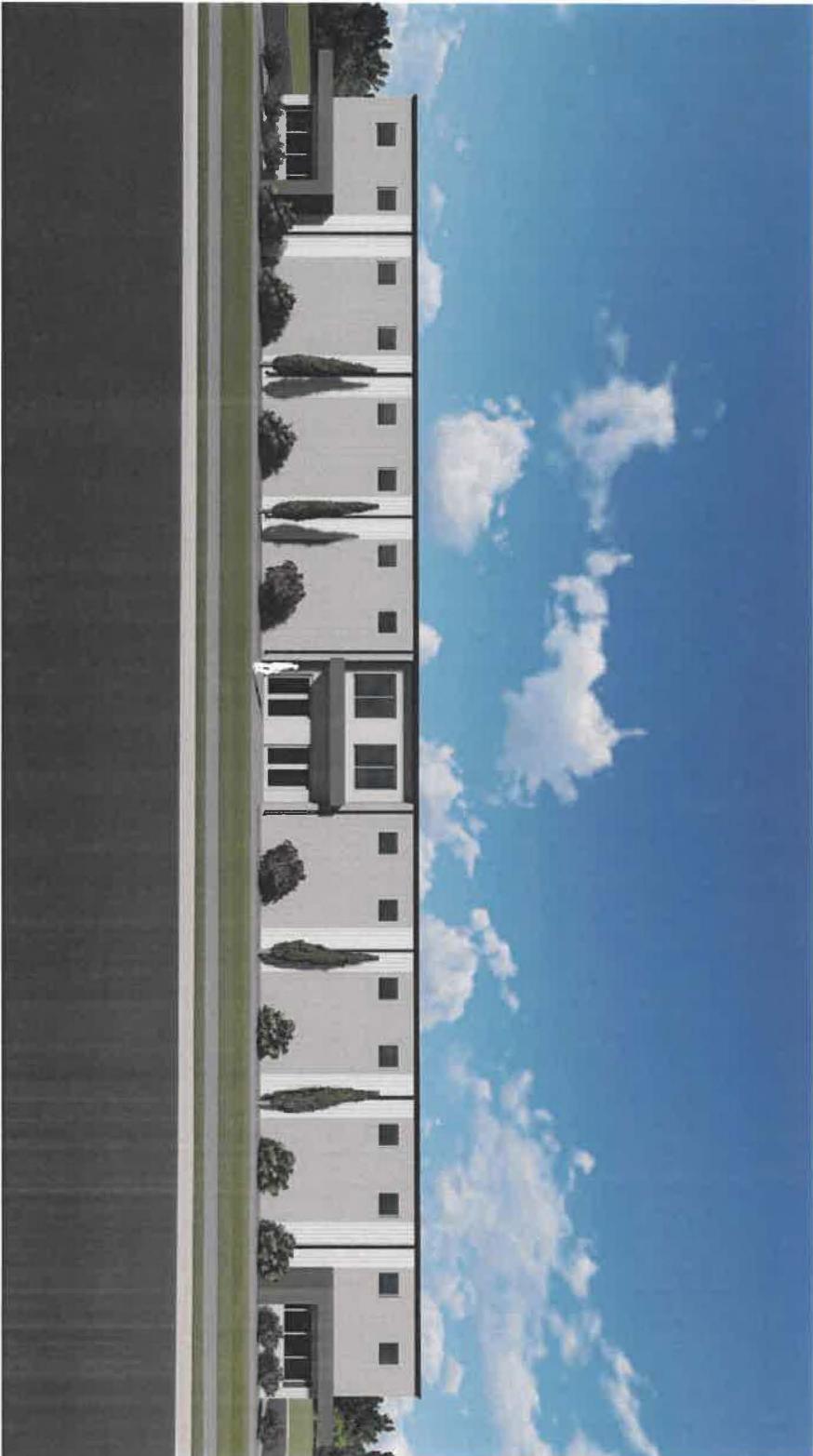
HAILE LANE
SPRINGDALE, AR 72782

DESIGNER:
CORE ARCHITECTS
ARCHITECTS

PROJECT #
20-423

DATE
20/03/20

DRAWING
A32
RENDERING



REVISION		
NO.	ISSUE	DATE

ARCHITECTS OF RECORD
 NOT FOR CONSTRUCTION

CORE
 ARCHITECTS

1806 S. USMAN SPRINGS DR. • SUITE 100 • RINGDLE, AR 72726
 PH • 479.631.8273 FL • 409.631.2674 www.corearch.com

CONTRACT NO.

