

June 2020 Planning Commission

Engineering Comments Summary

Large Scale Developments

- A. **L20-11** Williams Tractor
 S of DTP, East side of I-49
B20-18 Variance for deviation of landscaping per Chapter 56
 Variance for deviation of Commercial Design Standards
 Presented by Expedient Civil Engineering, PLLC

Summary of Engineering Comments:

(No new comments since last month)

- Show concrete pipe in outlet detail and revise drainage report where it mentions HDPE
- Photometric plan is not legible

- B. **L20-15** The Peaks at Springdale
 W. side of N. Thompson, N. of Cooper Dr.
 Presented by Crafton Tull

Summary of Engineering Comments:

- Double check drainage easement, need full 20' outside of 100 year flood pool
- Submit Grading Permit application

Preliminary Plats, Replats, Final Plats

- A. **PP20-03** The Crossings
 W. of Gene George Blvd.
 S. side of W. Sunset Ave.
 Presented by McClelland Engineering

Summary of Engineering Comments:

- Need to show proposed/existing streetlights
- Submit Grading Permit application

**SPRINGDALE PLANNING COMMISSION
COUNCIL CHAMBERS
201 SPRING
5:00 P.M. JUNE 2, 2020
Tentative Agenda**

- I. **Pre-Meeting Activities**
 - Pledge of Allegiance
 - Invocation

- II. **Call to Order**

- III. **Roll Call**

- IV. **Approval of Minutes**

- V. **Tabled Items**
 - A. **W20-06** **Cammie Scott**
8750 E. Brown Road
Waiver of sidewalk requirement
Presented by Cammie Scott

 - B. **L20-11** **Williams Tractor**
South of Don Tyson Parkway
East side of I-49
B20-18 **Variance of deviation of Commercial Design Standards**
Presented by Expedient Civil Engineering, PLLC

 - C. **B20-20** **Kent Mcjunkin**
1904 Carrie Place
Variance for deviation of rear setback
Presented by John Connley

- VI. **Public Hearing – Rezoning**
 - A. **R20-16** **Arkansas Granite & Marble, LLC**
2300 Turner
From C-5 to I-2
Presented by Armando Carrillo

 - B. **R20-17** **C.L. George & Sons**
West of Gene George Blvd.
South side of W. Sunset
From A-1 to C-5
Presented by McClelland Consulting Engineers, Inc.

- C. R20-18 **Eden & Lizbeth Tanguma**
3545 Julio Road
From A-1 to SF-2
 Presented by Engineering Services, Inc.

- D. R20-19 **Mancia Properties, LLC**
601 N. Thompson
From C-6 to C-5
 Presented by Wilner Dubon

- E. R20-20 **Harold & Mattie Griffith Family Trust**
Washington County Parcel 815-30894-000
From A-1 to C-2
 Presented by Engineering Services, Inc.

- VII. **Public Hearing – Conditional**

- A. C20-13 **Roger Trujillo**
8930 Carrie Smith Road
Conditional Use for a Tandem Lot Split
 Presented by Roger Trujillo

- VIII. **Preliminary Plats, Replats, Final Plats**

- A. PP20-03 **The Crossings**
W. of Gene George Blvd.
S. side of W. Sunset Ave.
 Presented by McClelland Engineering

- XI. **Large Scale Developments**

- A. L20-15 **The Peaks at Springdale- Phase II & III**
W. side of N. Thompson, N. of Cooper Dr.
 Presented by Crafton Tull

- X. **Board of Adjustment**

- A. B20-21 **Tyson Foods, Inc.**
2200 Don Tyson Parkway
Variance for deviation of sign Ordinance
 Presented by Someone from Tyson

- B. B20-22 **Josh & Jennifer Fortenberry**
3808 Valley View Drive
Variance for deviation of side setback from
20' to 10'
 Presented by Josh Fortenberry

- C. **B20-23** **Victor Barrios**
 225 Stephen
 Variance for deviation of front setback from
 22' to 14'
 Presented by Victor Barrios

- D. **B20-24** **Dustin & Christa Humphrey**
 3929 Orleans Ave.
 Variance for deviation of side setback from
 8' to 5'
 Presented by Dustin Humphrey

- E. **B20-25** **Harold & Mattie Griffith Trust**
 4022 S. 56th Street
 Variance for deviation of 35' front building setback
 Presented by Engineering Services, Inc.

- XI. **Planning Director's Report**

- XII. **Adjourn**

The Springdale Planning commission met in regular session on Tuesday, May 5, 2020 at 5:00 p.m. in Council chambers. It should be noted at this time that the meeting was via Zoom.

Prior to the meeting being called to order, Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Roy Covert gave the invocation.

The meeting was called to order at 5:03 p.m. by Chairman Kevin Parsley.

Roll call was answered by:

| | |
|--|------------------------------------|
| | Howard Austin (physically present) |
| | Gary Compton (Zoom) |
| | Roy Covert (Zoom) |
| | Kevin Parsley (physically present) |
| | Payton Parker (Zoom) |
| | Ben Peters (Zoom) |
| | Dale Tyler (Zoom) |

Also physically present were Patsy Christie, Director of Planning and Community Development, Austin Thomas, Assistant Director of Planning and Community Development, Rick Barry, Senior Planner and Sarah Sparkman, Assistant City Attorney (Zoom).

Commissioners that were absent were James David and Shannon Mueller.

Commissioner Gary Compton moved to approve the April 7, 2020 minutes. Commissioner Roy Covert seconded the motion. By a voice vote of all ayes and no nays the April 7, 2020 minutes were approved by a unanimous vote.

Other

Proposed Revisions to Chapter 112,
Subdivision Regulations of the Code of
Ordinances Section 112-8 to update
Procedures for Development Plan Approval
Presented by Patsy Christie

Ms. Christie said that Staff had been looking at refining the requirements for submission for subdivisions, preliminary plats, replats and final plats. They added to the definition of a development plan which includes anything submitted for development, building construction and parking lot. It was unclear in the past if the development needed to have a plan for the parking lot. She said that before they can get a grading and/or building permit, temporary or permanent connection to City utilities the development plan must be approved. She highlighted other components of the revision, including Large Scale and Non-Large Scale development. She further stated that the proposal needs a motion to forward to Council with a do pass recommendation.

Mr. Covert moved to forward it to City Council for approval. Mr. Austin seconded the motion.

VOTE:

YES: Austin, Compton, Covert, Parker, Parsley, Peters, Tyler

NO: None

The motion to forward to Council with a recommendation for approval was unanimous.

Public Hearing – Rezoning

- A. R20-13 WT-LF, CL
S. of DTP, E. side of I-49
 From A-1 to C-5
 Presented by Expedient Civil Engineering, PLLC

Mr. Jason Ingalls was present, via Zoom, on behalf of his client to answer any questions or comments. He said that they were just trying to clean up the parcel. There was a triangular portion, which is about an acre and a half that fronts I-49. It was never rezoned from an A-1 District.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates Regional Commercial use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Mr. Parsley asked if there were any comments from the public.

There were none.

Mr. Covert called for the vote.

VOTE:

YES: Compton, Covert, Parker, Parsley, Peters, Tyler, Austin

NO: None

The rezoning was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, May 26, 2020 at 6:00 p.m. in Council Chambers.

Preliminary Plats, Replats & Final Plats

- A. RP20-05 Replats 1 & 2
 Hammit-Eoff Business Center
 SW corner of Haile Lane & 40th St.
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present via Zoom on behalf of his client. He said that they were combining two lots for a large scale development.

Mr. Parsley asked for Staff comments.

Ms. Christie said the only comment is they need to add the required signatures.

Mr. Parsley asked if anyone had called in with questions or comments.

No one had.

Mr. Covert moved to approve the Replat subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Covert, Parker, Parsley, Peters, Tyler, Austin, Compton

NO: None

The replat was approved, subject to Staff comments by a unanimous vote.

Ms. Christie stated for the record that if Mr. Appel wanted this replat to go to Council on Tuesday, May 12, 2020 he will need to have the Ordinance into the Planning Office by noon on Thursday, May 7, 2020.

- B. FP20-01 Final Plat – Hylton Place Subdivision Phase I
 E side of Hylton, N. of Howard Anderson Road
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present via Zoom on behalf of his client. He said the first phase will include 52 buildable lots.

Mr. Parsley asked for Staff comments.

Ms. Christie said that Staff had no further comments.

Mr. Parsley asked if anyone had called in with questions or comments.

Mr. Covert moved to approve the Final Plat. Mr. Peters seconded the motion.

VOTE:

YES: Parker, Parsley, Peters, Tyler, Austin, Compton, Covert

NO: None

The motion to approve the Final Plat was approved by a unanimous vote.

Ms. Christie stated for the record that Mr. Appel wanted the Final Plat to go to Council on Tuesday, May 12, 2020 he will need to have the Ordinance into Planning by noon on Thursday, May 7, 2020.

Ms. Priscilla Duncan asked where this was in relation to Stonehenge.

Mr. Appel said that it is to the north of the final plat.

Ms. Christie said that the final plat is at the stage where lots can be sold.

Ms. Duncan said that it doesn't appear to have any effect on her property.

Large Scale Developments

- A. L20-11 Williams Tractor
S. of DTP, E. side of I-49
- B20-18 Variance for deviation of landscaping per Chapter 56
Variance for deviation of Commercial Design Standards
Presented by Expedient Civil Engineering, PLLC

Mr. Jason Ingalls with Expedient Civil Engineering, PLLC, was present via Zoom to answer any questions or comments. He said that Williams Tractor is looking to relocate their facilities from Fayetteville to Springdale. He said that they are asking in one of the variances to allow gravel for a part of the parking. He said that it will have a long driveway from 48th Street to the property.

Ms. Christie said that Staff doesn't have colored elevations for both buildings.

Mr. Bill Weidhour, the architect on this project was also present. He said that they had both buildings and he doesn't know why there are not color elevations as they were submitted.

Ms. Christie pointed out on the east elevation, there are no breaks.

Mr. Weidhour said that that was correct as it is the back of the building.

Ms. Christie asked if they provided Staff of which tree will be saved.

Mr. Weidhour said it should be shown on the landscape plan.

Ms. Christie wanted to know what percentage of the parking would remain gravel and she wanted to know why it needed to be gravel.

Ms. Christie said they had some standard comments which she read.

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-11. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)
5. Shown gravel area exceeds the maximum acreage (1) allowed within the existing C-5 zoning. (Roughly 4.5 acres as shown.)
6. Where will the dumpster(s) be located?

Landscaping Comments

1. Tree plantings along the Western property line appear to be spaced around 40' as opposed to 25' as set forth within the perimeter landscaping requirements.

Commercial Design Comments

1. Continuous internal pedestrian walkways, no less than five (5) feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds, ground covers, or other such materials for no less than fifty (50) percent of their length. (Variance Item)
2. Each commercial establishment subject to these standards shall contribute to the establishment or enhancement of community and public spaces by providing at least two of the following: patio/seating areas, pedestrian plaza with benches, transportation center, window shopping walkways, outdoor play area, kiosk area, water feature, clock tower, steeple, or other such deliberately shaped area and/or a focal feature or amenity that, in the judgment of the Planning Commission, adequately enhances such community and public spaces. Any such areas shall have direct access to the public sidewalk network and such features shall not be constructed of materials that are inferior to the principal materials of the building and landscape. Although Springdale does not currently maintain a public transit system, areas should be provided or designed to accommodate possible future transit service. (Variance Item)
3. Provide a unified lighting plan for this development prior to final approval.

Commercial Design (Architectural)

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade. Developments shall use articulating features such as arcades; display windows, entry areas, or awnings along at least sixty (60) percent of the façade. **(Variance Item)**
2. No building foundation landscaping shown. **(Variance Item)**
3. Building façades shall include a repeating pattern that shall include no less than three (3) of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
 - o Color change
 - o Texture change
 - o Material module change
 - o Expressions of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib. **(Variance Item)**
4. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan. **(Variance Item)**
5. Predominant exterior building materials shall be high quality materials. These include, without limitation:
 - o Brick
 - o Native/natural stone
 - o Synthetic Stone
 - o Concrete masonry units—standard smooth face units with integral color
 - o Synthetic stucco/EIFS
 - o Architectural precast concrete
 - o Decorative face concrete masonry units, such as splitface, scored, fluted, ground face, burnished, etc.
 - o Glass
 - o Wood – natural or composite **(Variance Item)**
6. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
 - o Smooth-faced concrete block
 - o Tilt-up concrete panels
 - o Pre-fabricated steel panels **(Variance Item)**

Engineering Comments

Chapter 106 – Stormwater Drainage

- Note on site plan the 100 year water surface elevation for detention ponds and drainage swales
- All piping in right of way and easements must be reinforced concrete
 - o detention outlets should use RCP
- The maximum allowable length for sheet flow shall be 100 feet unless there is documented engineering justification to use a longer length

1. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.1** - Show & Label all temporary construction stockpiles, parking, entrances, egress, roads, or access as "**Temporary**" on the Grading or Erosion Control Plan.
 - **Include the word "Temporary" on all constructions items that are intended to be removed at the completion of the project.**

- **107.3**
 - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
 - o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

- **107.3** - The following note is required as a General Note on the Site Plan:
 "Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:

- a) development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
- b) the disturbed soil area is observed to have 80% grass coverage and 100% stability, and
- c) No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
- d) Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
- e) all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site."

- **Please include the entire note, including a-e.**

2. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

~~**112.4** Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.~~

- o ~~The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.~~
 - Label all lights as Proposed or Existing
 - ~~Show the direction of the mast arm~~
 - ~~Show the size and type of lights based on the location and classification of the street~~
 - ~~Add note to determine if the light is designed for area parking lot lights or as a street illuminator~~
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

3. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.

- Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current *ADA* and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

4. **Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - **Set monuments at all property corners**
 - **Silt fence may not hold on steep slopes?**
 - **Will the ingress/egress easement remain?**
 - **Is there an existing road in the easement?**
 - **Show storm sewer on the site plan.**
 - **Stop Sign at exit.**
 - **The drive is steep, may consider using concrete instead of asphalt.**
 - **Legend shows existing fence to be chain-link? If not, what is the symbol shown represent?**
 - **Has this amount of impervious surface been approved?**
 - **Where are the proposed parking area lights?**
 - **Label curb and gutter.**
 - **Screening when adjacent to residential.**
 - **Spot elevations needed | parking area.**
 - **Any fire lane/no parking?**
 - **Label the R.O.W.**
 - **Show the ditch section along road.**
 - **Describe the ditch on the grading plan-1, existing proposed?**
 - **F.L. elevations for all storm water pipes.**
 - **Label all pipe and show the F.E.S.**
 - **Show the storm water pipe profiles.**
 - **Describe discharge pipe exit pad.**
 - **Distance appears to be too far in-between inlets.**
 - **Sod to the 100 year line, minimum in detention ponds.**
 - **Show the drainage easement for ponds and piping.**
 - **What are the entrances into the gravel storage area made of? It shows a turning radius but made of gravel, is there curb and gutter?**

Ms. Christie pointed out that there were significant variances for Commercial Design Standards. She also stated that she is unclear as to what trees are being saved for landscaping and which ones are being removed. She also voiced concern about the amount of parking they want to gravel rather than pave per the Ordinance. She asked what kind of vehicles they will be parking on gravel.

Mr. Ingalls said that Williams Tractor does sell tract hoes and the rest is ATVs and tractors.

Ms. Christie said that the Williams Tractor in Fayetteville does not have that many large tracts unless they intend to have a larger inventory of stock than what's in Fayetteville.

Because there were so many variance requests regarding the Commercial Design Standards and some of the Commissioners felt they were designing at the table, it was decided to table this item.

Ms. Christie said that she would like to meet with Jason and the owner and invited them to the next work session which is slated for Tuesday, May 19, 2020 at 5:30 in Council Chambers.

B. L20-12 Randall Tyson Park
SW corner of 40th Street & Watkins Ave.
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present via Zoom to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Planning Comments

Large-Scale Comments:

7. Provide pdf files at time of resubmission. (standard comment)
8. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
9. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
10. This development has been given the number L20-12. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Engineering Comments

5. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.10.5.2.1** - Temporary Construction Entrances
 - ~~Course Aggregate 2-3 inch stone required at Construction Entrances.~~
 - Construction entrance must be a minimum of 50' long **and 12' wide.**
 - **Show Dimensions in Detail**
 - ~~Required at all locations where construction traffic moves to public road or other paved areas.~~

2. Chapter 106 – Stormwater Drainage

- **Splash Pad**
 - FYI if splash pad water is recirculated and treated with chlorine and acid, cannot be discharged to sanitary sewer (double check with SWU, but I believe this was what they said about the splash pad in Shaw Park). In order to discharge to storm sewer, permit from ADEQ is required and water must be dechlorinated and pH neutralized first – Bryan Leamons is the contact at ADEQ for permitting
- **Miracle Fields parking lot**
 - Is this parking lot included in drainage analysis?

3. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
 - The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

4. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.

- No comments.

Mr. Parsley asked if anyone had called in with questions or comments.

No one had.

Mr. Covert moved to approve the large scale subject to Staff comments. Mr. Tyler seconded the motion.

VOTE:

YES: Parsley, Peters, Tyler, Austin, Compton, Covert, Parker

NO: None

The Large scale was approved subject to Staff comment by a unanimous vote.

| | | |
|----|--------|--|
| C. | L20-14 | <u>Go Punch List</u> <u>SW corner of Haile Lane & 40th st.</u> |
| | B20-19 | <u>Variance for deviation of Commercial Design Standards</u> <u>Presented by Engineering Services, Inc.</u> |

Mr. Jason with Engineering Services, Inc. was present via Zoom on behalf of his client to answer any questions or comments. He said it will be 9900 square foot building with multiple entrances on the east and west sides. He said the variance was for the metal panel siding which would be the predominate material. He said it would be an architectural panel that they have used in the past.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-14. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Commercial Design Standards Comments

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade.
Developments shall use articulating features such as arcades; display windows, entry areas, or awnings along at least sixty (60) percent of the façade. (Variance Item)
2. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan. **(Variance Item)**
3. Each principal building on a site shall have clearly defined, highly visible customer entrances featuring any three (3) of the following:
 - o Canopies or porticos
 - o Overhangs
 - o Recesses/projections
 - o Arcades
 - o Raised corniced parapets over the door
 - o Peaked roof forms
 - o Arches
 - o Outdoor patios
 - o Display windows
 - o Architectural details such as tile work and moldings which are integrated into the building structure and design
 - o Integral planters or wing walls that incorporate landscaped areas and/or places for sitting. **(Variance Item)**
4. Predominant exterior building materials shall be high quality materials. These include, without limitation:
 - o Brick
 - o Native/natural stone
 - o Synthetic Stone
 - o Concrete masonry units—standard smooth face units with integral color
 - o Synthetic stucco/EIFS
 - o Architectural precast concrete
 - o Decorative face concrete masonry units, such as splitface, scored, fluted, ground face, burnished, etc.
 - o Glass
 - o Wood – natural or composite **(Variance Item)**
5. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
 - o Smooth-faced concrete block
 - o Tilt-up concrete panels
 - o Pre-fabricated steel panels **(Variance Item)**

Engineering Comments

1. **Chapter 106 – Stormwater Drainage**
2. **106.5.4.11.1**** - A General Note is needed on the Site Plan stating that "A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department." <http://www.springdalear.gov/DocumentCenter/View/4652/DetentionRetention-Certification-Form-2020>

Even though this isn't a traditional detention pond, we will still require the certification to show that the drainage infrastructure was constructed as designed

Revise narrative in drainage report that mentions detention pond since that is no longer in the design.

3. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

4. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.

- o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

5. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - **Adjust sidewalk layout around existing pole and fire hydrant, avoid sharp and short tangents.**
 - **Set monuments at all property corners.**
 - **Street light should face the street.**
 - **Provide wheel blocks where 5' sidewalk is adjacent to curb.**
 - **Any screening required?**
 - **Temporary Construction Entrance Detail, Dimension the width.**

Ms. Christie said it looks like there are no wall projections on this project.

Mr. Appel said that there are projections on the north side of the building. He said it is actually a recess rather than a projection due to the constraints of the front setback along Haile Lane.

She said there were no changes in the roof line.

Mr. Appel stated that that was correct.

Mr. Parsley asked if there were questions or comments from the viewing public.

There were none.

Mr. Peters asked what the reason was for the roof line not being adjusted.

Mr. Appel said they were just trying to bring the breaks down. They are looking at a warehouse use with a high roofline. He said they could add a break in the center where the recess is.

Ms. Christie said they didn't have the sixty percent windows or awnings along the 100'. She said the small windows at the top of the building don't count. She asked if the awnings they showed cover 60 percent.

Mr. Appel said he thinks they are covering 40 to 50 percent.

Mr. Covert called for the vote.

VOTE:

YES: Austin, Covert, Parsley, Tyler

NO: Peters, Compton, Parker

The variance was approved by a vote of four (4) yes and three (3) no.

Mr. Covert moved to approve the large scale subject to Staff comments. Mr. Peters seconded the motion.

VOTE:

YES: Tyler, Austin, Compton, Covert, Parker, Parsley, Peters

NO: None

The large scale was approved subject to Staff comments by a unanimous vote.

D. L20-08 Pure Springdale – Phasing Plan
NW corner of Gene George Blvd. & Dearing Rd.
Presented by Crafton-Tull

Mr. Bradley Mason with Crafton Tull was present on behalf of his client to answer any questions or comments. He said it has already been approved but they added in another Phase line.

Mr. Parsley asked for Staff comments.

Ms. Christie stated that Phase I will include the detention facilities for the entire site.

Mr. Parsley asked if there were those in the viewing public with questions or comments.

There were none.

Mr. Howard Austin moved to approve the phasing plan. Mr. Covert seconded the motion.

VOTE:

YES: Austin, Compton, Covert, Parker, Parsley, Peters, Tyler

NO: None

The Phasing Plan was approved by a unanimous vote.

Board of Adjustment

- A. R20-18 Williams Tractor
S. of DTP, East side of I-49
Variance for deviation of landscaping per Chapter 56
Variance for deviation of Commercial Design Standards
Presented by Expedient Civil Engineering, PLLC

This item was tabled in conjunction with the Large Scale Development.