GO PUNCH LIST

HAILE LANE
 SPRINGDALE, AR 72762

DRAWN BY:
 GCN
 CHECKED BY:
 GCN

PROJECT NO.
 20-022

DATE:
 2020.04.02

DRAWING
A33
 RENDERING

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses
 - Minimum 3' depth
 - Minimum of 20 contiguous feet within each 100' of façade length
 - Extends 20% of the façade

- DETAIL FEATURES**

- Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
- At least one element repeating horizontally
- Elements repeat at intervals of more than 30' horizontally or vertically
- Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ROOFS** – change in height every 100 linear feet in building length

- MATERIALS AND COLORS**

- Predominate exterior materials high quality materials
- Façade color – low reflectance, subtle, neutral or earth tone

- ENTRYWAYS** – 3 defined, highly visible customer entrances

- LANDSCAPING**

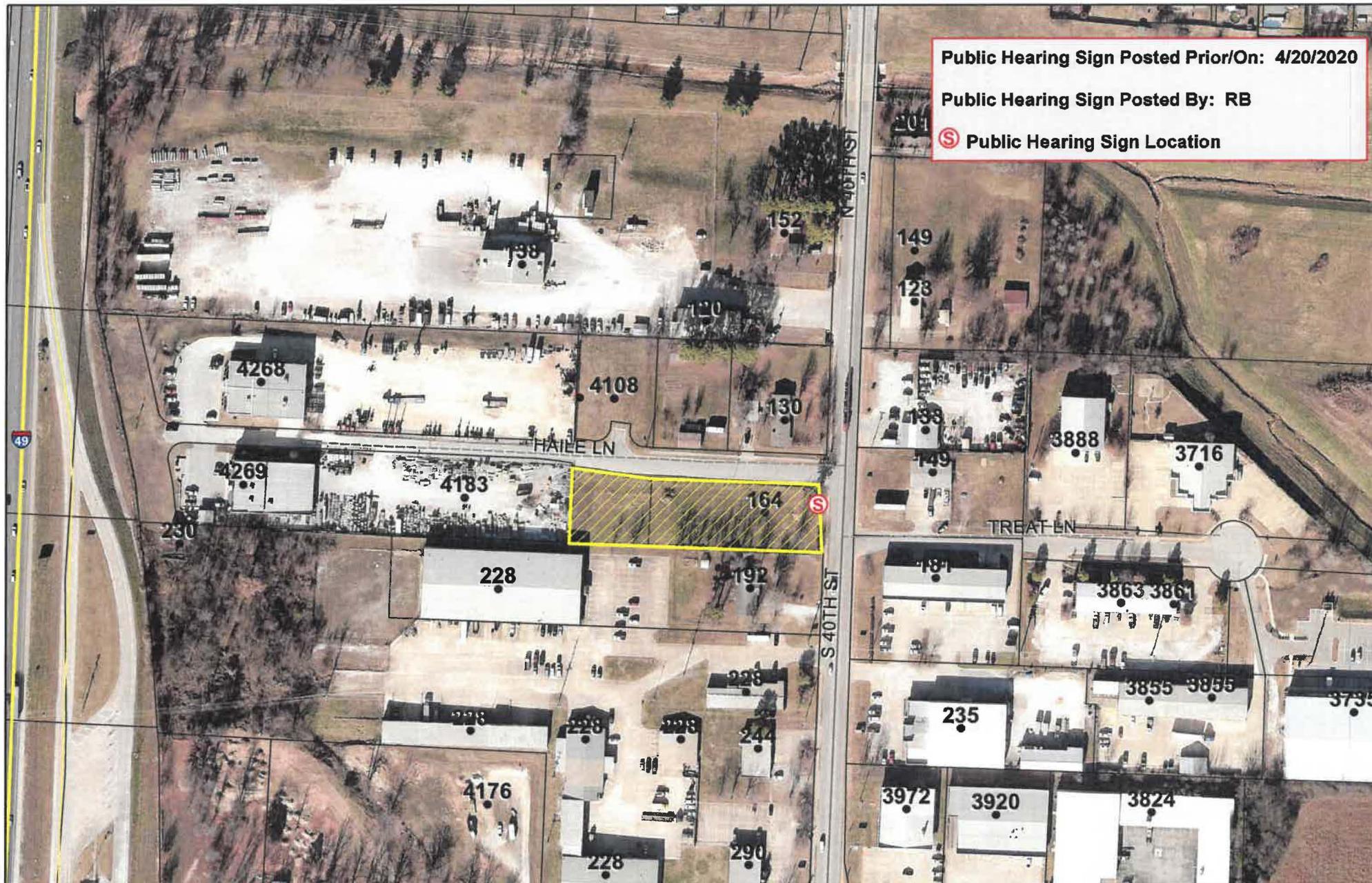
- Entryway landscaping
- Parking lot landscaping
- Perimeter parking area landscaping
- Building foundation landscaping