- B. R20-19 Go Punch List
SW corner of Haile Lane & 40th St.
Variance for deviation of Commercial Design Standards
Presented by Engineering Services, Inc.

This was approved in conjunction with the Large Scale Development.

- C. R20-20 Kent McJunkin
1904 Carrie Place
Variance for deviation of rear setback from 20' to 10'
Variance for deviation of height of accessory building
from 16' to 20'
Presented by John Connley

This item was tabled by Staff.

Waivers

- A. W20-06 Cammie Scott
8750 E. Brown Road
Waiver of sidewalk requirement



2816 N. Thompson St.
Springdale, AR 72764
Phone: 479-957-7344
Fax: 479-750-8969

Patsy Christie
Director
201 Spring Street
Springdale, AR 72764

Dear Ms. Christie,

We are requesting a sidewalk waiver for 8780 E. Brown Road, Lowell, AR 72745 parcel number 21-00102-596. Please let me know if you need any additional information.

Thanks for your help,

Cammie Scott

W20-d6

Memo

To: Planning Commission
From: Staff
Date: June 2, 2020
RE: L20-11 Large Scale Development Williams Tractor

Variance (B20-18) for deviation of landscaping per Chapter 56
Variance (B20-18) for deviation of Commercial Design Standards

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-11. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)
5. Chain link with vinyl slatting as shown on the Eastern property line is not an acceptable fencing per ordinance.
6. Shown gravel area exceeds the maximum acreage (.5) allowed within the existing C-5 zoning. (Roughly 4.5 acres as shown.) (Variance Item)

Commercial Design Comments

1. Continuous internal pedestrian walkways, no less than five (5) feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds, ground covers, or other such materials for no less than fifty (50) percent of their length. (Variance Item)

Commercial Design (Architectural)

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade. Developments shall use articulating features such as arcades; display windows, entry areas, or awnings along at least sixty (60) percent of the façade. (Variance Item)
2. No building foundation landscaping shown. (Variance Item)
3. Building façades shall include a repeating pattern that shall include no less than three (3) of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
 - o Color change
 - o Texture change
 - o Material module change
 - o Expressions of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib. (Variance Item)
4. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan. (Variance Item)
5. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
 - o Smooth-faced concrete block
 - o Tilt-up concrete panels
 - o Pre-fabricated steel panels (Variance Item)

Engineering Comments

Chapter 106 – Stormwater Drainage

- Note on site plan the 100 year water surface elevation for detention ponds and drainage swales
- All piping in right of way and easements must be reinforced concrete
 - o detention outlets should use RCP
- The maximum allowable length for sheet flow shall be 100 feet unless there is documented engineering justification to use a longer length

1. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.1** - Show & Label all temporary construction stockpiles, parking, entrances, egress, roads, or access as "**Temporary**" on the Grading or Erosion Control Plan.

- **Include the word "Temporary" on all constructions items that are intended to be removed at the completion of the project.**

- **107.3**

- The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

- Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

- **107.3** - The following note is required as a General Note on the Site Plan:

"Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:

- a) development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
- b) the disturbed soil area is observed to have 80% grass coverage and 100% stability, and
- c) No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
- d) Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
- e) all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site."

- **Please include the entire note, including a-e.**

2. Chapter 112 – Subdivisions

(Code 1973, § 30-4)

- ~~112.4~~ ~~Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.~~

- ~~○ The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.~~

- ~~▪ Label all lights as Proposed or Existing~~
- ~~▪ Show the direction of the mast arm~~
- ~~▪ Show the size and type of lights based on the location and classification of the street~~

- ~~Add note to determine if the light is designed for area parking lot lights or as a street illuminator~~
- Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

3. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1 ADA requirements.**
 - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

4. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
 - **Set monuments at all property corners**
 - **Silt fence may not hold on steep slopes?**
 - **Will the ingress/egress easement remain?**
 - **Is there an existing road in the easement?**
 - **Show storm sewer on the site plan.**
 - **Stop Sign at exit.**
 - **The drive is steep, may consider using concrete instead of asphalt.**
 - **Legend shows existing fence to be chain-link? If not, what is the symbol shown represent?**
 - **Has this amount of impervious surface been approved?**
 - **Where are the proposed parking area lights?**
 - **Label curb and gutter.**
 - **Screening when adjacent to residential.**
 - **Spot elevations needed I parking area.**
 - **Any fire lane/no parking?**
 - **Label the R.O.W.**
 - **Show the ditch section along road.**

- Describe the ditch on the grading plan-1, existing proposed?
- F.L. elevations for all storm water pipes.
- Label all pipe and show the F.E.S.
- Show the storm water pipe profiles.
- Describe discharge pipe exit pad.
- Distance appears to be too far in-between inlets.
- Sod to the 100 year line, minimum in detention ponds.
- Show the drainage easement for ponds and piping.
- What are the entrances into the gravel storage area made of? It shows a turning radius but made of gravel, is there curb and gutter?
-

WILLIAMS TRACTOR & FREEDOM POWER SPORTS LARGE SCALE DEVELOPMENT 48TH STREET SPRINGDALE, ARKANSAS

CONSTRUCTION NOTES

1. CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
2. COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
3. CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITEMARK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
4. ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
5. **PUBLIC CONVENIENCE AND SAFETY:**

THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
6. **GRADING NOTES:**
 - A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
 - B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 - C. OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
 - D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEN-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
 - E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
 - F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
 - H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
 - I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
- J. CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN AND REPORT FOR STORMWATER QUALITY CONTROL INCLUDING EROSION AND SEDIMENT CONTROL. PROPER MEASURES SHALL BE PRACTICED TO PREVENT EROSION ALONG THE EDGE OF PROPERTY, TOE OF SLOPE, AND ALONG DITCHES. MUD AND DEBRIS ARE NOT ALLOWED TO FLOW ONTO ADJACENT PROPERTIES.
- K. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

7. PAVING NOTES:

- A. ASPHALT CONCRETE SURFACE SHALL BE TYPE 2 PER SECTION 407 AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- B. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

8. CONCRETE NOTES:

- A. CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- B. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- C. VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
- D. CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.

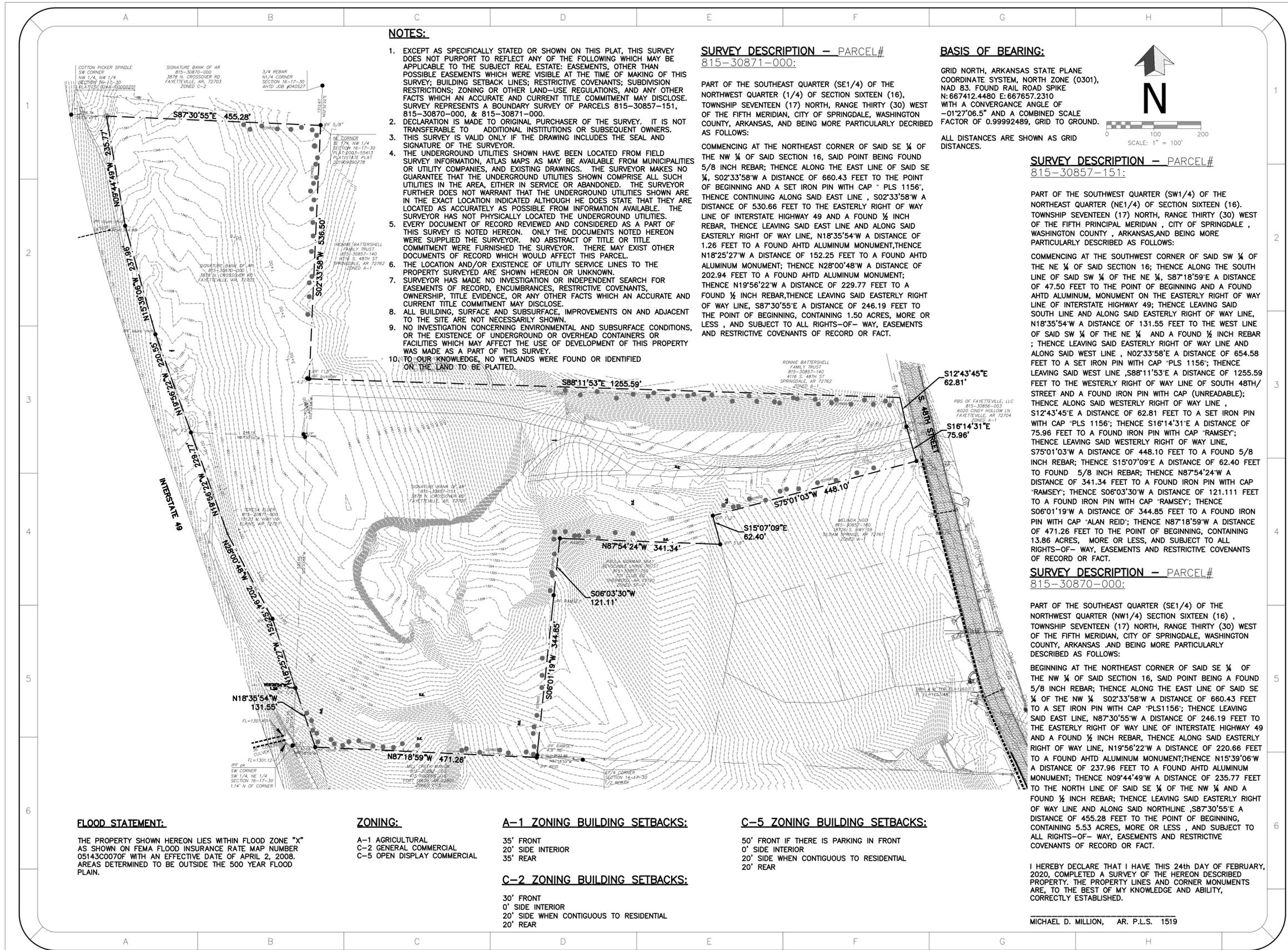
9. UTILITY NOTES:

- A. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM SPRINGDALE WATER UTILITIES (SWU), AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- B. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO SWU UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
- C. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
- D. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST SWU STANDARD SPECIFICATIONS AND THE ARKANSAS STATE HEALTH DEPARTMENT STANDARD SPECIFICATIONS, AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.

10. BLASTING AND EXPLOSIVE MATERIALS:

- A. THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
- B. EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.





NOTES:

- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS WHICH WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS; AND ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE. SURVEY REPRESENTS A BOUNDARY SURVEY OF PARCELS 815-30857-151, 815-30870-000, & 815-30871-000.
- DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, ATLAS MAPS AS MAY BE AVAILABLE FROM MUNICIPALITIES OR UTILITY COMPANIES, AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED THE SURVEYOR. NO ABSTRACT OF TITLE OR TITLE COMMITMENT WERE FURNISHED THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH WOULD AFFECT THIS PARCEL.
- THE LOCATION AND/OR EXISTENCE OF UTILITY SERVICE LINES TO THE PROPERTY SURVEYED ARE SHOWN HEREON OR UNKNOWN.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS WHICH AN ACCURATE AND CURRENT TITLE COMMITMENT MAY DISCLOSE.
- ALL BUILDING, SURFACE AND SUBSURFACE, IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN.
- NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OF DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.
- TO OUR KNOWLEDGE, NO WETLANDS WERE FOUND OR IDENTIFIED ON THE LAND TO BE PLATTED.

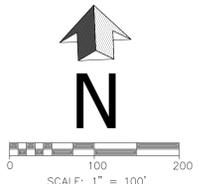
SURVEY DESCRIPTION - PARCEL#
815-30871-000:

PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (1/4) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTY (30) WEST OF THE FIFTH MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SE 1/4 OF THE NW 1/4 OF SAID SECTION 16, SAID POINT BEING FOUND 5/8 INCH REBAR; THENCE ALONG THE EAST LINE OF SAID SE 1/4, S02°33'58"W A DISTANCE OF 660.43 FEET TO THE POINT OF BEGINNING AND A SET IRON PIN WITH CAP "PLS 1156"; THENCE CONTINUING ALONG SAID EAST LINE, S02°33'58"W A DISTANCE OF 530.66 FEET TO THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49 AND A FOUND 1/2 INCH REBAR, THENCE LEAVING SAID EAST LINE AND ALONG SAID EASTERLY RIGHT OF WAY LINE, N18°35'54"W A DISTANCE OF 1.26 FEET TO A FOUND AHTD ALUMINUM MONUMENT, THENCE N18°25'27"W A DISTANCE OF 152.25 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N28°00'48"W A DISTANCE OF 202.94 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N19°56'22"W A DISTANCE OF 229.77 FEET TO A FOUND 1/2 INCH REBAR, THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE, S87°30'55"E A DISTANCE OF 246.19 FEET TO THE POINT OF BEGINNING, CONTAINING 1.50 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

BASIS OF BEARING:

GRID NORTH, ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE (0301), NAD 83. FOUND RAIL ROAD SPIKE N:667412.4480 E:667657.2310 WITH A CONVERGENCE ANGLE OF -01°27'06.5" AND A COMBINED SCALE FACTOR OF 0.99992489, GRID TO GROUND.



SURVEY DESCRIPTION - PARCEL#
815-30857-151:

PART OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NE1/4) OF SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTY (30) WEST OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SW 1/4 OF THE NE 1/4 OF SAID SECTION 16; THENCE ALONG THE SOUTH LINE OF SAID SW 1/4 OF THE NE 1/4, S87°18'59"E A DISTANCE OF 47.50 FEET TO THE POINT OF BEGINNING AND A FOUND AHTD ALUMINUM MONUMENT ON THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49; THENCE LEAVING SAID SOUTH LINE AND ALONG SAID EASTERLY RIGHT OF WAY LINE, N18°35'54"W A DISTANCE OF 131.55 FEET TO THE WEST LINE OF SAID SW 1/4 OF THE NE 1/4 AND A FOUND 1/2 INCH REBAR; THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE AND ALONG SAID WEST LINE, N02°33'58"E A DISTANCE OF 654.58 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE LEAVING SAID WEST LINE, S88°11'53"E A DISTANCE OF 1255.59 FEET TO THE WESTERLY RIGHT OF WAY LINE OF SOUTH 48TH/STREET AND A FOUND IRON PIN WITH CAP (UNREADABLE); THENCE ALONG SAID WESTERLY RIGHT OF WAY LINE, S12°43'45"E A DISTANCE OF 62.81 FEET TO A SET IRON PIN WITH CAP "PLS 1156"; THENCE S16°14'31"E A DISTANCE OF 75.96 FEET TO A FOUND IRON PIN WITH CAP "RAMSEY"; THENCE LEAVING SAID WESTERLY RIGHT OF WAY LINE, S75°01'03"W A DISTANCE OF 448.10 FEET TO A FOUND 5/8 INCH REBAR; THENCE S15°07'09"E A DISTANCE OF 62.40 FEET TO FOUND 5/8 INCH REBAR; THENCE N87°54'24"W A DISTANCE OF 341.34 FEET TO A FOUND IRON PIN WITH CAP "RAMSEY"; THENCE S06°03'30"W A DISTANCE OF 121.11 FEET TO A FOUND IRON PIN WITH CAP "ALAN REID"; THENCE N87°18'59"W A DISTANCE OF 471.26 FEET TO THE POINT OF BEGINNING, CONTAINING 13.86 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

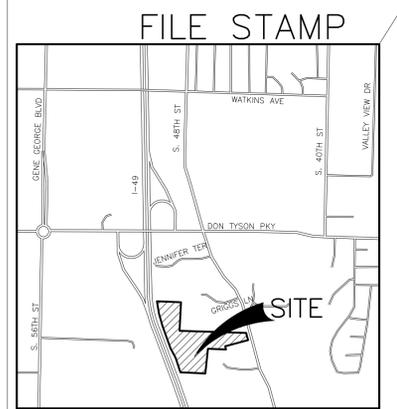
SURVEY DESCRIPTION - PARCEL#
815-30870-000:

PART OF THE SOUTHEAST QUARTER (SE1/4) OF THE NORTHWEST QUARTER (NW1/4) SECTION SIXTEEN (16), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTY (30) WEST OF THE FIFTH MERIDIAN, CITY OF SPRINGDALE, WASHINGTON COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SE 1/4 OF THE NW 1/4 OF SAID SECTION 16, SAID POINT BEING A FOUND 5/8 INCH REBAR; THENCE ALONG THE EAST LINE OF SAID SE 1/4 OF THE NW 1/4, S02°33'58"W A DISTANCE OF 660.43 FEET TO A SET IRON PIN WITH CAP "PLS1156"; THENCE LEAVING SAID EAST LINE, N87°30'55"W A DISTANCE OF 246.19 FEET TO THE EASTERLY RIGHT OF WAY LINE OF INTERSTATE HIGHWAY 49 AND A FOUND 1/2 INCH REBAR, THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE, N19°56'22"W A DISTANCE OF 220.66 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N15°39'06"W A DISTANCE OF 237.96 FEET TO A FOUND AHTD ALUMINUM MONUMENT; THENCE N09°44'49"W A DISTANCE OF 235.77 FEET TO THE NORTH LINE OF SAID SE 1/4 OF THE NW 1/4 AND A FOUND 1/2 INCH REBAR; THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE AND ALONG SAID NORTHLINE, S87°30'55"E A DISTANCE OF 455.28 FEET TO THE POINT OF BEGINNING, CONTAINING 5.53 ACRES, MORE OR LESS, AND SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIVE COVENANTS OF RECORD OR FACT.

I HEREBY DECLARE THAT I HAVE THIS 24th DAY OF FEBRUARY, 2020, COMPLETED A SURVEY OF THE HEREOF DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE, TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED.

MICHAEL D. MILLION, AR. P.L.S. 1519



VICINITY MAP (N.T.S.)

LEGEND

- (E) EXISTING
- 1/2" FOUND REBAR
- PROPERTY LINE
- - - BARB WIRE FENCE
- - - STORM PIPE
- - - 6" WATER LINE
- ⊕ SIGN
- ⊕ TELEPHONE PEDESTAL
- ⊕ FIRE HYDRANT
- ⊕ ASPHALT PAVEMENT
- - - 125' CONTOUR LINE
- - - OHE OVERHEAD POWER

STATE OF ARKANSAS
WASHINGTON COUNTY

BOUNDARY & TOPOGRAPHIC SURVEY
PT S1/2, NW/4, PT N1/2, SE1/4, NW1/4, & PT SW1/4, NE1/4, SEC 16, T-17N, R-30W WASHINGTON COUNTY, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR
FAYETTEVILLE, AR 72702

DATE OF LAST REVISION: MAR. 17, 2020

MICHAEL D. MILLION
LAND SURVEYOR
12 NEFFWOOD LANE
BELLA VISTA, AR 72715
PHONE: (479) 571-0654

CHUCK BELL: (479) 366-0640

| | |
|---------------------|-------------------------|
| DRAWN BY: CEB | SCALE: 1" = 100' |
| FIELD CREW: CEB/CEB | DATE: FEBRUARY 24, 2020 |
| CHECKED BY: MDM | DWG: 19-1045 |

FLOOD STATEMENT:

THE PROPERTY SHOWN HEREON LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP NUMBER 05143C0070F WITH AN EFFECTIVE DATE OF APRIL 2, 2008. AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.

ZONING:

- A-1 AGRICULTURAL
- C-2 GENERAL COMMERCIAL
- C-5 OPEN DISPLAY COMMERCIAL

A-1 ZONING BUILDING SETBACKS:

- 35' FRONT
- 20' SIDE INTERIOR
- 35' REAR

C-2 ZONING BUILDING SETBACKS:

- 30' FRONT
- 0' SIDE INTERIOR
- 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
- 20' REAR

C-5 ZONING BUILDING SETBACKS:

- 50' FRONT IF THERE IS PARKING IN FRONT
- 0' SIDE INTERIOR
- 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
- 20' REAR

C:\ECE Business\Projects\2019-Projects\1045-Williams Tractor\19-1045.dwg



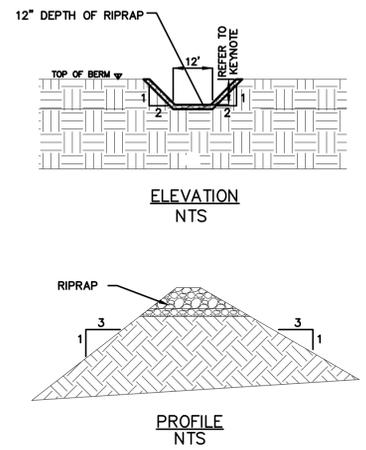
SCALE 1" = 100'

LEGEND (PROPOSED)

PROPOSED SILT FENCING — SF — SF —
 PROPOSED CONTOUR — 1.336 —
 PROPOSED CURB AND GUTTER —
 PROPOSED HANDICAP STOP SIGN —
 PROPOSED EASEMENT —
 PROPOSED ACCESS EASEMENT — A.E. —

LEGEND (EXISTING)

FOUND IRON PIN — IPF 1/2 REBAR —
 PROPERTY LINE —
 EXISTING WOOD FENCE —
 EXISTING FENCE — X — X —
 EXISTING CONTOUR — 1.331 —
 EXISTING ASPHALT —
 EXISTING CONCRETE —
 EXISTING CURB —
 EXISTING CENTERLINE OF ROAD —
 EXISTING 6" WATER MAIN — 6W — 6W —
 EXISTING GAS MAIN —
 EXISTING FIRE HYDRANT —
 EXISTING WATER VALVE —
 EXISTING POWER POLE —
 EXISTING OVERHEAD POWER — OHE — OHE —
 EXISTING GAS METER —
 EXISTING ELECTRIC TRANSFORMER —
 EXISTING TELEPHONE PEDESTAL —
 EXISTING AC UNIT —
 EXISTING SEWER CLEANOUT —
 EXISTING ELECTRIC METER —
 EXISTING TV PEDESTAL —
 EXISTING SEWER SERVICE LINE — 85S — 85S —

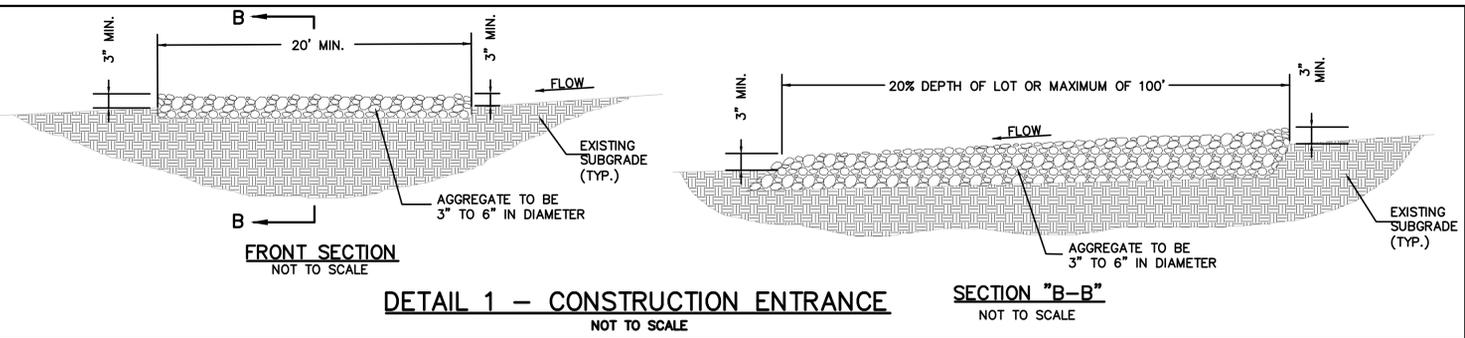
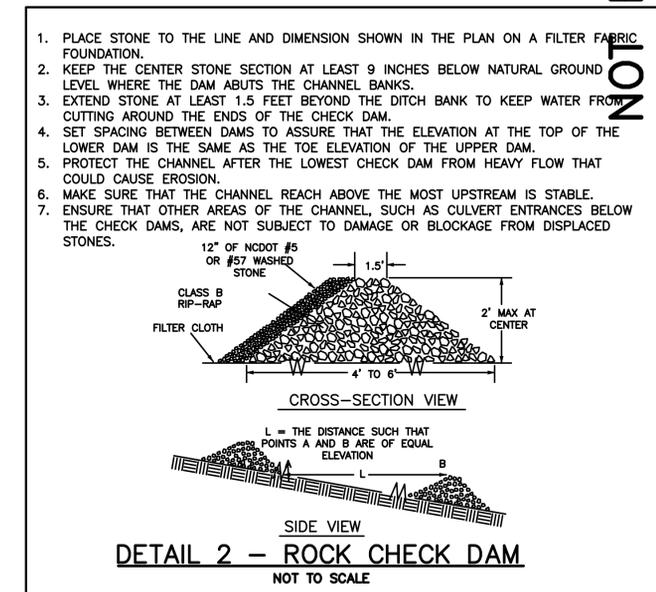


TEMPORARY SEDIMENT BASIN OUTLET STRUCTURE DETAIL
 NOT TO SCALE



- KEYNOTES:**
- CONCRETE WASHOUT PER DETAIL 5/C9.0.
 - SAWCUT CONCRETE/ASPHALT WITH NEAT/CLEAN EDGE
 - REMOVE CONCRETE AND DISPOSE OF OFFSITE
 - SILT FENCING PER DETAIL 3/C9.0.
 - CONSTRUCTION ENTRANCE PER DETAIL 1/C3.0.
 - ROCK CHECK DAM PER DETAIL 2/C3.0.
 - GRATE INLET EROSION CONTROL. SEE DETAIL 4/C9.0.
 - INSTALL 12' WIDE TEMPORARY OVERFLOW RIPRAP LINED OVER WEIR AT ELEVATION 1318.00.
 - INSTALL 12' WIDE TEMPORARY OVERFLOW RIPRAP LINED OVER WEIR AT ELEVATION 1291.00.
- EROSION CONTROL:**
- PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS ACCORDING TO REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR SHALL INSTALL AND MAINTAIN STRAW WATTLES TO PREVENT ANY WATER RUNOFF FROM ANY DISTURBED AREAS. AT A MINIMUM, STRAW WATTLES WILL BE ALONG THE DOWN SLOPE PROPERTY LINES. THE STRAW WATTLES SHALL BE CONSTRUCTED IN THE AREAS OF CLEARING, GRADING, OR DRAINAGE PRIOR TO STARTING THOSE ACTIVITIES. THE STRAW WATTLES SHALL PREVENT SOIL CARRIED BY RUNOFF WATER FROM GOING BENEATH, THROUGH, OR OVER THE TOP OF THE STRAW WATTLE BUT SHALL ALLOW THE WATER TO PASS THROUGH THE WATTLE.
 - INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED.
 - REMOVE EROSION AND SEDIMENTATION CONTROLS ONCE THEY ARE NO LONGER NEEDED AND RESTORE AND STABILIZE AREAS DISTURBED DURING REMOVAL.

NOT FOR CONSTRUCTION



CITY PROJECT #L20-11

| Date | Comments | Rev |
|-----------|-------------------|-----|
| 3/19/2020 | PER CITY COMMENTS | 1 |
| 4/23/2020 | PER CITY COMMENTS | 2 |
| 5/27/2020 | PER CITY COMMENTS | 3 |

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR

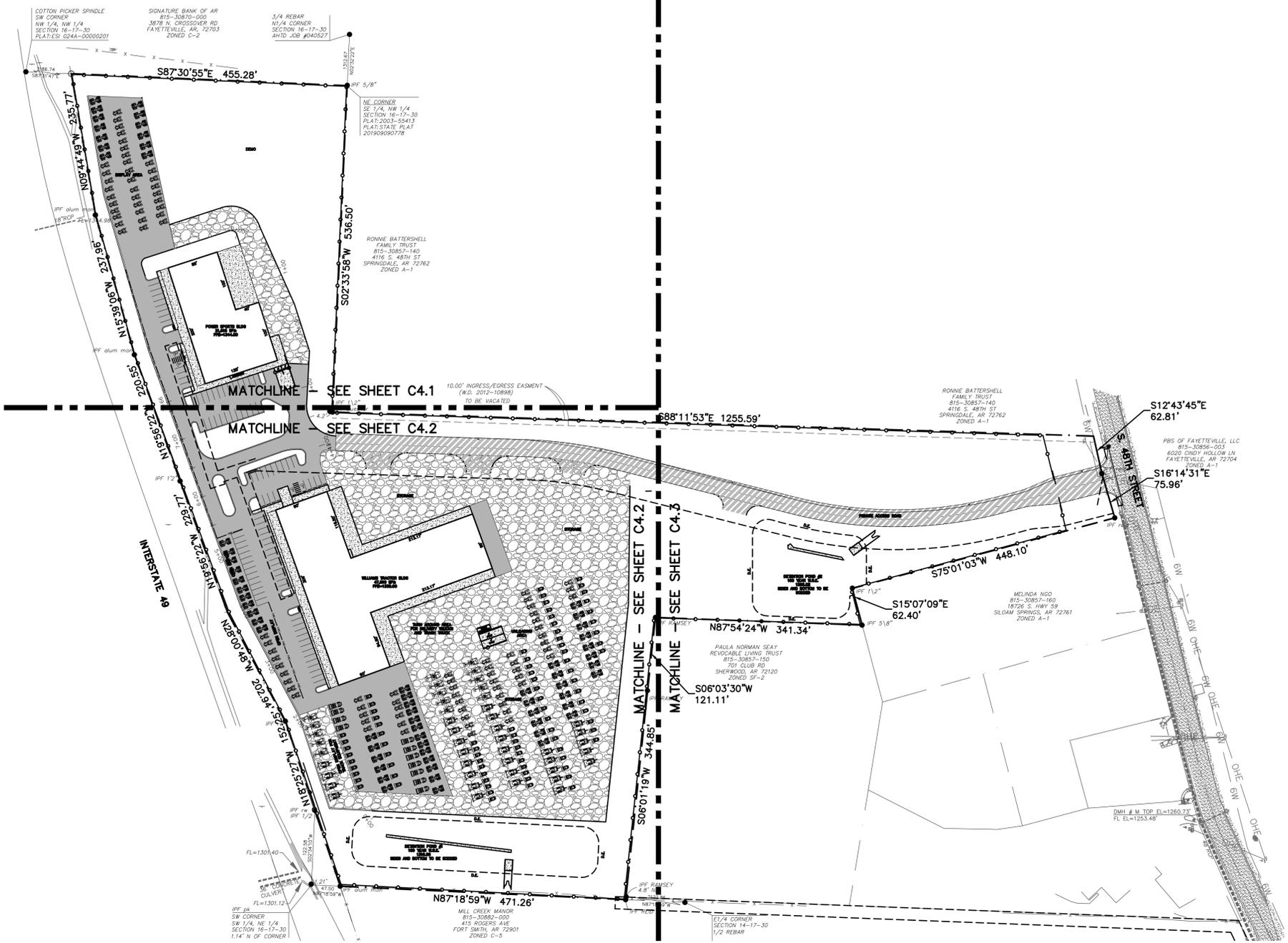
WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
 BELLA VISTA, AR 72714
 EMAIL: jason@ece-ar.com



DRAWN BY: JEI
 CHECKED BY: JEI
 DATE: 2/27/2020
 JOB NUMBER: 19-1045
 SHEET NAME: DEMOLITION & STORMWATER POLLUTION PREVENTION PLAN
 File No.: 19-1045.dwg
 C3.0

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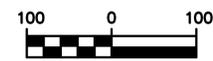


NOTES:

1. A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FROM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.
2. STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED 6 MONTHS.
3. DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION.
4. THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY.
5. NO SLOPES STEEPER THAN 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING.
6. NOTICE OF ALL VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING.
7. ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.



NORTH



SCALE 1" = 100'

LEGEND

| | |
|---------------------------------------|--|
| SET IRON PIN | |
| FOUND IRON PIN | |
| PROPERTY LINE | |
| EXISTING WOOD FENCE | |
| EXISTING FENCE | |
| EXISTING EASEMENT | |
| EXISTING ASPHALT | |
| EXISTING CONCRETE | |
| EXISTING CURB | |
| EXISTING CENTERLINE OF ROAD | |
| EXISTING 6" WATER MAIN | |
| EXISTING GAS MAIN | |
| EXISTING OVERHEAD POWER | |
| EXISTING POWER POLE | |
| EXISTING FIRE HYDRANT | |
| EXISTING WATER VALVE | |
| PROPOSED CURB | |
| PROPOSED STANDARD ASPHALT | |
| PROPOSED HEAVY ASPHALT | |
| PROPOSED CONCRETE | |
| PROPOSED HANDICAP SIGN | |
| PROPOSED EASEMENT | |
| PROPOSED UTILITY EASEMENT | |
| PROPOSED PARKING LOT LIGHT | |
| PROPOSED PIPE AND RAIL SECURITY FENCE | |

ENGINEER:

EXPEDIENT CIVIL ENGINEERING, PLLC
9200 SUITS US DR, STE. B
BELLA VISTA, AR 72714

DEVELOPER:

WILLIAMS TRACTOR, INC.
2501 SHILOH DR.
P.O. BOX 1346
FAYETTEVILLE, AR 72702

ZONING:

- A-1 - AGRICULTURAL
- C-2 - GENERAL COMMERCIAL
- C-5 - OPEN DISPLAY COMMERCIAL

GREENSPACE:

| | |
|------------------|----------|
| TOTAL LOT AREA: | 20.89 AC |
| IMPERVIOUS AREA: | 11.61 AC |
| PERVIOUS AREA: | 9.28 AC |
| % PERVIOUS: | 44.4% |

GRAVEL SURFACING:

| | |
|--|------------|
| ASPHALT PAVING: | 191,045 SF |
| GRAVEL PAVING: | 212,479 SF |
| % GRAVEL: | 52.6% |
| REQUESTING VARIANCE FROM 20% TO 52.6% FOR GRAVEL SURFACING | |

C-2 ZONING BUILDING SETBACKS:

- 30' FRONT
- 0' SIDE INTERIOR
- 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
- 20' REAR

C-5 ZONING BUILDING SETBACKS:

- 50' FRONT IF THERE IS PARKING IN FRONT
- 0' SIDE INTERIOR
- 20' SIDE WHEN CONTIGUOUS TO RESIDENTIAL
- 20' REAR

NOT FOR CONSTRUCTION



Know what's below.
Call before you dig.

CITY PROJECT #L20-11



| Date | 3/19/2020 |
|----------|-------------------|
| Comments | PER CITY COMMENTS |
| Rev | 1 |
| Date | 4/23/2020 |
| Comments | PER CITY COMMENTS |
| Rev | 2 |
| Date | 5/27/2020 |
| Comments | PER CITY COMMENTS |
| Rev | 3 |

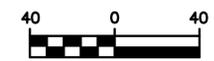
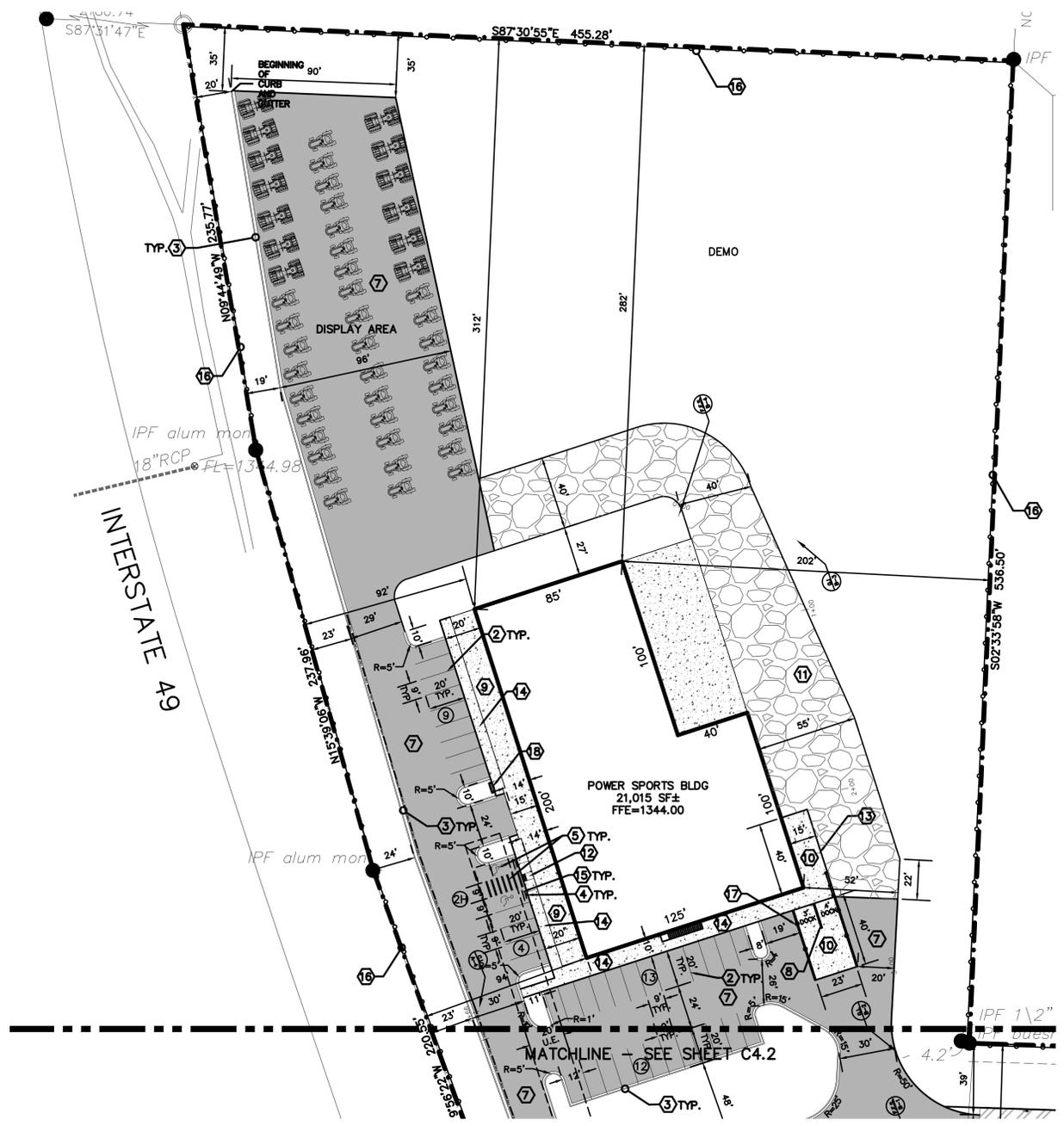
**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
 48TH STREET
 SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

9200 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-ar.com



DRAWN BY:
JEI
CHECKED BY:
JEI
DATE
2/27/2020
JOB NUMBER
19-1045
SHEET NAME

OVERALL SITE PLAN
File No.
19-1045.dwg
C4.0



SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING BARB WIRE FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED CONCRETE
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED UTILITY EASEMENT
- PROPOSED PARKING LOT LIGHT

POWER SPORTS PARKING REQUIREMENTS:

1. OFFICE - 1 SPACE PER 300 SF, DISPLAY - 1 SPACE PER 1,000 SF, STORAGE - 1 SPACE PER 1,200 SF, WORKSHOP - 1 SPACE PER 1,200 SF
2. OFFICE - 2,700 SF, DISPLAY - 11,568, STORAGE - 5,990 SF, WORKSHOP - 4,080 SF
3. NUMBER OF PARKING SPACES REQUIRED - 29 SPACES
4. NUMBER OF STANDARD PARKING SPACES PROVIDED - 38 SPACES
5. NUMBER OF HANDICAP SPACES PROVIDED - 2 SPACES
6. TOTAL SPACES PROVIDED - 40 SPACES

NOTES:

1. ALL HVAC EQUIPMENT AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
2. NEW LIGHTING IS PROPOSED. LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.

KEYNOTES:

- 1 NOT USED
- 2 4" WHITE PARKING STRIPING
- 3 CURB AND GUTTER PER DETAIL 5/C9.0.
- 4 HANDICAP SIGN PER DETAIL 6/C9.0.
- 5 ACCESSIBLE PARKING STRIPING PER DETAIL 7/C9.0.
- 6 TRASH ENCLOSURE SHALL BE 8" IN DEPTH BY 20" IN WIDTH.
- 7 STANDARD ASPHALT SECTION PER DETAIL 8/C9.0.
- 8 TRUCK DOCK - SEE ARCHITECTURAL DRAWINGS
- 9 STANDARD CONCRETE SECTION PER DETAIL 9/C9.0.
- 10 HEAVY CONCRETE SECTION PER DETAIL 10/C9.0.
- 11 GRAVEL SECTION PER DETAIL 11/C9.0.
- 12 ACCESSIBLE RAMP PER DETAIL 12/C9.0.
- 13 GUARDRAIL PER ARCHITECTURAL
- 14 THICKENED EDGE CONCRETE PER DETAIL 13/C9.0.
- 15 CONCRETE WHEEL STOP PER DETAIL 14/C9.0.
- 16 2 HORIZONTAL BARS AND VERTICAL UPRIGHT STEEL PIPE SECURITY FENCING 29/C11.0.
- 17 6' CHAIN LINK SCREENING FENCING WITH VINYL SLAT ON BOTH SIDES OF TRUCK DOCKS PER DETAILS 25 & 28/C11.0.
- 18 PARK BENCH

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
48TH STREET
SPRINGDALE, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-ar.com



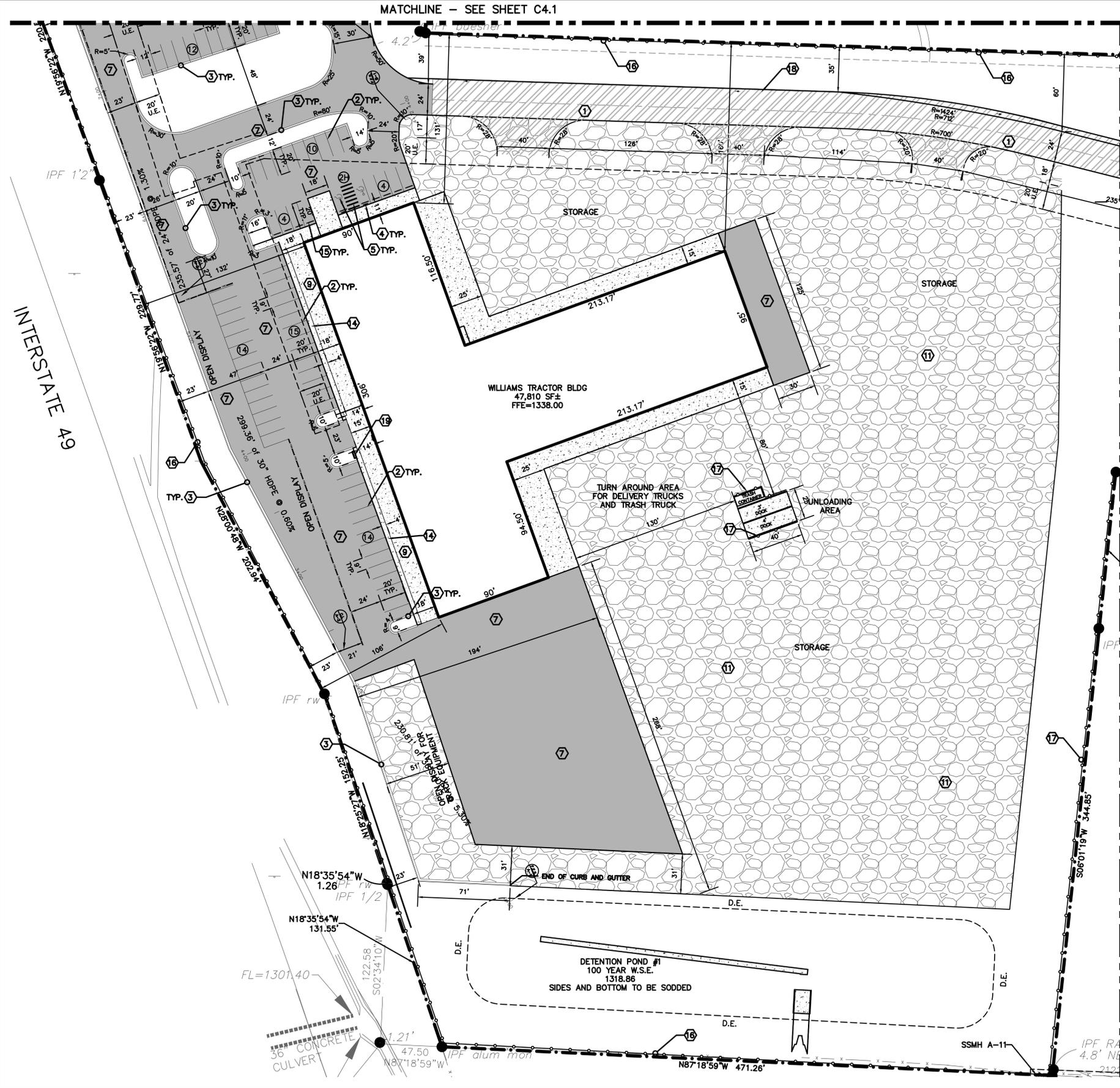
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| DRAWN BY: JEI |
| CHECKED BY: JEI |
| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME SITE PLAN 1 |
| File No. 19-1045.dwg |
| C4.1 |



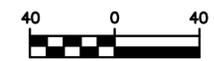
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Call before you dig.