- SCREENING**

- Trash containers, trash compactor, and recycling bins screened from public view 4 sides
- Exterior ground-mounted or building-mounted equipment
- Rooftop equipment
- Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
- Required screening fence or wall maximum height 8', high quality materials
- Required screening fence or wall maximum continuous length of 50'

- LIGHTING**

- Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
- Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
- Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
- Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
- Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
- Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy



Public Hearing Sign Posted Prior/On: 4/20/2020
Public Hearing Sign Posted By: RB
Public Hearing Sign Location

FILE NO. B20-19
APPLICANT: Go Punch List (Brandon King)
REQUEST: Variance for deviation of Commercial Design Standards

PLANNING COMMISSION MEETING
May 5, 2020

0 40 80 160 240 320 Feet
For Location Reference Only

P149

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B20-20

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
 ZONING BOARD OF ADJUSTMENT
 SPRINGDALE PLANNING COMMISSION
 CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Jared Conroy, Kent McJunkin

Applicant's Mailing Address:

128 West End Ave
 Street Address or P.O. Box
Springdale, AR 72764
 City, State & Zip Code

Telephone Number

Property Owner's Name (If different from Applicant): Kent McJunkin

Property Owner's Mailing Address: (If different from Applicant):

1904 Currier Place
 Street Address or P.O. Box
Springdale AR 72762
 City, State & Zip Code

479 387-5414 - McJunkin's #
 Telephone Number

Address of Variance Request: 1904 Currier Place, Springdale AR 72762

Zoning District: _____

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

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sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: 30 Side: 8 Back: 20
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 30 Side: 8 Back: 10
(if granted what the setback would be.)

Variance: Front: 0 Side: 0 Back: 10
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK: 20' H Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

20 x 20 x 24' Storage Building w/ sub floor.

① Reduce back setback to 10'

② Allow for 20' H clearance

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

NOTICE OF PUBLIC HEARING BEFORE THE
SPRINGDALE PLANNING COMMISSION
ON A BOARD OF ADJUSTMENT APPLICATION

To All Owners of land lying adjacent to the property at:

Location: 1904 Cassie Pl Springdale, AR 72762

Owned by: Charles Kent McJunkin

NOTICE IS HEREBY GIVEN THAT an application has been filed to the Board of Adjustment (Variance) for above property.

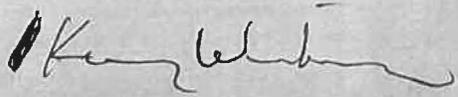
If approved, the variance will occur only upon the property described above. It will not change anything pertaining to your property.