CITY PROJECT #L20-11

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NORTH



SCALE 1" = 40'

LEGEND

| | |
|-----------------------------|-------------------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | — — — — — |
| EXISTING WOOD FENCE | — x — x — x — x — x — |
| EXISTING BARB WIRE FENCE | — x — x — x — x — x — |
| EXISTING EASEMENT | — — — — — |
| EXISTING ASPHALT | ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ |
| EXISTING CONCRETE | ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ |
| EXISTING CURB | — — — — — |
| EXISTING CENTERLINE OF ROAD | — — — — — |
| EXISTING 6" WATER MAIN | — 6W — 6W — |
| EXISTING GAS MAIN | — — — — — |
| EXISTING OVERHEAD POWER | — OHE — OHE — |
| EXISTING POWER POLE | ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ ○ |
| EXISTING FIRE HYDRANT | ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ |
| EXISTING WATER VALVE | ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ ⊕ |
| PROPOSED CURB | ▬ ▬ ▬ ▬ ▬ ▬ ▬ ▬ ▬ ▬ |
| PROPOSED STANDARD ASPHALT | ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ |
| PROPOSED HEAVY ASPHALT | ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ |
| PROPOSED CONCRETE | ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ ▨ |
| PROPOSED HANDICAP SIGN | ⊕ |
| PROPOSED EASEMENT | — — — — — |
| PROPOSED UTILITY EASEMENT | U.E. |
| PROPOSED PARKING LOT LIGHT | ☆ |

WILLIAMS TRACTOR PARKING REQUIREMENTS:

- OFFICE - 1 SPACE PER 300 SF, DISPLAY - 1 SPACE PER 1,000 SF, STORAGE - 1 SPACE PER 1,200 SF, WORKSHOP - 1 SPACE PER 1,200 SF
- OFFICE - 13,265 SF, DISPLAY - 11,038 SF, STORAGE - 5,990 SF, WORKSHOP - 16,587 SF
- NUMBER OF PARKING SPACES REQUIRED - 74 SPACES
- NUMBER OF STANDARD PARKING SPACES PROVIDED - 72 SPACES (INCLUDES 11 SPACES FROM POWER SPORTS)
- NUMBER OF HANDICAP SPACES PROVIDED - 2 SPACES
- TOTAL SPACES PROVIDED - 74 SPACES

NOTES:

- ALL HVAC EQUIPMENT AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- NEW LIGHTING IS PROPOSED. LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.

KEYNOTES:

- HEAVY ASPHALT SECTION. REFER TO DRIVE ENTRANCE DETAIL SHEET C6.0.
- 4" WHITE PARKING STRIPING
- CURB AND GUTTER PER DETAIL 5/C9.0.
- HANDICAP SIGN PER DETAIL 6/C9.0.
- ACCESSIBLE PARKING STRIPING PER DETAIL 7/C9.0.
- TRASH ENCLOSURE SHALL BE 8' IN DEPTH BY 20' IN WIDTH.
- STANDARD ASPHALT SECTION PER DETAIL 8/C9.0.
- TRUCK DOCK - SEE ARCHITECTURAL DRAWINGS
- STANDARD CONCRETE SECTION PER DETAIL 9/C9.0.
- HEAVY CONCRETE SECTION PER DETAIL 10/C9.0.
- GRAVEL SECTION PER DETAIL 11/C9.0.
- ACCESSIBLE RAMP PER DETAIL 12/C9.0.
- GUARDRAIL PER ARCHITECTURAL
- THICKENED EDGE CONCRETE PER DETAIL 13/C9.0.
- CONCRETE WHEEL STOP PER DETAIL 14/C9.0.
- TWO HORIZONTAL BAR AND VERTICAL UPRIGHT TUBULAR SECURITY FENCING
- 6' CHAIN LINK SCREENING FENCING WITH VINYL PRIVACY SLATS PER DETAILS 25 & 29/C11.0.
- 4' WIDE ASPHALT BICYCLE PATH
- PARK BENCH

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR
 WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
 BELLA VISTA, AR 72714
 EMAIL: jason@eecs.com



DRAWN BY: JEI
 CHECKED BY: JEI
 DATE: 2/27/2020
 JOB NUMBER: 19-1045
 SHEET NAME:

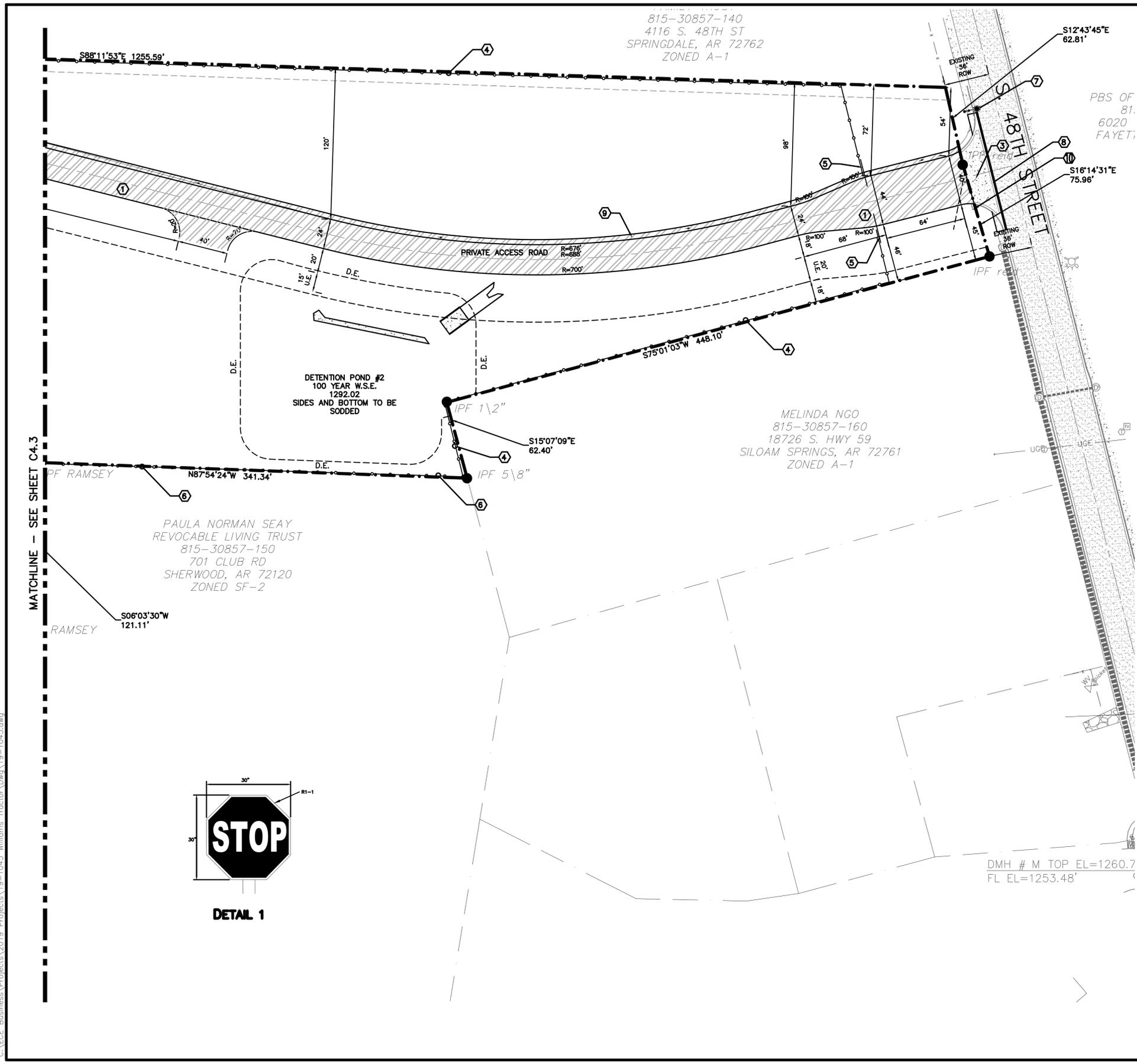


Know what's below. Call before you dig.

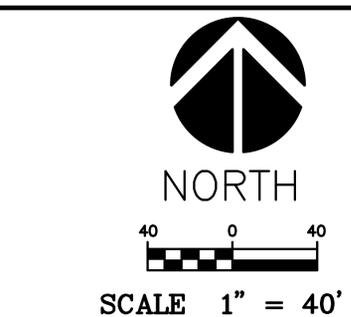
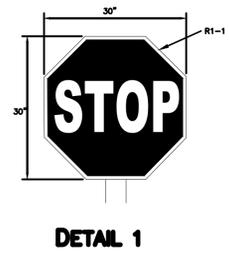
CITY PROJECT #L20-11

SITE PLAN 2
 File No. 19-1045.dwg
 C4.2

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MATCHLINE - SEE SHEET C4.3



LEGEND

| | |
|---------------------------------------|---------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | — |
| EXISTING WOOD FENCE | —x—x—x—x—x—x— |
| EXISTING BARB WIRE FENCE | —x—x—x—x—x—x— |
| EXISTING EASEMENT | --- |
| EXISTING ASPHALT | ▨ |
| EXISTING CONCRETE | ▩ |
| EXISTING CURB | — |
| EXISTING CENTERLINE OF ROAD | — |
| EXISTING 6" WATER MAIN | 6W 6W |
| EXISTING GAS MAIN | --- |
| EXISTING OVERHEAD POWER | OHE OHE |
| EXISTING POWER POLE | ⊕ |
| EXISTING FIRE HYDRANT | ⊕ |
| EXISTING WATER VALVE | ⊕ |
| PROPOSED CURB | — |
| PROPOSED STANDARD ASPHALT | ▨ |
| PROPOSED HEAVY ASPHALT | ▩ |
| PROPOSED CONCRETE | ▩ |
| PROPOSED STOP SIGN | ⊕ |
| PROPOSED EASEMENT | --- |
| PROPOSED UTILITY EASEMENT | U.E. |
| PROPOSED PARKING LOT LIGHT | ⊕ |
| PROPOSED PIPE AND RAIL SECURITY FENCE | —o—o—o—o—o—o— |

NOTES:

- ALL HVAC EQUIPMENT AND OTHER MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.
- NEW LIGHTING IS PROPOSED. LIGHTING WILL REQUIRE THAT IT BE CUT-OFF OR B-U-G (WITH A U RATING OF 0) AND APPROVED BY THE PLANNING DEPARTMENT.

- KEYNOTES:**
- HEAVY ASPHALT SECTION. REFER TO DETAIL ON SHEET C6.0..
 - GRAVEL SECTION PER DETAIL 11/C9.0.
 - COMMERCIAL DRIVE PER CITY OF SPRINGDALE STD DETAIL B-3/C9.0.
 - STEEL POST AND HORIZONTAL STEEL PIPE SECURITY FENCING PER DETAIL 27/C11.0.
 - 20' AUTOMATIC ROLLING SECURITY GATE WITH KNOX BOX FOR EMERGENCY VEHICLES PER DETAIL 26/C11.0.
 - 6' CHAIN LINK FENCING WITH VINYL PRIVACY SLATS PER DETAIL 25 & 29/C11.0.
 - PUBLIC STREETLIGHT WITH 11,000 LUMENS
 - MODIFIED CURB REQUIRED AT NEW ENTRANCE PER CITY STANDARD DETAIL B-3/C9.0.
 - 4' ASPHALT BICYCLE LANE
 - STOP SIGN PER DETAIL 1/C4.3



CITY PROJECT #L20-11



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

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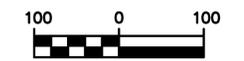
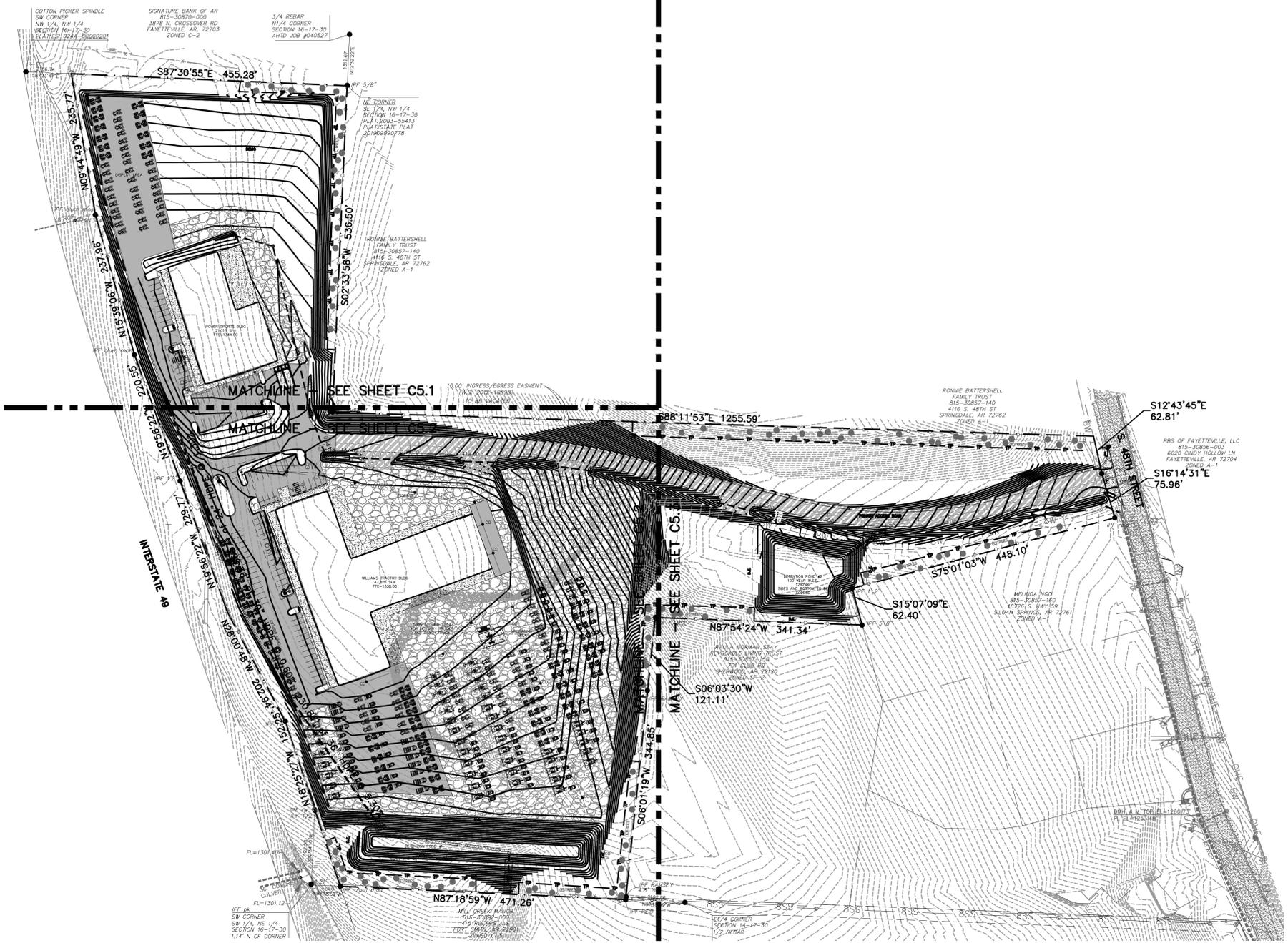
WILLIAMS TRACTOR & FREEDOM POWER SPORTS
 48TH STREET
 SPRINGDALE, AR

WILLIAMS TRACTOR, INC.
 2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
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 EMAIL: jason@eecs-llc.com



| | |
|-------------|-------------|
| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE | 2/27/2020 |
| JOB NUMBER | 19-1045 |
| SHEET NAME | SITE PLAN 3 |
| File No. | 19-1045.dwg |
| | C4.3 |



SCALE 1" = 100'

LEGEND

| | |
|----------------------------------|--------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | --- |
| EXISTING OVERHEAD ELECTRIC | --- OHE --- |
| EXISTING BARBED WIRE FENCE | -X-X- |
| EXISTING CONTOUR | --- |
| EXISTING GAS METER | ○ |
| EXISTING ELECTRIC TRANSFORMER | □ |
| PROPOSED EASEMENT | --- |
| PROPOSED CENTERLINE OF ROAD | --- |
| PROPOSED CONTOUR | --- |
| PROPOSED CURB | --- |
| PROPOSED TOP OF GUTTER/GRAVEL | 1343.15TG |
| PROPOSED TOP OF ASPHALT | 1336.05TA |
| PROPOSED TOP OF CONCRETE | 1337.70TC |
| PROPOSED TOP OF GUTTER/CONCRETE | 1337.70TG/TC |
| PROPOSED TOP OF ASPHALT/CONCRETE | 1337.70TA/TC |
| PROPOSED ASPHALT | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED STREET LIGHT | ☆ |
| PROPOSED GRAVEL | --- |
| PROPOSED STORM DRAIN | --- |
| PROPOSED 8" WATERMAIN | --- BW --- |
| PROPOSED FIRE HYDRANT | --- |
| PROPOSED WATER VALVE | --- |
| PROPOSED WATER METER | --- |
| PROPOSED 6" SEWER MAIN | --- 6SS --- |
| PROPOSED SEWER CLEANOUT | ○ |

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
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**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
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| |
|------------------------------------|
| DRAWN BY: JEI |
| CHECKED BY: JEI |
| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME OVERALL GRADING PLAN |
| File No. 19-1045.dwg |
| C5.0 |

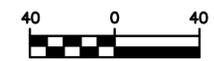
| DRAINAGE STRUCTURE TABLE | | | | | | |
|--------------------------|-----------|--------------------------|----------------|-----------------|---------|------------------|
| STRUCTURE TYPE | STRUCTURE | BOX SIZE (INSIDE RADIUS) | EXTENSION LEFT | EXTENSION RIGHT | RIM | INVERT ELEVATION |
| FLARED END SECTION | A-1 | - | - | - | - | 1308.85 |
| CURB INLET | A-2 | 4' | - | - | 1335.02 | 1321.07 |
| CURB INLET | A-3 | 4' | - | - | 1333.58 | 1323.37 |
| CURB INLET | A-4 | 4' | - | - | 1340.01 | 1326.93 |
| FLARED END SECTION | B-1 | - | - | - | - | 1330.65 |
| GRADED INLET | B-2 | 4' | - | - | 1337.07 | 1331.78 |
| GRADED INLET | B-3 | 4' | - | - | 1342.36 | 1336.02 |
| FLARED END SECTION | B-4 | 4' | - | - | - | 1336.66 |



CITY PROJECT #L20-11



NORTH



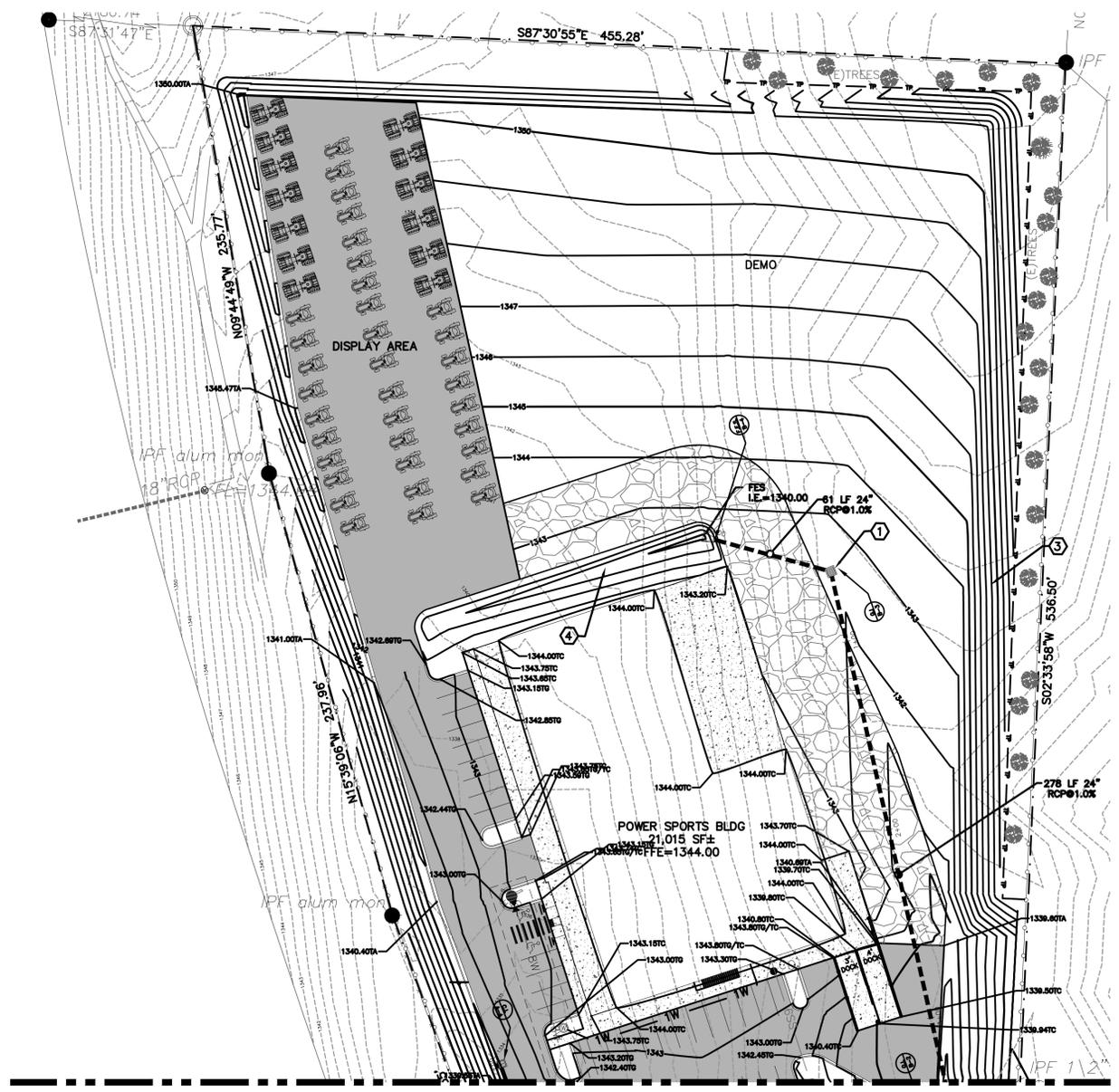
SCALE 1" = 40'

LEGEND

| | |
|----------------------------------|--------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | --- |
| EXISTING OVERHEAD ELECTRIC | --- OHE --- |
| EXISTING BARBED WIRE FENCE | --- X --- |
| EXISTING CONTOUR | --- 1336 --- |
| EXISTING GAS METER | ○ |
| EXISTING ELECTRIC TRANSFORMER | □ |
| PROPOSED EASEMENT | --- |
| PROPOSED CENTERLINE OF ROAD | --- |
| PROPOSED CONTOUR | --- 1336 --- |
| PROPOSED CURB | --- |
| PROPOSED TOP OF GUTTER/GRAVEL | 1343.15TG |
| PROPOSED TOP OF ASPHALT | 1336.05TA |
| PROPOSED TOP OF CONCRETE | 1337.70TC |
| PROPOSED TOP OF GUTTER/CONCRETE | 1337.70TG/TC |
| PROPOSED TOP OF ASPHALT/CONCRETE | 1337.70TA/TC |
| PROPOSED ASPHALT | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED STREET LIGHT | ☆ |
| PROPOSED GRAVEL | --- |
| PROPOSED STORM DRAIN | --- |
| PROPOSED 8" WATERMAIN | --- 8W --- |
| PROPOSED FIRE HYDRANT | ⊗ |
| PROPOSED WATER VALVE | ⊕ |
| PROPOSED WATER METER | ⊙ |
| PROPOSED 6" SEWER MAIN | --- 6SS --- |
| PROPOSED SEWER CLEANOUT | ⊙ |

KEYNOTES:

- ① NOT USED.
- ② NOT USED.
- ③ MAXIMUM 3:1 GRADING
- ④ DRAINAGE DITCH. SEE DETAIL 17/C10.0.



MATCHLINE - SEE SHEET C5.2

GRADING NOTES:

- A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- B. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENISTY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- C. OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- D. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.

- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
- I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

NOT FOR CONSTRUCTION

WILLIAMS TRACTOR & FREEDOM
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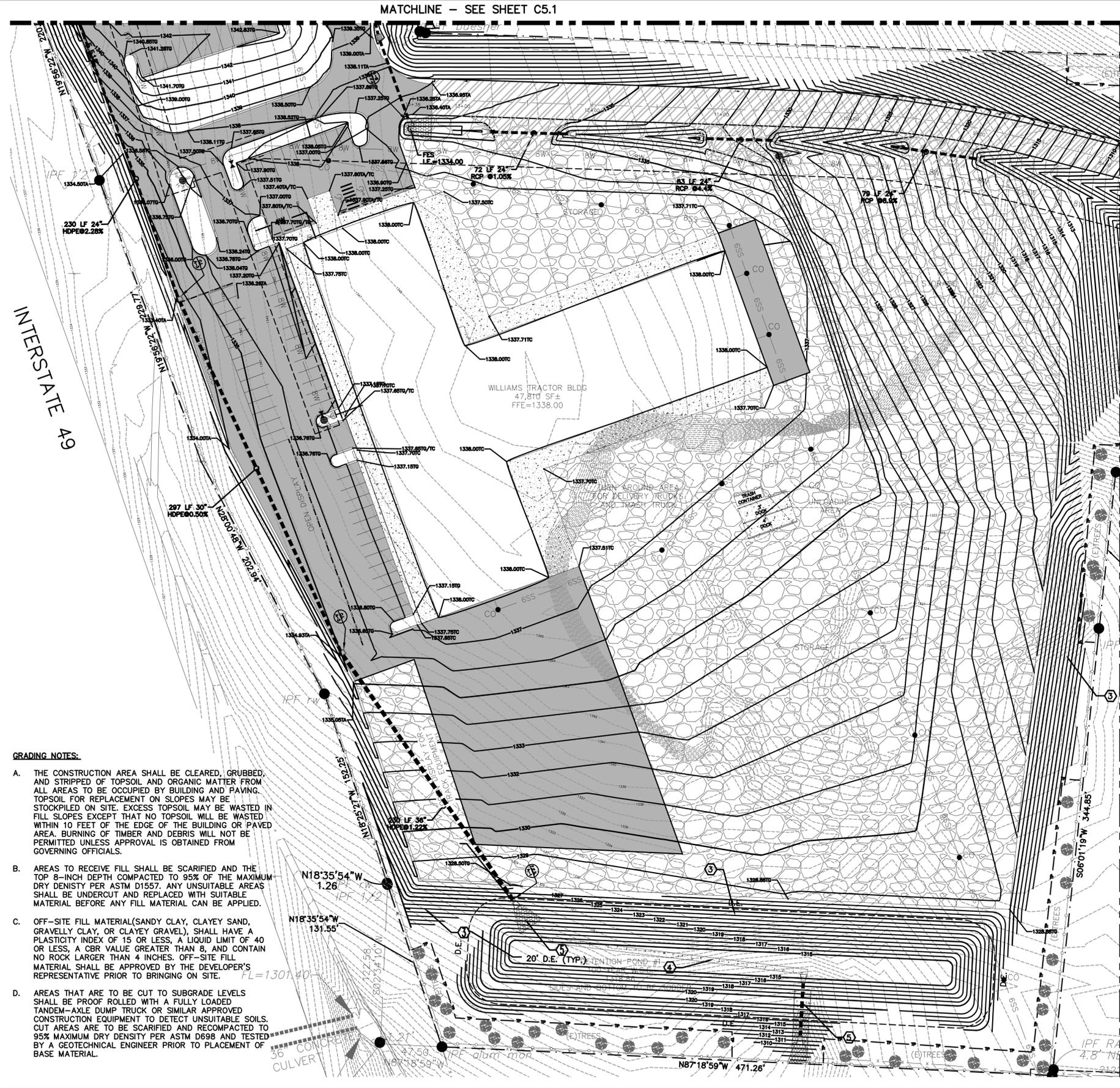
Know what's below.
Call before you dig.

CITY PROJECT #L20-11

| | |
|---------------------------------|-------------------|
| Date | 3/19/2020 |
| Comments | PER CITY COMMENTS |
| Rev | 1 |
| Date | 4/23/2020 |
| Comments | PER CITY COMMENTS |
| Rev | 2 |
| Date | 5/27/2020 |
| Comments | PER CITY COMMENTS |
| Rev | 3 |
| DRAWN BY: JEI | |
| CHECKED BY: JEI | |
| DATE 2/27/2020 | |
| JOB NUMBER 19-1045 | |
| SHEET NAME GRADING PLAN 1 | |
| File No. 19-1045.dwg | |
| C5.1 | |

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GRADING NOTES:

- A. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
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- FOUND IRON PIN**
PROPERTY LINE
EXISTING OVERHEAD ELECTRIC
EXISTING BARBED WIRE FENCE
EXISTING CONTOUR
EXISTING GAS METER
EXISTING ELECTRIC TRANSFORMER
PROPOSED EASEMENT
PROPOSED CENTERLINE OF ROAD
PROPOSED CONTOUR
PROPOSED CURB
PROPOSED TOP OF GUTTER/GRAVEL
PROPOSED TOP OF ASPHALT
PROPOSED TOP OF CONCRETE
PROPOSED TOP OF GUTTER/CONCRETE
PROPOSED TOP OF ASPHALT/CONCRETE
PROPOSED ASPHALT
PROPOSED CONCRETE
PROPOSED STREET LIGHT
PROPOSED GRAVEL
PROPOSED STORM DRAIN
PROPOSED 8" WATERMAIN
PROPOSED FIRE HYDRANT
PROPOSED WATER VALVE
PROPOSED WATER METER
PROPOSED 6" SEWER MAIN
PROPOSED SEWER CLEANOUT

KEYNOTES:

- ① NOTE USED
 - ② NOTE USED
 - ③ MAXIMUM 3:1 GRADING
 - ④ 4' CONCRETE TRICKLE CHANNEL. SEE DETAIL 22/C10.0.
 - ⑤ DETENTION OUTLET 1. SEE DETAIL 23/C10.0.
- RIPRAP PAD. SEE DETAIL 25/C11.0.

GRADING NOTES (CONT'D):

- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
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SCALE 1" = 40'

LEGEND

| | |
|----------------------------------|---------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | — |
| EXISTING OVERHEAD ELECTRIC | — OHE — OHE — |
| EXISTING BARBED WIRE FENCE | — X — X — |
| EXISTING CONTOUR | — 1336 — |
| EXISTING GAS METER | ⊙ |
| EXISTING ELECTRIC TRANSFORMER | □ |
| PROPOSED EASEMENT | --- |
| PROPOSED CENTERLINE OF ROAD | --- |
| PROPOSED CONTOUR | --- |
| PROPOSED CURB | --- |
| PROPOSED TOP OF GUTTER/GRAVEL | 1343.15TG |
| PROPOSED TOP OF ASPHALT | 1336.05TA |
| PROPOSED TOP OF CONCRETE | 1337.70TC |
| PROPOSED TOP OF GUTTER/CONCRETE | 1337.70TG/TC |
| PROPOSED TOP OF ASPHALT/CONCRETE | 1337.70TA/TC |
| PROPOSED ASPHALT | ▬ |
| PROPOSED CONCRETE | ▬ |
| PROPOSED STREET LIGHT | ⊙ |
| PROPOSED GRAVEL | ▬ |
| PROPOSED STORM DRAIN | ▬ |
| PROPOSED 8" WATERMAIN | — 8W — 8W — |
| PROPOSED FIRE HYDRANT | ⊙ |
| PROPOSED WATER VALVE | ⊙ |
| PROPOSED WATER METER | ⊙ |
| PROPOSED 6" SEWER MAIN | — 6SS — 6SS — |
| PROPOSED SEWER CLEANOUT | ⊙ |

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
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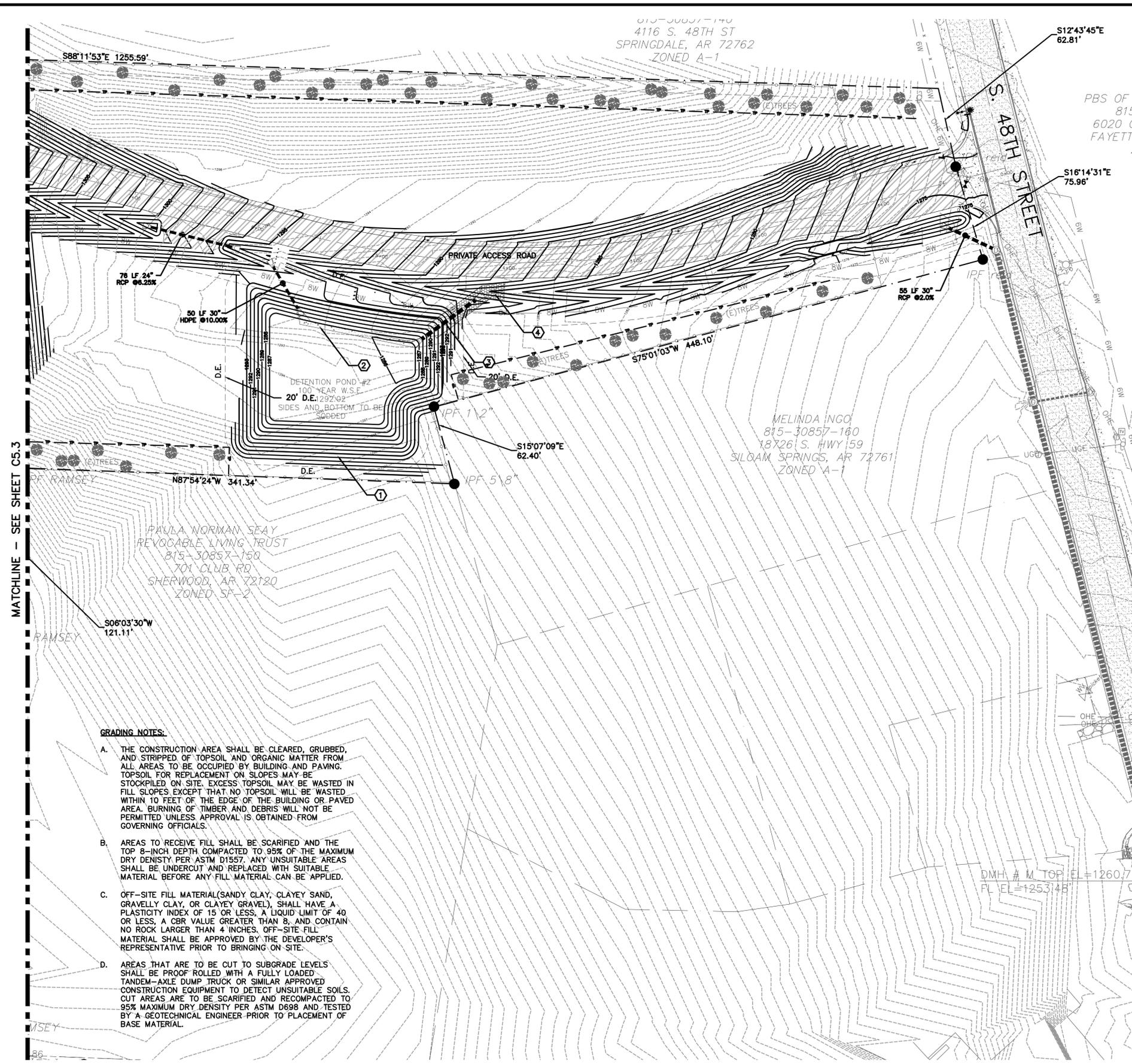


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|-------------|----------------|
| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE: | 2/27/2020 |
| JOB NUMBER: | 19-1045 |
| SHEET NAME: | GRADING PLAN 2 |
| File No.: | 19-1045.dwg |
| C5.2 | |



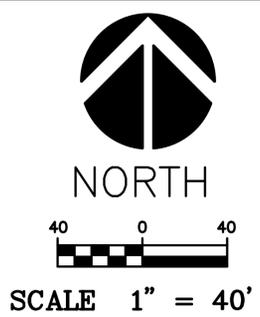
CITY PROJECT #L20-11

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MATCHLINE - SEE SHEET C5.3

WSEY



LEGEND

| | |
|----------------------------------|--------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | --- |
| EXISTING OVERHEAD ELECTRIC | OHE |
| EXISTING BARBED WIRE FENCE | X |
| EXISTING CONTOUR | --- |
| EXISTING GAS METER | □ |
| EXISTING ELECTRIC TRANSFORMER | □ |
| PROPOSED EASEMENT | --- |
| PROPOSED CENTERLINE OF ROAD | --- |
| PROPOSED CONTOUR | --- |
| PROPOSED CURB | --- |
| PROPOSED TOP OF GUTTER/GRAVEL | 1343.15TG |
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| PROPOSED TOP OF GUTTER/CONCRETE | 1337.70TG/TC |
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| PROPOSED ASPHALT | ▬ |
| PROPOSED CONCRETE | ▬ |
| PROPOSED STREET LIGHT | ⊙ |
| PROPOSED GRAVEL | ▬ |
| PROPOSED STORM DRAIN | ▬ |
| PROPOSED 8" WATERMAIN | 8W |
| PROPOSED FIRE HYDRANT | ⊙ |
| PROPOSED WATER VALVE | ⊙ |
| PROPOSED WATER METER | ⊙ |
| PROPOSED 6" SEWER MAIN | 6SS |
| PROPOSED SEWER CLEANOUT | CO |

- KEYNOTES:**
- ① MAXIMUM 3:1 GRADING
 - ② 4' CONCRETE TRICKLE CHANNEL. SEE DETAIL 22/C10.0.
 - ③ DETENTION OUTLET 2. SEE DETAIL 24/C10.0.
 - ④ RIPPAD PAD. SEE DETAIL 25/C11.0

- GRADING NOTES (CONT'D):**
- E. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
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 - G. AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION, FOR BASE COURSE AND ASPHALT PAVING.
 - H. ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
 - I. ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.



CITY PROJECT #L20-11



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| 1 | PER CITY COMMENTS | 3/19/2020 |
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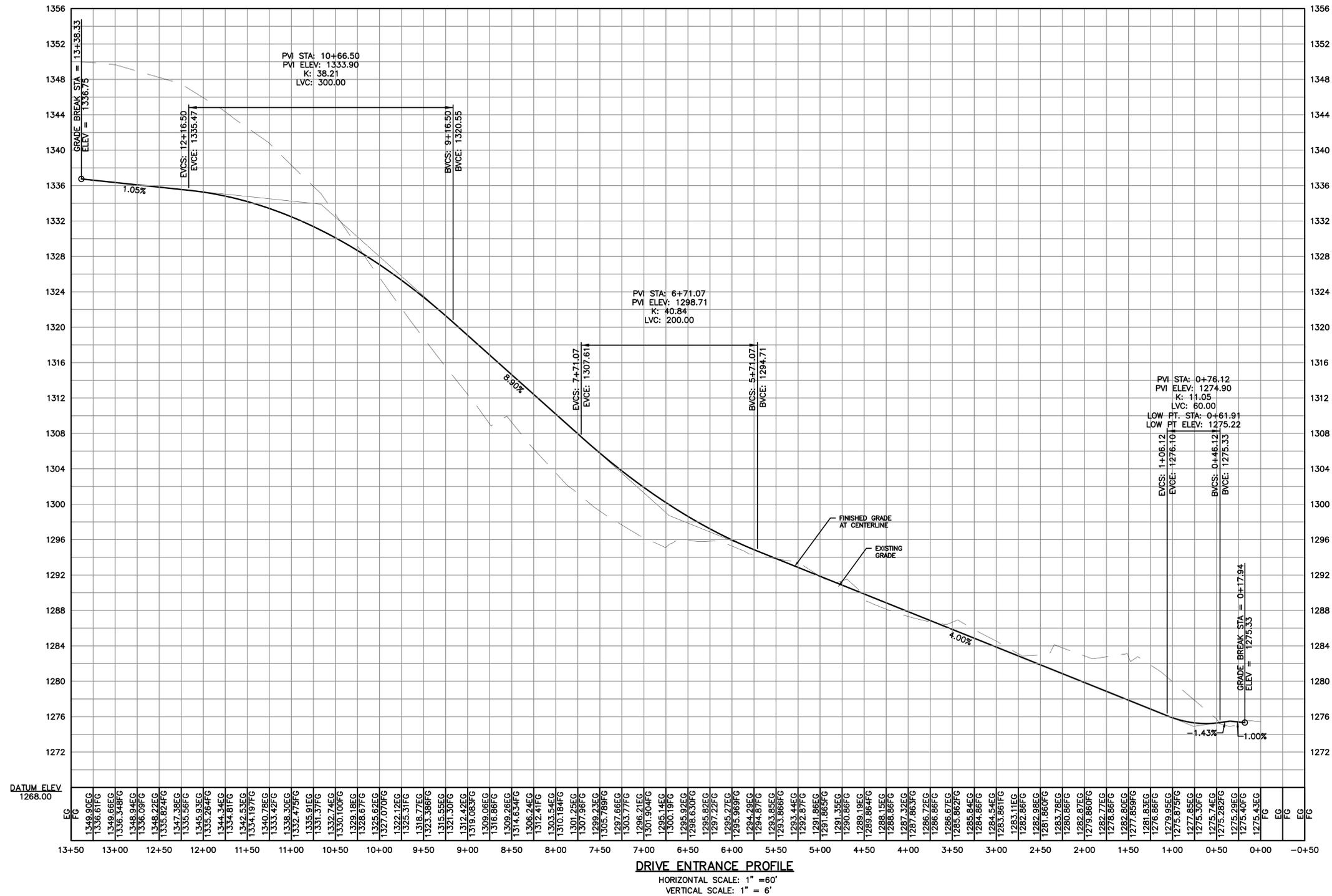
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POWER SPORTS
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WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR. STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-llc.com

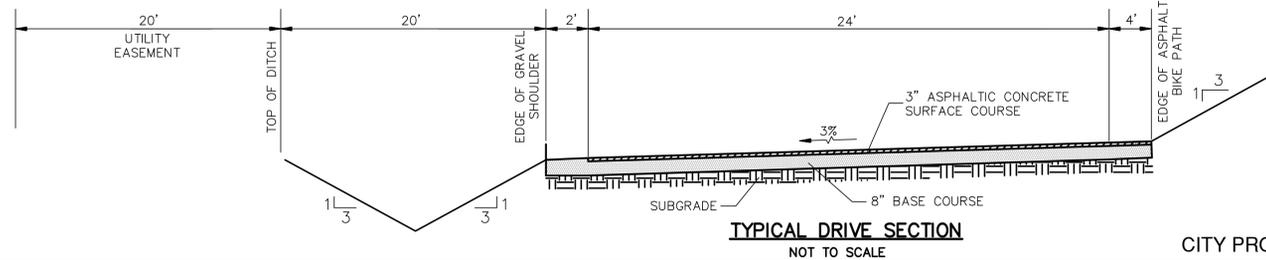


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| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE | 2/27/2020 |
| JOB NUMBER | 19-1045 |
| SHEET NAME | GRADING PLAN 3 |
| File No. | 19-1045.dwg |
| | C5.3 |