The purpose of this request is to:

Reduce rear offset on property to 10
to allow for 20 x 20 x 24 storage building.
Reduce height restriction to 20 to allow for
storage building.

A public hearing on said Board of Adjustment request will be held by the Springdale Planning Commission in the Council chambers at the City Administration building, 201 Spring Street, on _____ at _____ p.m.

All parties interested in this matter may appear and be heard at said time and place or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the Planning Office, Room 214, city Administration Building, 201 Spring Street, 750-8550, and to review the application and discuss the same with the Planning Staff.

 owner of 1906 Cassie Pl Springdale, AR 72762

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The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The property is pie slumped causing the corner of the proposed building to encroach on the 20' rear set back.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

All adjacent properties have storage buildings.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

The property is pie slumped and the 20' set back encroaches the property disproportionately on the left side.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Charles Kent McKin
Applicant Signature*

Charles Kent McKin
Property Owner Signature*
(If different from Applicant)

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
County of Washington) ss.

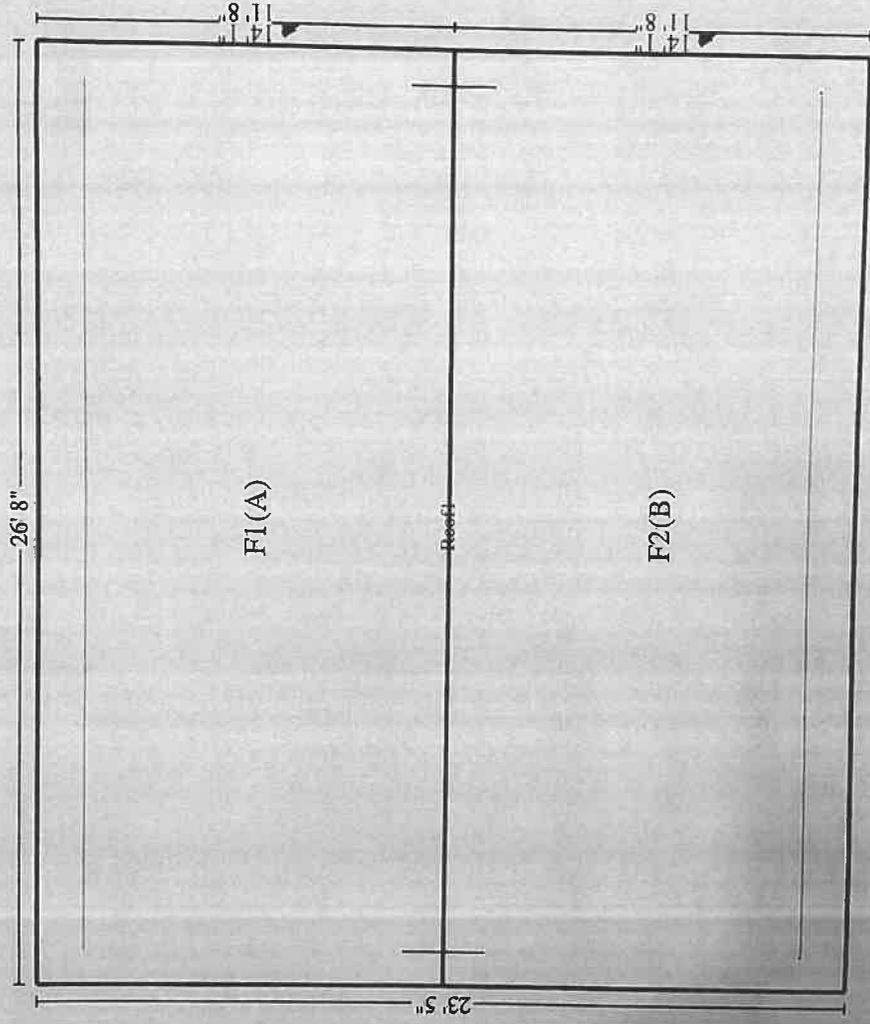
SUBSCRIBED AND SWORN TO before me, a Notary Public, this 13th day of March, 2020.