NOTES (ASPHALT STREET SECTION):

- 336 lb/sy (3") ASPHALTIC CONCRETE HOT MIX SURFACE COURSE. MATERIALS SHALL BE IN ACCORDANCE WITH ARKANSAS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, SECTION 407 TYPE "2", LATEST EDITION.
- 8" LAYER OF DENSE GRADED LIMESTONE BASE COURSE. MATERIALS SHALL BE IN ACCORDANCE WITH ARKANSAS DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, SECTION 303 CLASS "7", COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
- TOP 6" OF SUBGRADE SHALL BE COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY. BELOW 6" SHALL BE COMPACTED TO 90% STANDARD PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-99 COMPACTION TEST. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



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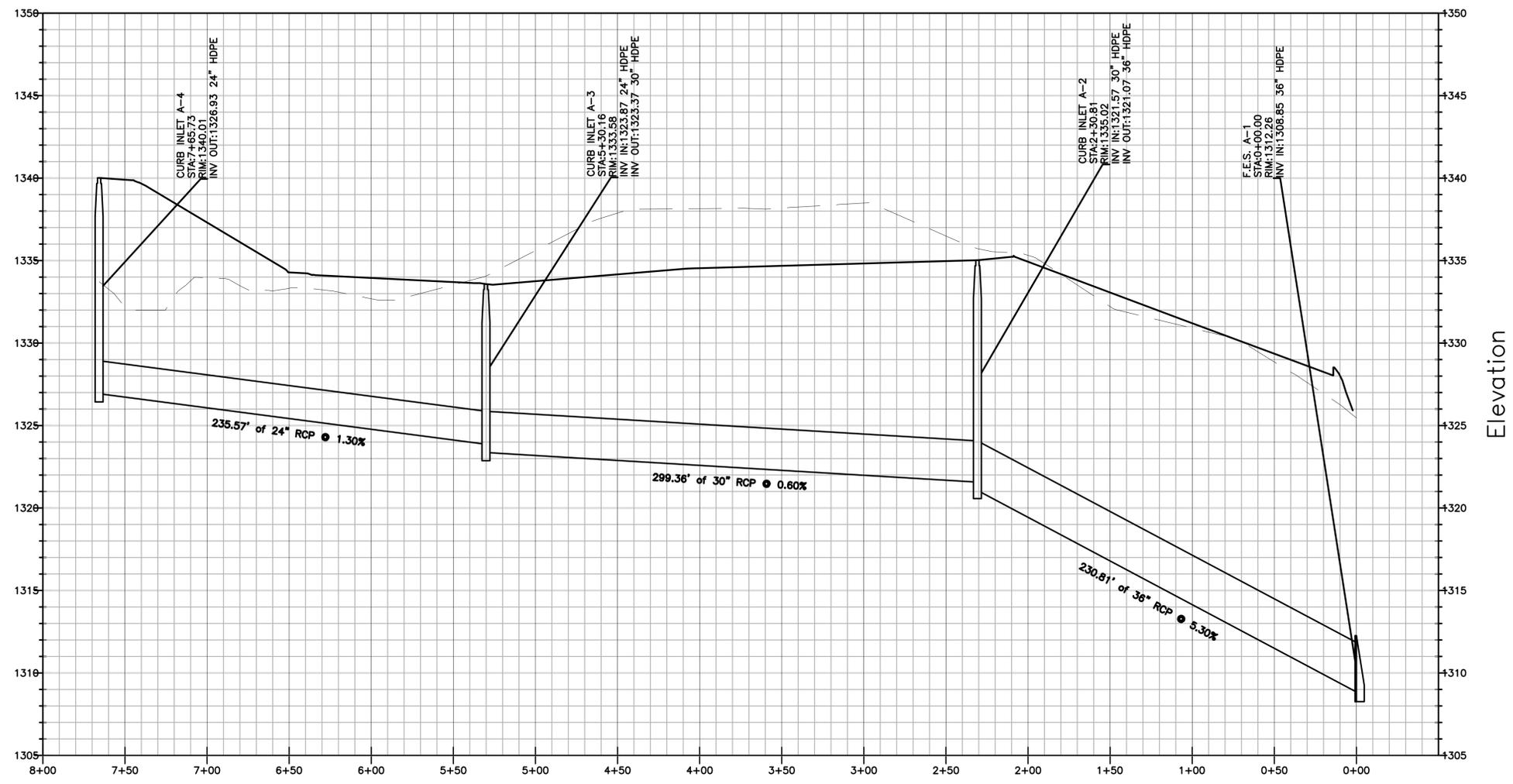
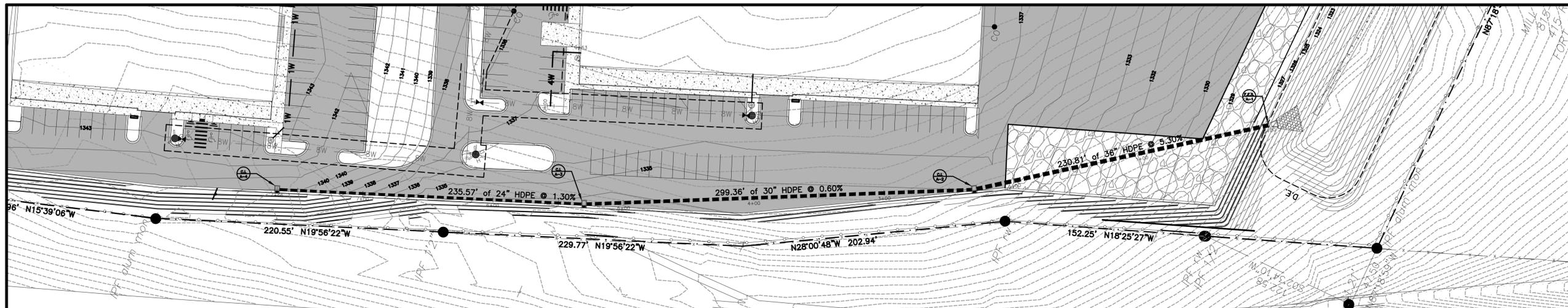


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| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME DRIVE ENTRANCE PROFILE |
| File No. 19-1045.dwg |
| C6.0 |



CITY PROJECT

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STORM SEWER A
 HORIZONTAL SCALE: 1" = 40'
 VERTICAL SCALE: 1" = 4'



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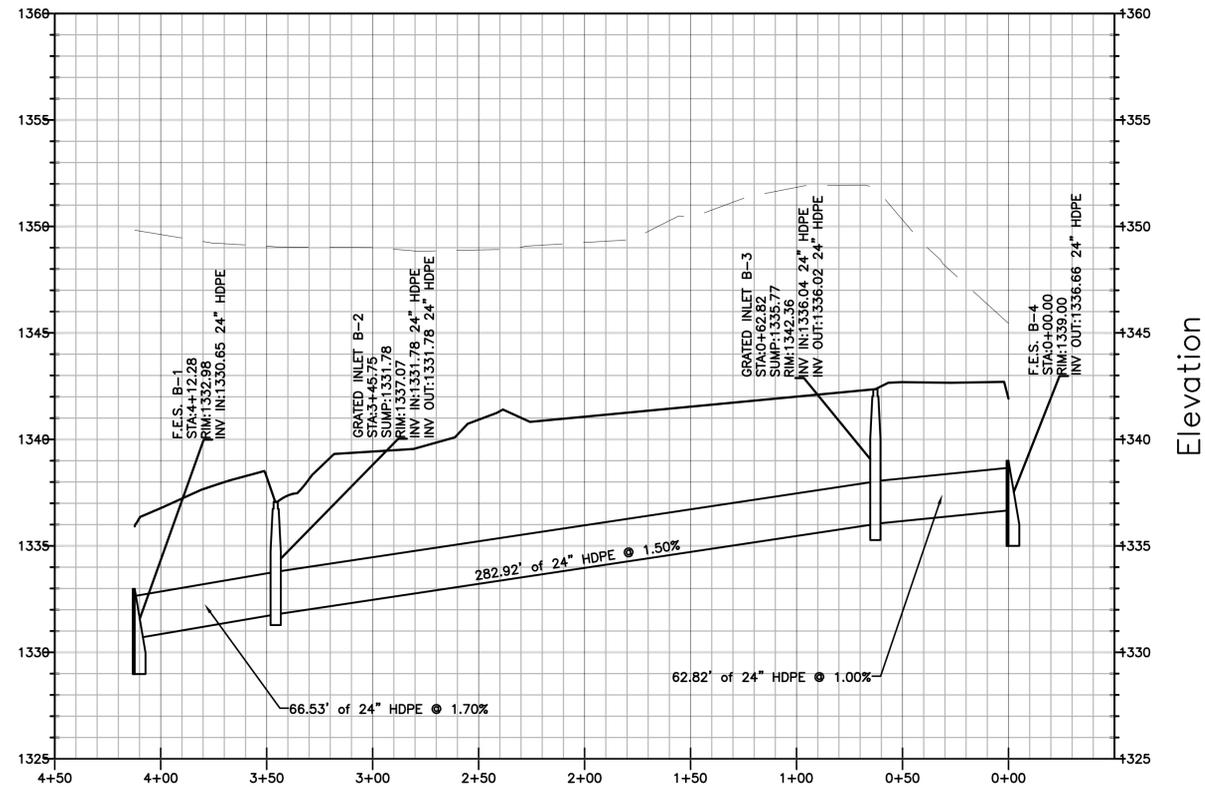
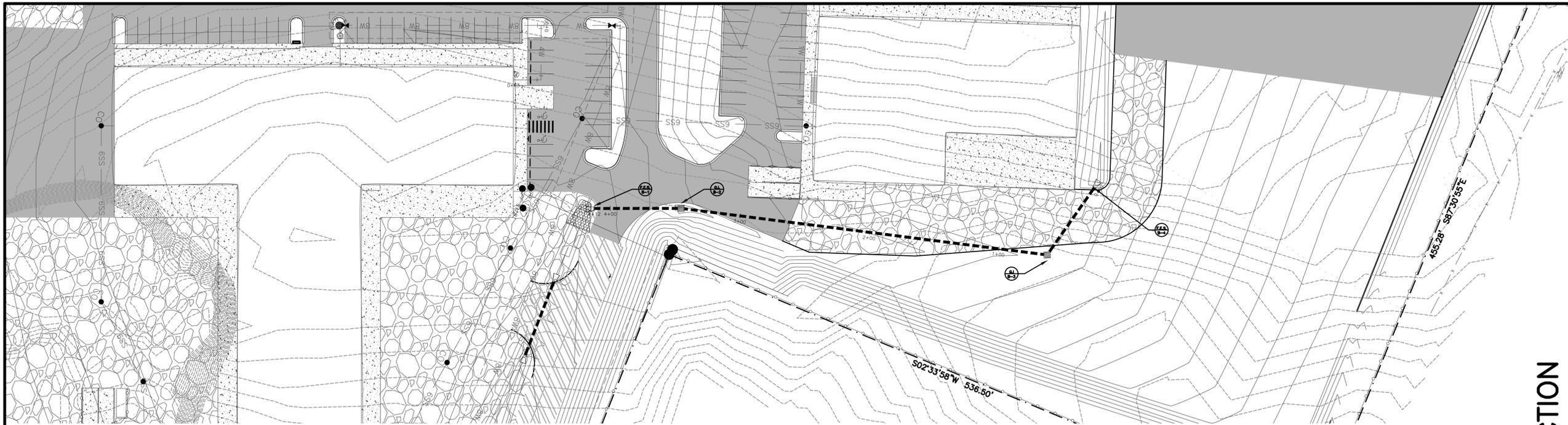


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| CHECKED BY: JEI |
| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME STORM SEWER 'A' PLAN AND PROFILE |
| File No. 19-1045.dwg |



CITY PROJECT #L20-11

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Call before you dig.



STORM SEWER B
 HORIZONTAL SCALE: 1" = 40'
 VERTICAL SCALE: 1" = 4'

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| SHEET NAME STORM SEWER LINE 'B' PLAN AND PROFILE |
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NORTH



SCALE 1" = 100'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING BARBED WIRE FENCE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING 6" WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING 8" SEWER MAIN
- EXISTING SEWER MANHOLE
- PROPOSED EASEMENT
- PROPOSED CENTERLINE OF ROAD
- PROPOSED CURB
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED STREET LIGHT
- PROPOSED GRAVEL
- PROPOSED STORM DRAIN
- PROPOSED 8" WATERMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED 6" SEWER MAIN
- PROPOSED SEWER CLEANOUT



5/27/2020

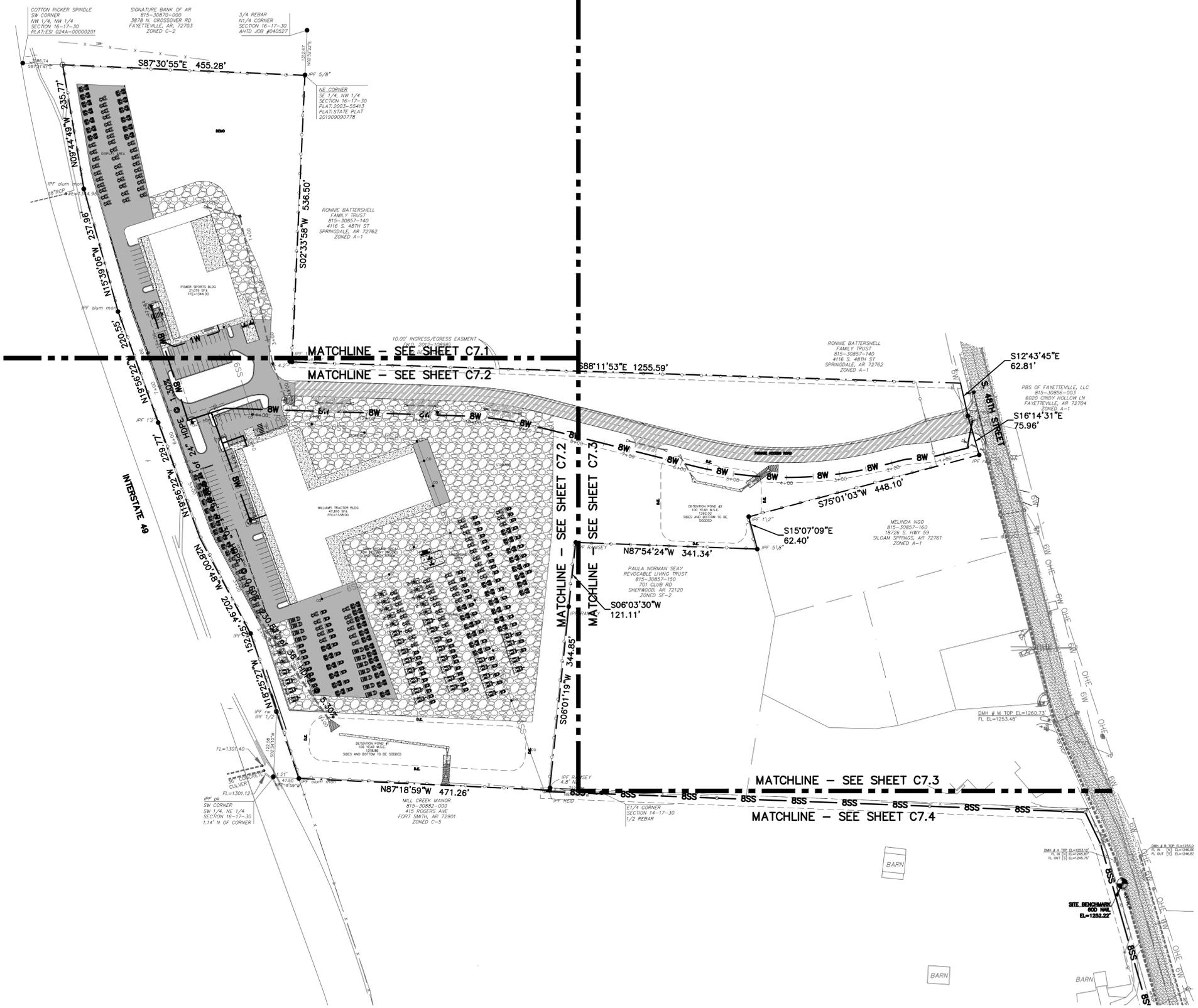
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| JOB NUMBER 19-1045 |
| SHEET NAME OVERALL UTILITY PLAN |
| File No. 19-1045.dwg |
| C7.0 |



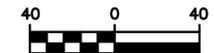
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SCALE 1" = 40'

LEGEND

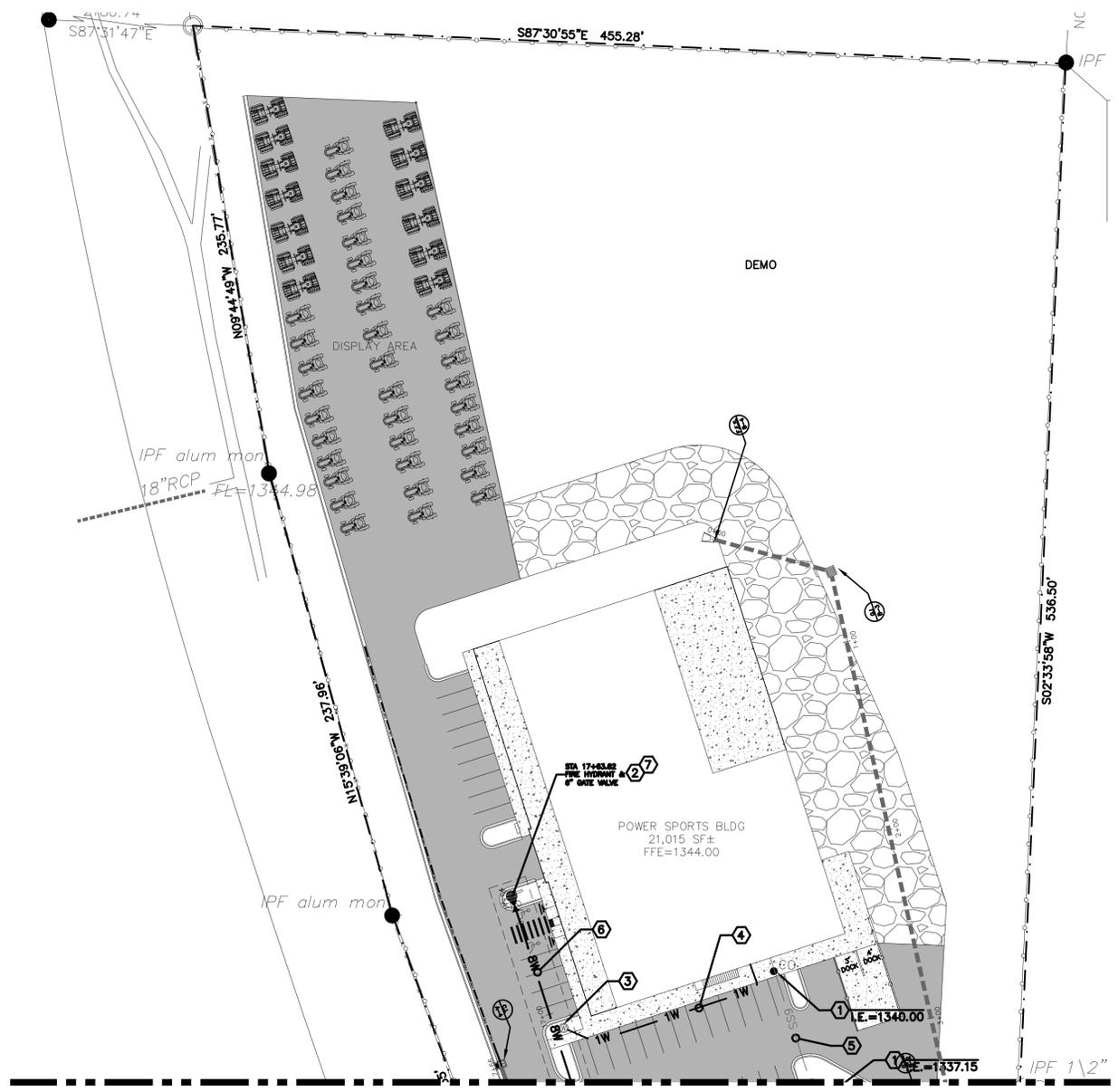
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|-------------------------------------|---------------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | --- |
| EXISTING OVERHEAD ELECTRIC | — OHE — OHE — |
| EXISTING BARBED WIRE FENCE | — X — X — |
| EXISTING GAS METER | ⊙ |
| EXISTING ELECTRIC TRANSFORMER | □ |
| EXISTING 6" WATER MAIN | — 6W — 6W — |
| EXISTING FIRE HYDRANT | ⊗ |
| EXISTING WATER VALVE | ⊕ |
| EXISTING 8" SEWER MAIN | — 8SS — 8SS — |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED EASEMENT | --- |
| PROPOSED CENTERLINE OF ROAD | --- |
| PROPOSED CURB | --- |
| PROPOSED ASPHALT | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED STREET LIGHT | ★ |
| PROPOSED GRAVEL | --- |
| PROPOSED STORM DRAIN | --- |
| PROPOSED 8" WATERMAIN | — 8W — 8W — |
| PROPOSED FIRE HYDRANT | ⊗ |
| PROPOSED WATER VALVE | ⊕ |
| PROPOSED WATER METER | ⊙ |
| PROPOSED 6" SEWER MAIN | — 6SS — 6SS — |
| PROPOSED SEWER CLEANOUT | ⊙ |
| PROPOSED FIRE DEPARTMENT CONNECTION | ⊙ |

UTILITY NOTES:

- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND SPRINGDALE WATER UTILITIES (SWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
- ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED SWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY SWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52. SANITARY SEWER MAINS SHALL BE PVC, SDR-26 AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
- ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO SWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
- EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
- WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.