Alescha S. Massey

OFFICIAL SEAL
ALESCHA L MASSEY
NOTARY PUBLIC, ARKANSAS
WASHINGTON COUNTY
COMMISSION # 12370856
COMMISSION EXP. 04/08/2020

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Level 2



Level 2

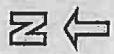
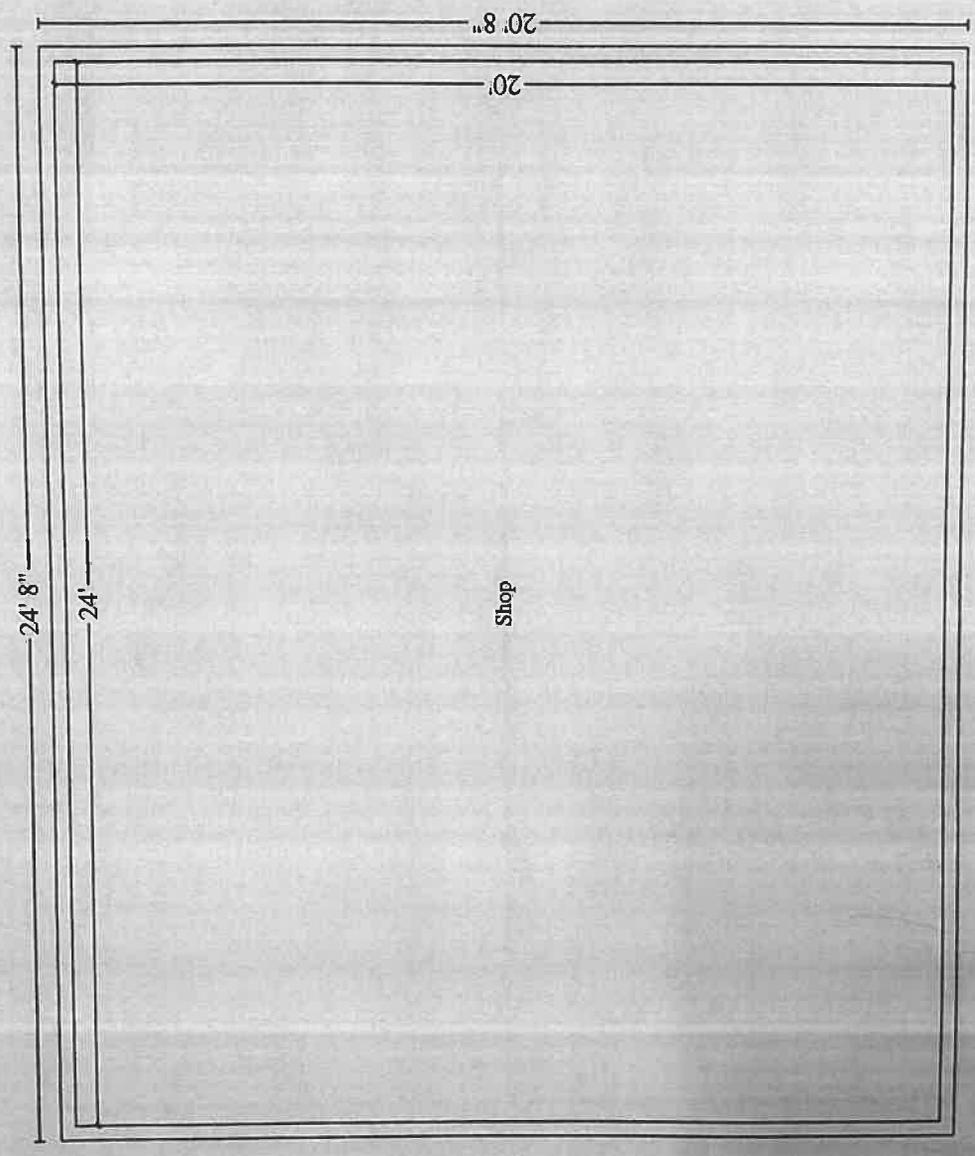
3/20/2020

Page: 2

2020-03-20-1030

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Main Level



Main Level

3/20/2020

Page: 1

2020-03-20-1250

AFFIDAVIT

I hereby certify that I Charles Kent McKinley
Print or type name

acting as agent/owner, have provided notice to affected parties in accordance with the requirements set forth in the instruction given with the conditional use application and that the notice information provided is to the best of my knowledge true and factual. I am hereby enclosing the following supporting documents: copies of the notice, mailing receipts, return cards and any notices that were undeliverable.

Name: Charles Kent McKinley

Date: 3-13-2020

Variance for Kent McJunkin

Pursuant to the provision of Ordinance Number 3307 of the Code of Ordinances of the City of Springdale, Arkansas, the Zoning Board of Adjustment of the Springdale Planning Commission does herewith call a formal hearing on the petition and appeal of Kent McJunkin from a decision of the enforcement officer. The applicant is requesting a variance for deviation of rear setback from 20' to 10' on property located at 1904 Carrie Place. Persons desiring to present arguments for/or against said petition and appeal are hereby notified to appear at

5:00 p.m., on Tuesday, May 5, 2020

a public hearing to be held in the City Administration Building, Council Chambers. All persons desiring to contest said petition or the action of the Planning Commission thereon is warned to appear at said time and place to be heard and upon their failure to do so; such persons will be forever barred from further contest.

Ben Peters, Secretary
Springdale Planning Commission

VARIANCE CHECKLIST	
<i>Need</i>	\$75.00 Fee
✓	Application-signed and notarized
<i>Need</i>	Warranty Deed
	Authorization of Representation
<i>Need</i>	Adjacent property owners from County Courthouse (Benton or Washington)
✓	Notice to adjacent property Owners
	White mail receipts-must be certified, return receipt requested
	Green returns-May be turned in night of Planning Commission meeting
	Document showing authorized signers, if applicable
✓	Site plan and/or pictures. Must show parking availability if applicable
✓	Affidavit of Mailing
	Legal Notice (Office Use Only)

and appeal are hereby notified to appear at 5:00 p.m., on Tuesday, May 5, 2020

a public hearing to be held in the City Administration Building, Council Chambers. All persons desiring to contest said petition or the action of the Planning Commission thereon is warned to appear at said time and place to be heard and upon their failure to do so; such persons will be forever barred from further contest.

Ben Peters, Secretary
Springdale Planning Commission 75262084 Apr 22, 2020

Variance for Kent McJunkin (Amended)

Pursuant to the provision of Ordinance Number 3307 of the Code of Ordinances of the City of Springdale, Arkansas, the Zoning Board of Adjustment of the Springdale Planning Commission does herewith call a formal hearing on the petition and appeal of Kent McJunkin from a decision of the enforcement officer. The applicant is requesting a variance for deviation of rear setback from 20' to 10' and deviation to increase height of storage building from 16' to 20' on property located at 1904 Carrie Place. Persons desiring to present arguments for/against said petition



FILE NO. B20-20
APPLICANT: Kent McJunkin
REQUEST: Variance for deviation of rear setback from 20' to 10' and deviation of maximum height of accessory structure from 16' to 20'

PLANNING COMMISSION MEETING
May 5, 2020


0 25 50 100 150 200
Feet
For Location Reference Only

Variance for Kent McJunkin
Pursuant to the provision of Ordinance Number 3307 of the Code of Ordinances of the City of Springdale, Arkansas, the Zoning Board of Adjustment of the Springdale Planning Commission does herewith call a formal hearing on the petition and appeal of Kent McJunkin from a decision of the enforcement officer. The applicant is requesting a variance for deviation of rear setback from 20' to 10' on property located at 1904 Carrie Place. Persons desiring to present arguments for/against said petition and appeal are hereby notified to appear at 5:00 p.m., on Tuesday, May 5, 2020

a public hearing to be held in the City Administration Building, Council Chambers. All persons desiring to contest said petition or the action of the Planning Commission thereon is warned to appear at said time and place to be heard and Ben Peters, Secretary