NOTE:

ALL MATERIALS AND METHODS USED TO CONSTRUCT PUBLIC WATER AND SEWER MAINS SHALL CONFORM TO SWU STANDARD DETAILS AND STANDARD SPECIFICATIONS



MATCHLINE - SEE SHEET C7.2

KEYNOTES:

- SANITARY SEWER CLEANOUT PER DETAIL 19/C10.0
- FIRE HYDRANT ASSEMBLY AND 6" GATE VALVE PER DETAILS SWU STD
- 1" WATER METER, SETTER, BOX, UID, ETC. PER DETAIL SWU STD
- 1" PEX WATER SERVICE TUBING FROM METER TO BUILDING POINT OF CONNECTION. EMBED PIPE PER DETAIL 20/C10.0
- 6" PVC SDR-26 SANITARY SEWER PIPING. EMBED PIPE PER DETAIL 20/C10.0
- 6" DUCTILE IRON CLASS 52 WATER MAIN. EMBED PIPE PER DETAIL SWU STD
- CONCRETE THRUST BLOCKING PER DETAIL SWU STD

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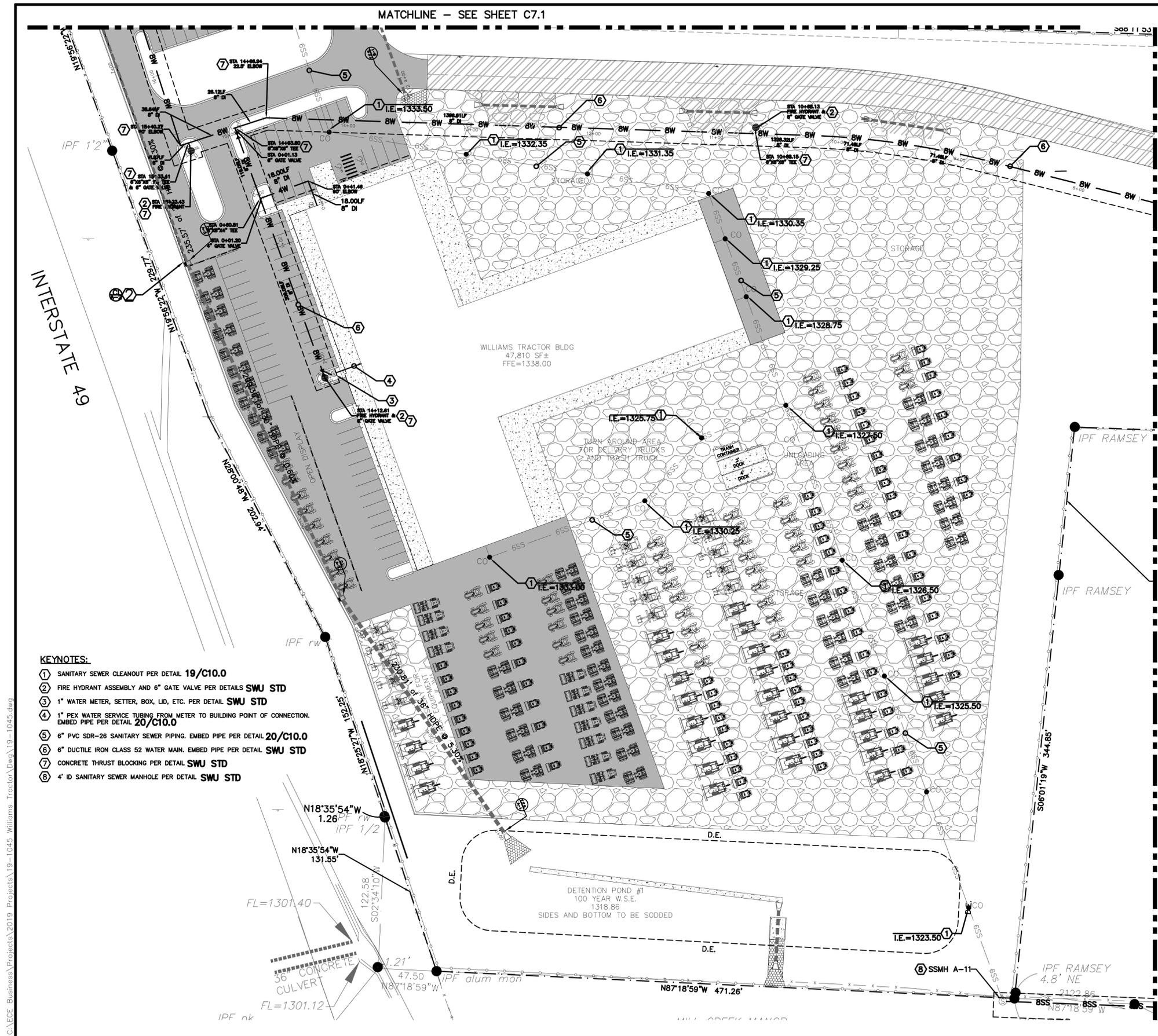


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| DATE | 2/27/2020 |
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| SHEET NAME | GRADING PLAN 1 |
| File No. | 19-1045.dwg |
| | C7.1 |



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CITY PROJECT #L20-11



- KEYNOTES:**
- ① SANITARY SEWER CLEANOUT PER DETAIL 19/C10.0
 - ② FIRE HYDRANT ASSEMBLY AND 6" GATE VALVE PER DETAILS SWU STD
 - ③ 1" WATER METER, SETTER, BOX, LID, ETC. PER DETAIL SWU STD
 - ④ 1" PEX WATER SERVICE TUBING FROM METER TO BUILDING POINT OF CONNECTION. EMBED PIPE PER DETAIL 20/C10.0
 - ⑤ 6" PVC SDR-26 SANITARY SEWER PIPING. EMBED PIPE PER DETAIL 20/C10.0
 - ⑥ 6" DUCTILE IRON CLASS 52 WATER MAIN. EMBED PIPE PER DETAIL SWU STD
 - ⑦ CONCRETE THRUST BLOCKING PER DETAIL SWU STD
 - ⑧ 4" ID SANITARY SEWER MANHOLE PER DETAIL SWU STD



NORTH

SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING BARBED WIRE FENCE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING 6" WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING 8" SEWER MAIN
- EXISTING SEWER MANHOLE
- PROPOSED EASEMENT
- PROPOSED CENTERLINE OF ROAD
- PROPOSED CURB
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED STREET LIGHT
- PROPOSED GRAVEL
- PROPOSED STORM DRAIN
- PROPOSED 8" WATERMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED 6" SEWER MAIN
- PROPOSED SEWER CLEANOUT
- PROPOSED FIRE DEPARTMENT CONNECTION

UTILITY NOTES:

- A. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND SPRINGDALE WATER UTILITIES (SWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- B. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
- C. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY SWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY SWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- D. ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52. SANITARY SEWER MAINS SHALL BE PVC SDR-26 AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
- E. ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- F. ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO SWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
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NOTE:
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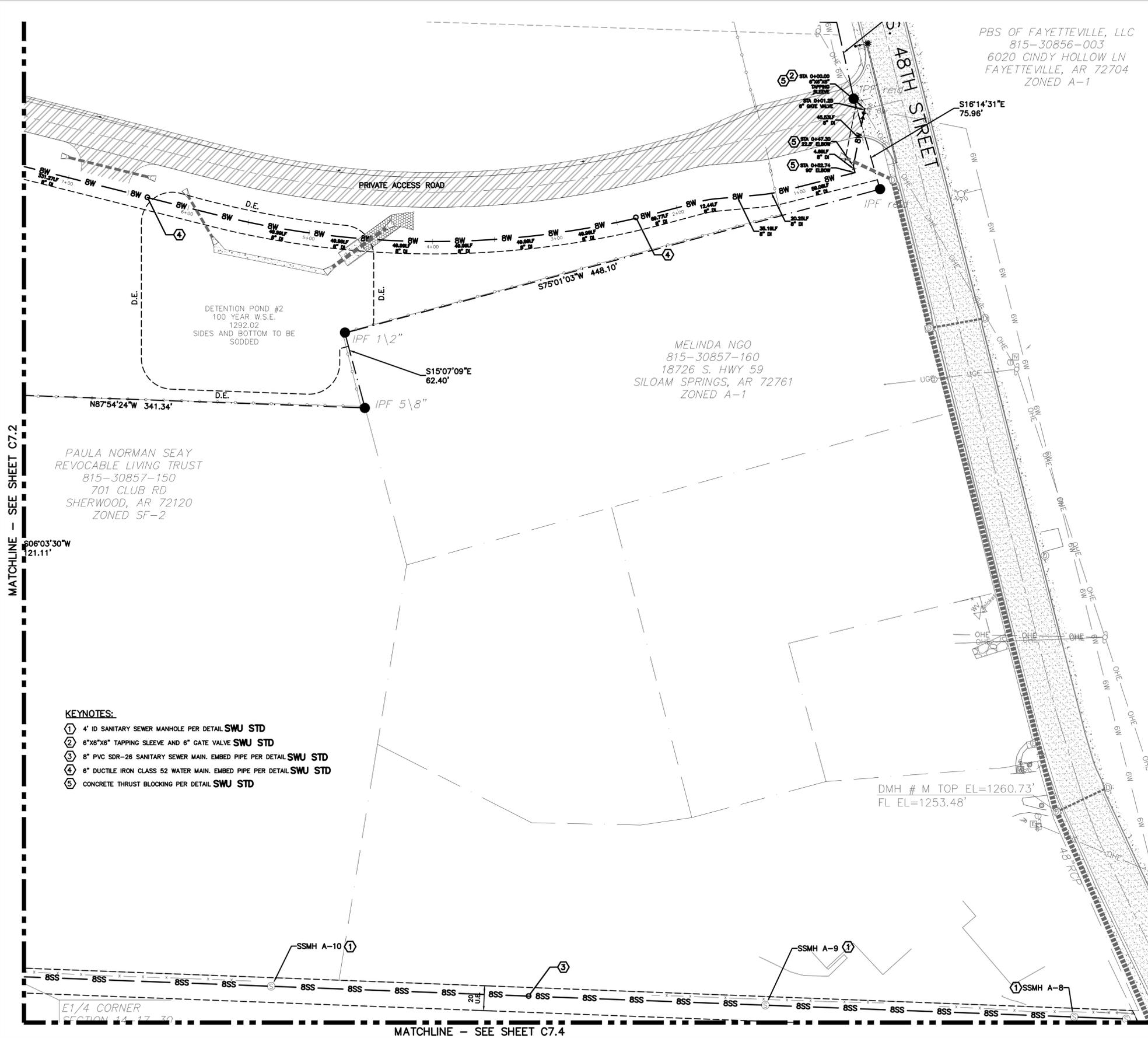
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BELLA VISTA, AR 72714
EMAIL: jason@ece-llc.com



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| JOB NUMBER 19-1045 |
| SHEET NAME UTILITY PLAN 2 |
| File No. 19-1045.dwg |
| C7.2 |

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MATCHLINE - SEE SHEET C7.2

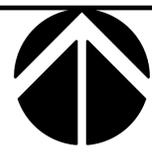
MATCHLINE - SEE SHEET C7.4

- KEYNOTES:**
- ① 4" ID SANITARY SEWER MANHOLE PER DETAIL SWJ STD
 - ② 6"x6"x6" TAPPING SLEEVE AND 6" GATE VALVE SWJ STD
 - ③ 8" PVC SDR-26 SANITARY SEWER MAIN. EMBED PIPE PER DETAIL SWJ STD
 - ④ 6" DUCTILE IRON CLASS 52 WATER MAIN. EMBED PIPE PER DETAIL SWJ STD
 - ⑤ CONCRETE THRUST BLOCKING PER DETAIL SWJ STD

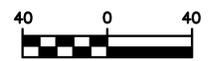
PAULA NORMAN SEAY
REVOCABLE LIVING TRUST
815-30857-150
701 CLUB RD
SHERWOOD, AR 72120
ZONED SF-2

MELINDA NGO
815-30857-160
18726 S. HWY 59
SILOAM SPRINGS, AR 72761
ZONED A-1

PBS OF FAYETTEVILLE, LLC
815-30856-003
6020 CINDY HOLLOW LN
FAYETTEVILLE, AR 72704
ZONED A-1



NORTH



SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING BARBED WIRE FENCE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING 6" WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING 8" SEWER MAIN
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- PROPOSED GRAVEL
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- PROPOSED 8" WATERMAIN
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- PROPOSED WATER METER
- PROPOSED 6" SEWER MAIN
- PROPOSED SEWER CLEANOUT

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- F. ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO SWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
- G. EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
- H. WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWERS OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAD IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.

NOTE:
ALL MATERIALS AND METHODS USED TO CONSTRUCT PUBLIC WATER AND SEWER MAINS SHALL CONFORM TO RWJ STANDARD DETAILS AND STANDARD SPECIFICATIONS



NOT FOR CONSTRUCTION



| Date | Comments |
|-----------|-------------------|
| 3/19/2020 | PER CITY COMMENTS |
| 4/23/2020 | PER CITY COMMENTS |
| 5/27/2020 | PER CITY COMMENTS |

**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

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EMAIL: jason@ece-llc.com

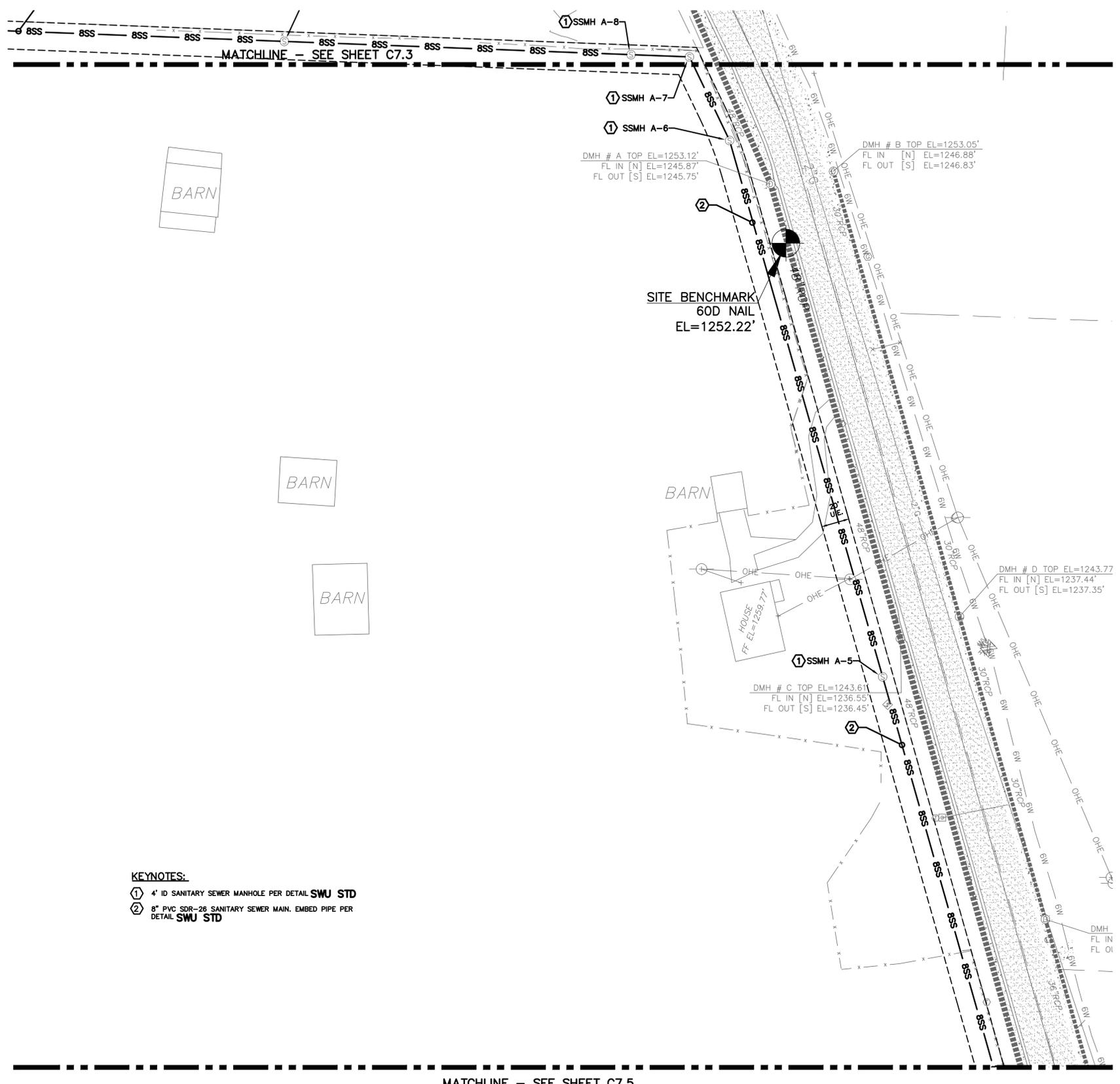


DRAWN BY:
JEI
CHECKED BY:
JEI
DATE
2/27/2020
JOB NUMBER
19-1045
SHEET NAME

UTILITY
PLAN 3
File No.
19-1045.dwg
C7.3

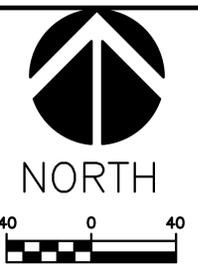
CITY PROJECT #L20-11

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- KEYNOTES:**
- ① 4' ID SANITARY SEWER MANHOLE PER DETAIL SWU STD
 - ② 8" PVC SDR-26 SANITARY SEWER MAIN. EMBED PIPE PER DETAIL SWU STD

MATCHLINE - SEE SHEET C7.5



SCALE 1" = 40'

LEGEND

| | |
|-------------------------------|------|
| FOUND IRON PIN | ● |
| PROPERTY LINE | --- |
| EXISTING OVERHEAD ELECTRIC | OHE |
| EXISTING BARBED WIRE FENCE | X |
| EXISTING GAS METER | 1336 |
| EXISTING ELECTRIC TRANSFORMER | □ |
| EXISTING 6" WATER MAIN | 6W |
| EXISTING FIRE HYDRANT | ⊕ |
| EXISTING WATER VALVE | ⊕ |
| EXISTING 8" SEWER MAIN | 8SS |
| EXISTING SEWER MANHOLE | ⊙ |
| PROPOSED EASEMENT | --- |
| PROPOSED CENTERLINE OF ROAD | --- |
| PROPOSED CURB | --- |
| PROPOSED ASPHALT | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED STREET LIGHT | ☆ |
| PROPOSED GRAVEL | --- |
| PROPOSED STORM DRAIN | --- |
| PROPOSED 6" WATERMAIN | 6W |
| PROPOSED FIRE HYDRANT | ⊕ |
| PROPOSED WATER VALVE | ⊕ |
| PROPOSED WATER METER | ⊕ |
| PROPOSED 6" SEWER MAIN | 6SS |
| PROPOSED 8" SEWER MAIN | 8SS |
| PROPOSED SEWER MANHOLE | ⊙ |
| PROPOSED SEWER CLEANOUT | CO |

- UTILITY NOTES:**
- A. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND SPRINGDALE WATER UTILITIES (SWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
 - B. DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF SWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
 - C. ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY SWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY SWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
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NOTE:
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CITY PROJECT #L20-11



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

NOT FOR CONSTRUCTION

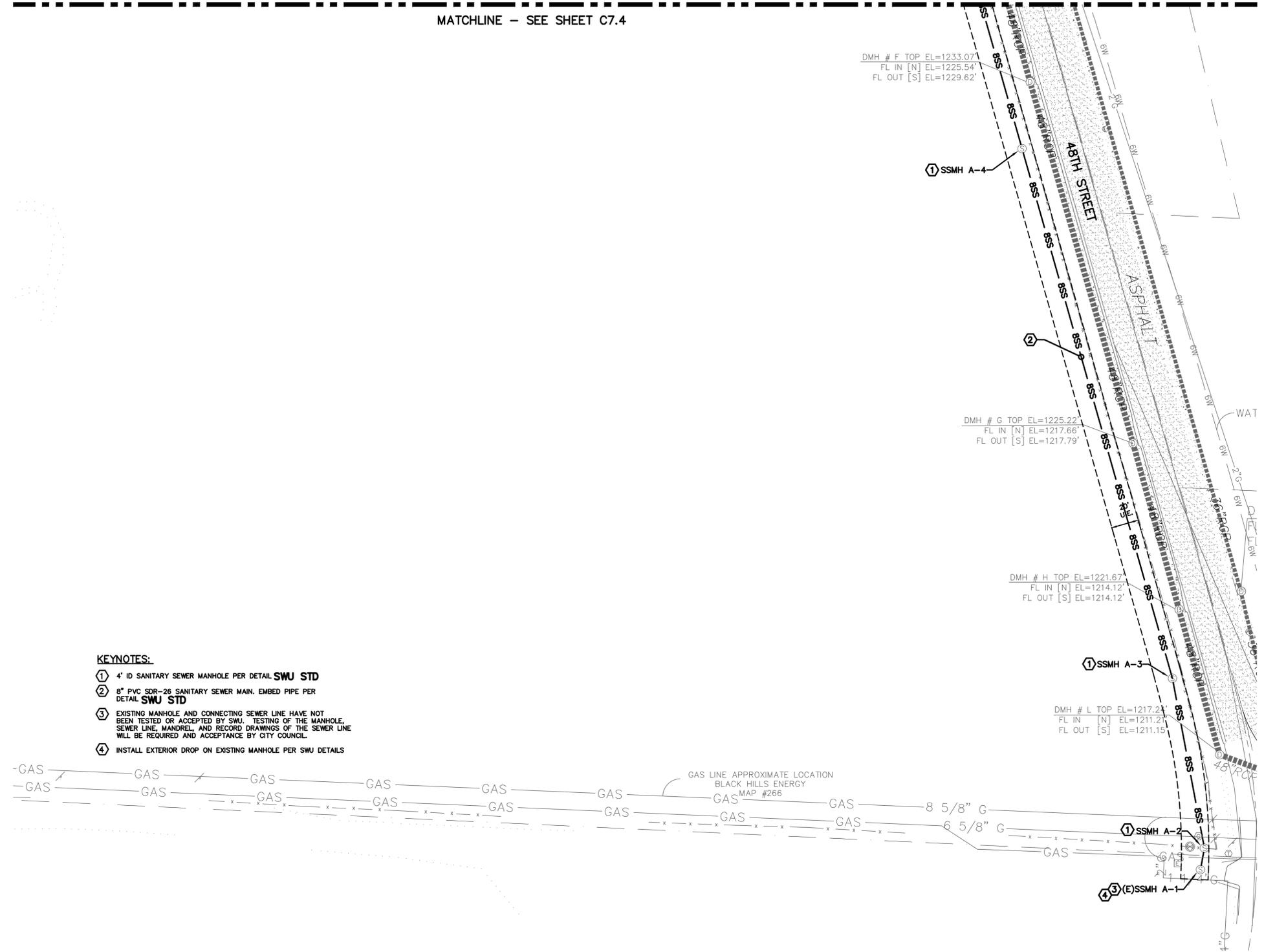
**WILLIAMS TRACTOR & FREEDOM
POWER SPORTS**
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SPRINGDALE, AR
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2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR. STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-llc.com