Springdale Planning Commission
75260811 Apr 19, 2020

Debbie Ponders

From: Patsy Christie <pchristie@springdalear.gov>
Sent: Tuesday, April 28, 2020 1:26 PM
To: Debbie Ponders
Subject: FW: Sidewalk Waiver
Attachments: Sidewalk Waiver.docx

Waiver request to be added to the PC agenda May 7th. Thanks.

Patsy Christie, Director
Planning & Community Development
201 Spring Street
Springdale, AR 72764
(479) 750-8588

From: Cammie Scott [<mailto:ckhscott@gmail.com>]
Sent: Friday, April 24, 2020 3:03 PM
To: Patsy Christie
Subject: Re: Sidewalk Waiver

Hi Patsy,

I got the new address. Here is the letter with the new address and parcel number requesting a sidewalk variance. Please let me know what else you need.

Have a great weekend,

Cammie Scott

On Wed, Apr 22, 2020 at 3:05 PM Patsy Christie <pchristie@springdalear.gov> wrote:

We will need the assigned address as part of the waiver request along with the parcel identification number.

Patsy Christie, Director
Planning & Community Development
201 Spring Street

W20-06

Springdale, AR 72764
(479) 750-8588

From: Cammie Scott [mailto:ckhscott@gmail.com]
Sent: Wednesday, April 22, 2020 2:52 PM
To: Patsy Christie
Subject: Re: Sidewalk Waiver

I have submitted plans and the application. My understanding, which could be incorrect, is that I needed the address before they would do the building permit.

I just followed up on the address request as it has been about a week. I reached out to Mike Chamlee and let him know as well.

On Wed, Apr 22, 2020, 2:48 PM Patsy Christie <pchristie@springdalear.gov> wrote:

Have you submitted building plans and do you have a building permit?

Patsy Christie, Director
Planning & Community Development
201 Spring Street
Springdale, AR 72764
(479) 750-8588

From: Cammie Scott [mailto:ckhscott@gmail.com]
Sent: Wednesday, April 22, 2020 2:46 PM
To: Patsy Christie
Subject: Re: Sidewalk Waiver

Patsy,

I haven't forgotten the letter requesting the waiver. I put in for a new address and haven't received it yet. If you don't need the new address, then I will go ahead and send it to you.

Cammie Scott

On Thu, Apr 16, 2020, 6:06 PM Cammie Scott <ckhscott@gmail.com> wrote:

Thanks! I will get that sent over to you tomorrow.

On Thu, Apr 16, 2020 at 11:12 AM Patsy Christie <pchristie@springdalear.gov> wrote:

There is not a sidewalk waiver form. You will need to request in writing in the form of a letter addressed to the Planning Commission.

Patsy Christie, Director
Planning & Community Development
201 Spring Street
Springdale, AR 72764
(479) 750-8588

From: Cammie Scott [mailto:ckhscott@gmail.com]
Sent: Wednesday, April 15, 2020 5:06 PM
To: pchristie@springdalear.gov
Cc: Mike Chamlee
Subject: Sidewalk Waiver

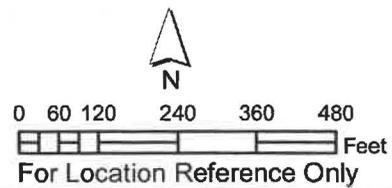
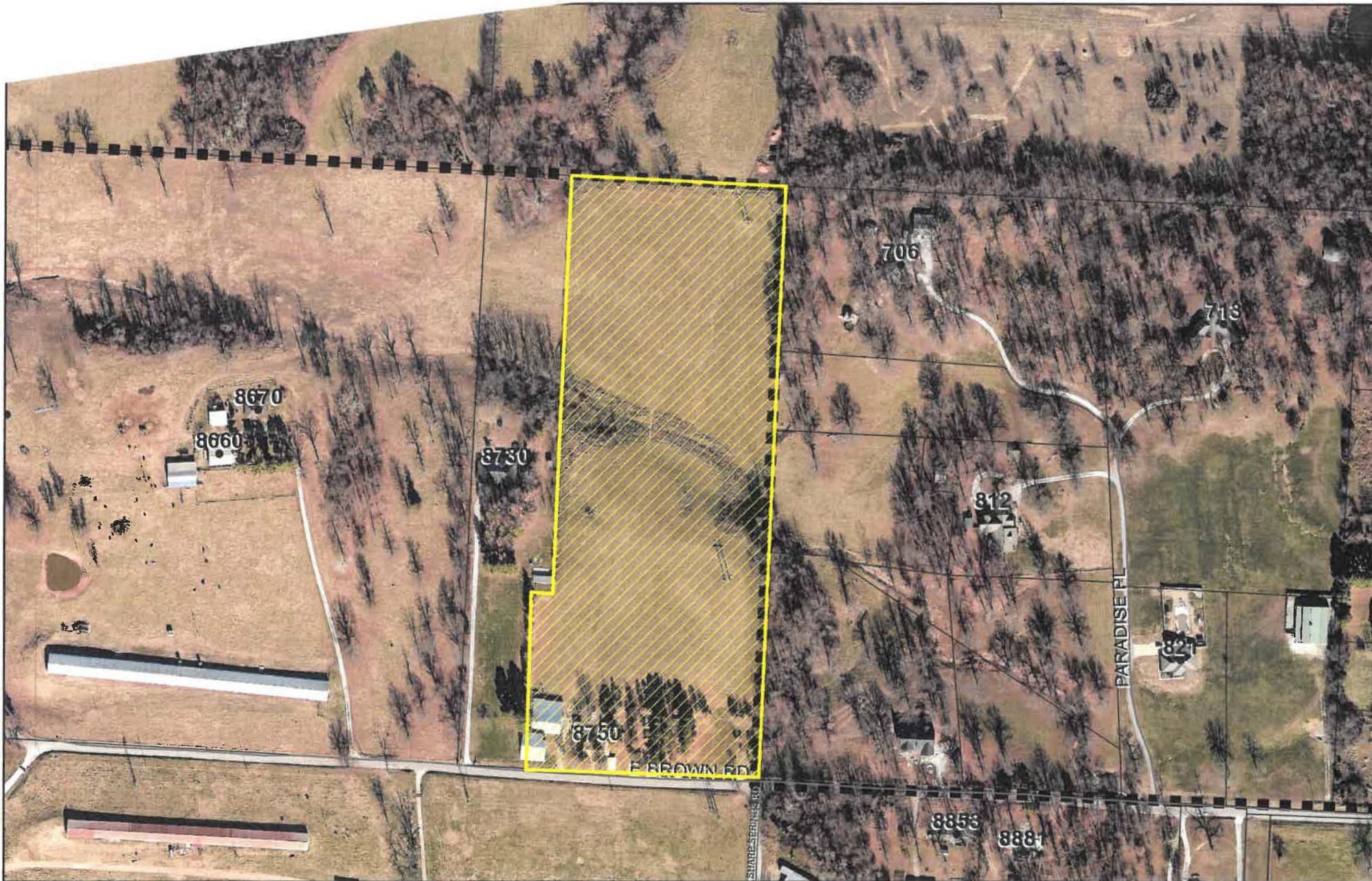
Hi Patsy,

I have been working with Mike Chamlee on the building permit to move the house we discussed to 8750 E. Brown Road, Lowell, AR 72745. He reminded me I need to request a sidewalk waiver for this house.

I can't find a form for this on the website. What is the process for this?

Thank you for your help,

Cammie Scott



FILE NO. W20-06
APPLICANT: Cammie Scott
REQUEST: Waiver of Sidewalk Improvements

PLANNING COMMISSION MEETING
May 5, 2020

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