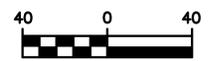
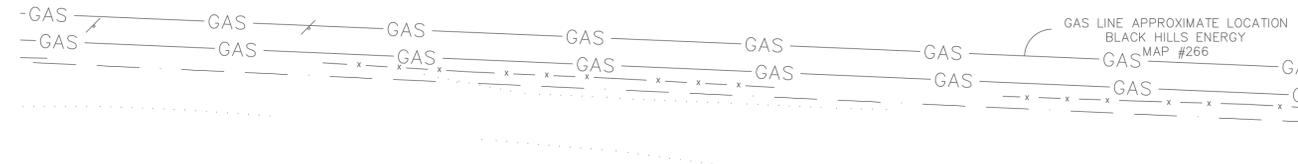


| | |
|-------------|----------------|
| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE | 2/27/2020 |
| JOB NUMBER | 19-1045 |
| SHEET NAME | UTILITY PLAN 4 |
| File No. | 19-1045.dwg |
| | C7.4 |

C:\ECE Business\Projects\2019-Projects\19-1045-Williams Tractor\Drawings\19-1045.dwg



- KEYNOTES:**
- ① 4" ID SANITARY SEWER MANHOLE PER DETAIL SWU STD
 - ② 8" PVC SDR-26 SANITARY SEWER MAIN, EMBED PIPE PER DETAIL SWU STD
 - ③ EXISTING MANHOLE AND CONNECTING SEWER LINE HAVE NOT BEEN TESTED OR ACCEPTED BY SWU. TESTING OF THE MANHOLE, SEWER LINE, MANDREL, AND RECORD DRAWINGS OF THE SEWER LINE WILL BE REQUIRED AND ACCEPTANCE BY CITY COUNCIL.
 - ④ INSTALL EXTERIOR DROP ON EXISTING MANHOLE PER SWU DETAILS



SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING OVERHEAD ELECTRIC
- EXISTING BARBED WIRE FENCE
- EXISTING GAS METER
- EXISTING ELECTRIC TRANSFORMER
- EXISTING 6" WATER MAIN
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING 8" SEWER MAIN
- EXISTING SEWER MANHOLE
- PROPOSED EASEMENT
- PROPOSED CENTERLINE OF ROAD
- PROPOSED CURB
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- PROPOSED SEWER CLEANOUT

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CITY PROJECT #L20-11



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
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| 3 | PER CITY COMMENTS | 5/27/2020 |

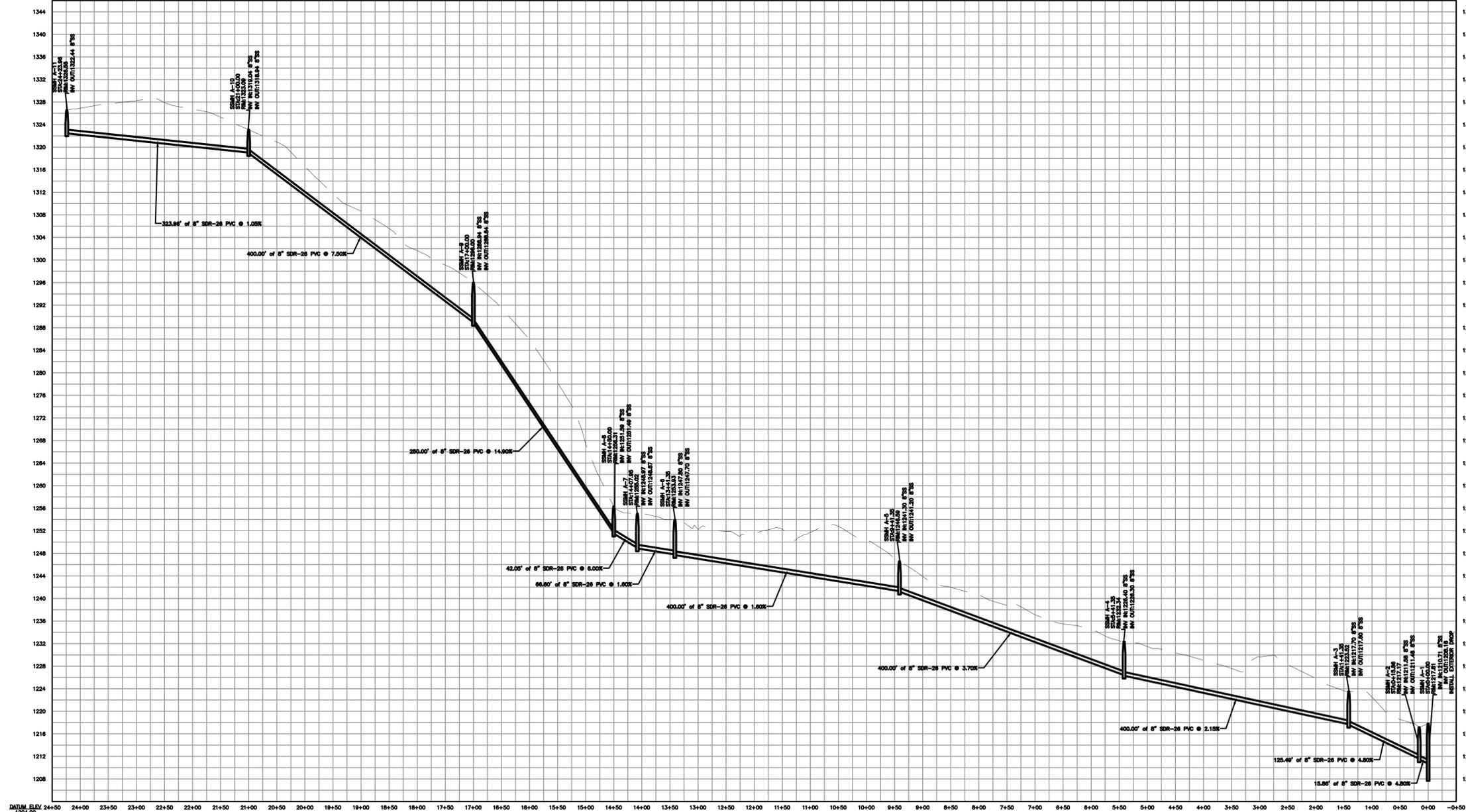
NOT FOR CONSTRUCTION

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
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WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8200 SUITS US DR. STE. B
BELLA VISTA, AR 72714
EMAIL: jason@ece-llc.com



| | |
|-------------|----------------|
| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE | 2/27/2020 |
| JOB NUMBER | 19-1045 |
| SHEET NAME | UTILITY PLAN 5 |
| File No. | 19-1045.dwg |
| | C7.5 |



SANITARY SEWER PROFILE
 HORIZONTAL SCALE: 1" = 100'
 VERTICAL SCALE: 1" = 10'



CITY PROJECT

NOT FOR CONSTRUCTION

STATE OF ARKANSAS
 REGISTERED PROFESSIONAL ENGINEER
 No. 11411
 Jason E. Jorgulis
 5/27/2020

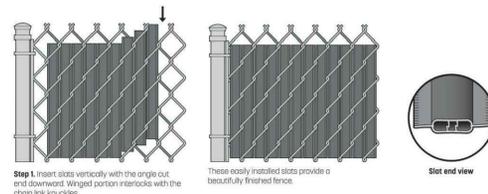
| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
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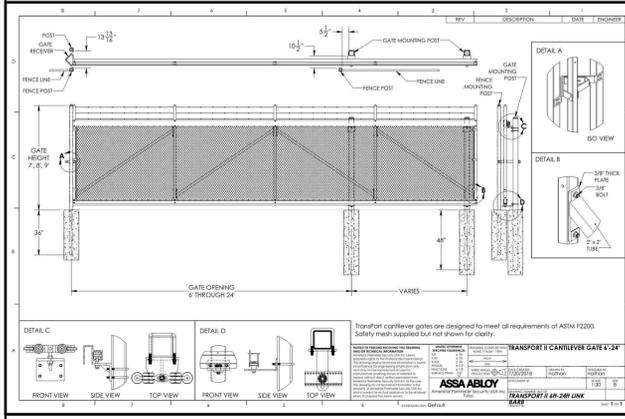


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| DRAWN BY: JEI |
| CHECKED BY: JEI |
| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME OFF-SITE SANITARY SEWER PROFILE |
| File No. 19-1045.dwg |
| C8.0 |

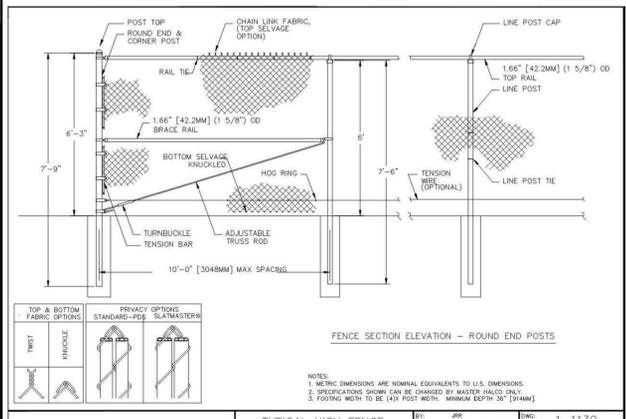


| SLAT NAME | SLAT WIDTH | MESH SIZE | WIRE GAUGE | COVERAGE AREA |
|-------------|------------|-----------|------------|---------------|
| WINGED SLAT | 1 7/8" | 2" ONLY | 3/16" ONLY | 10 LUNAR FEET |

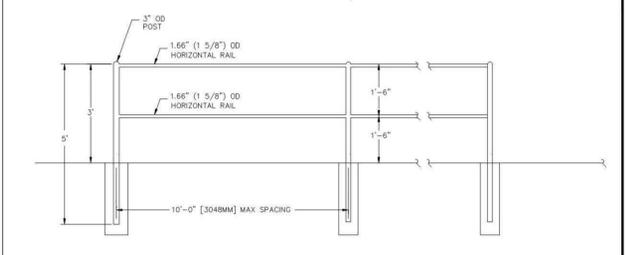
Winged® Fence Slats



DETAIL 26 – CHAIN LINK AUTOMATIC SLIDING GATE
NOT TO SCALE

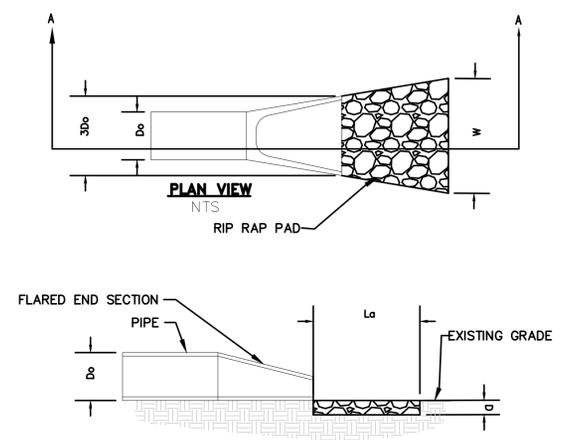


DETAIL 28 – CHAIN FENCING
NOT TO SCALE



DETAIL 29 – PIPE FENCING
NOT TO SCALE

DETAIL 25 – CHAIN LINK WITH VINYL SLATS
NOT TO SCALE



DETAIL 25 – RIPRAP PAD
NOT TO SCALE

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
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| 2 | PER CITY COMMENTS | 4/23/2020 |
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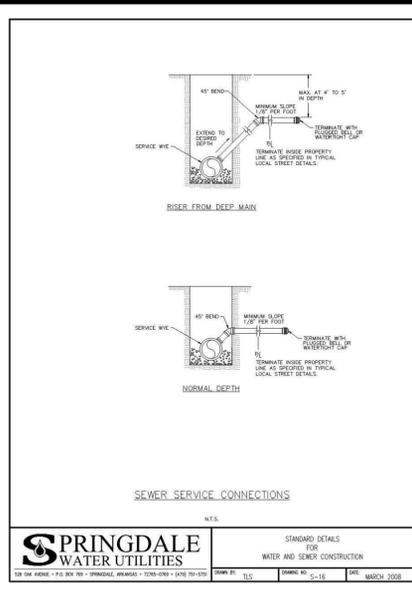
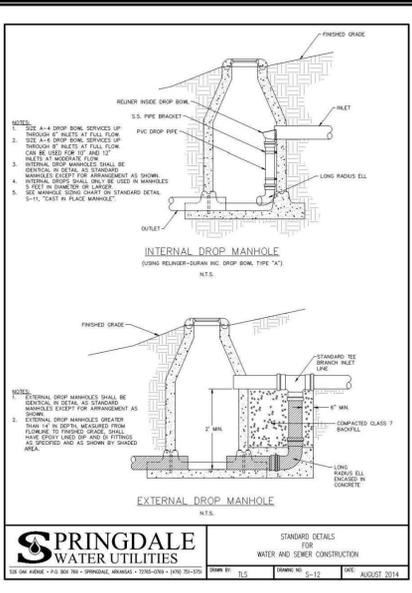
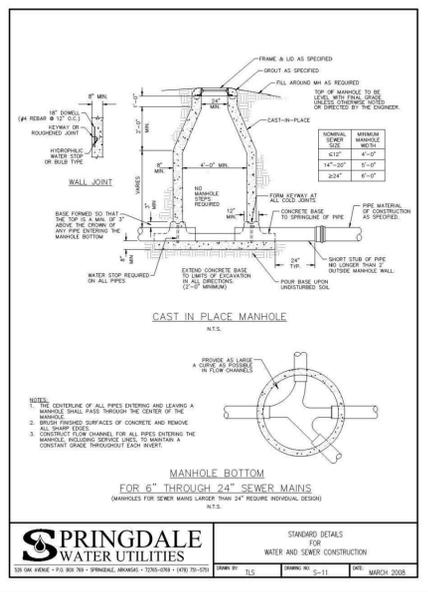
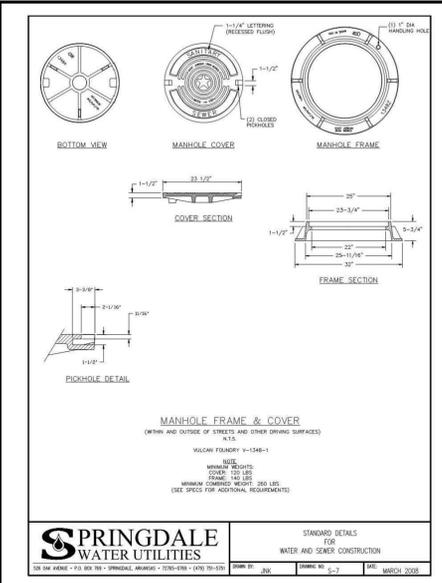
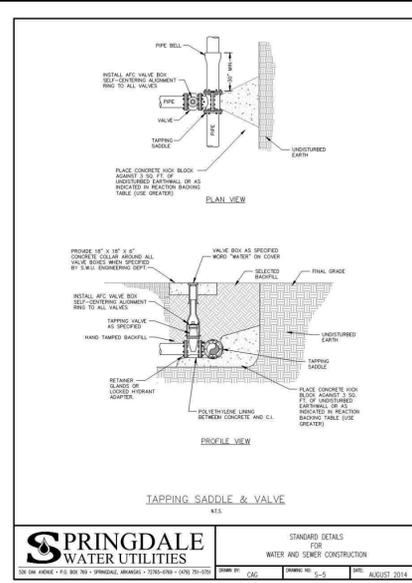
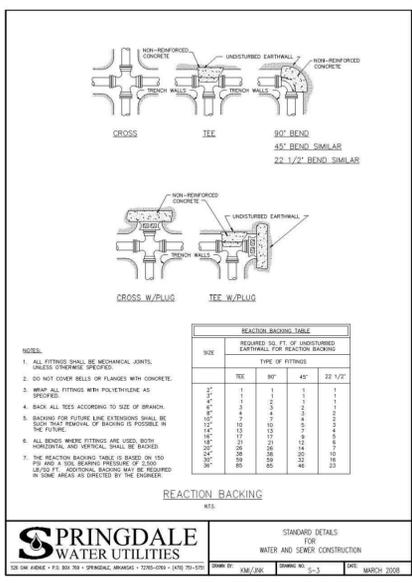
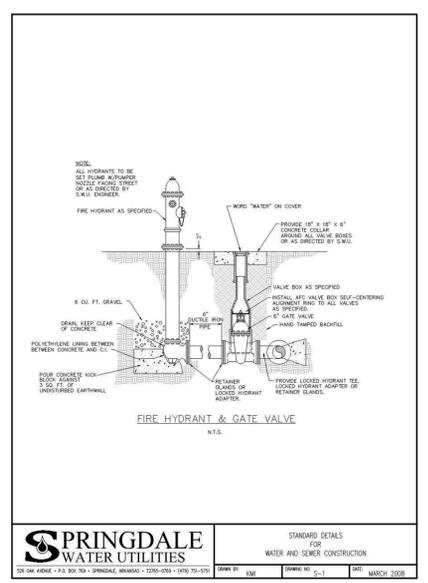


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| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE | 2/27/2020 |
| JOB NUMBER | 19-1045 |
| SHEET NAME | DETAILS |
| File No. | 19-1045.dwg |
| | C11.0 |



CITY PROJECT #L20-11

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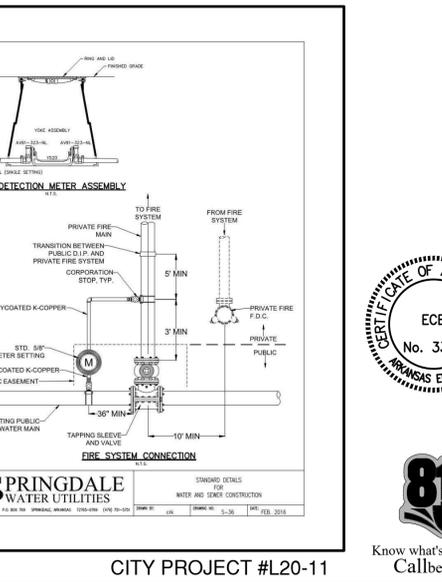
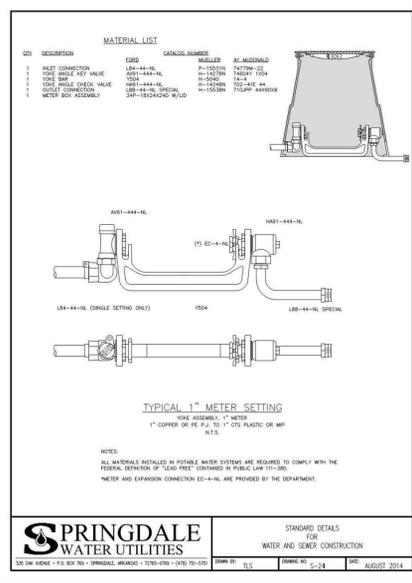
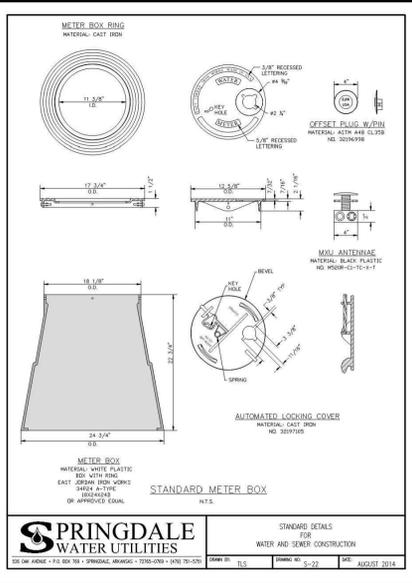
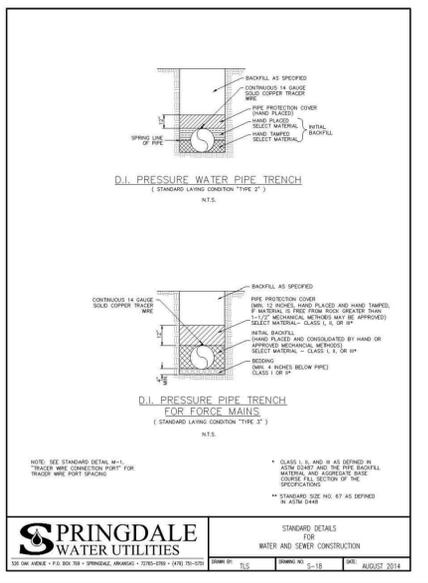
TRENCH WIDTH SCHEDULE

| NOMINAL PIPE DIAMETER | TRENCH WIDTH |
|-----------------------|--------------|
| 3" AND 4" | 2'-4" |
| 6" | 2'-4" |
| 8" | 2'-4" |
| 10" | 2'-10" |
| 12" | 3'-0" |
| 14" | 3'-2" |
| 16" | 3'-4" |
| 18" | 3'-4" |
| 20" | 3'-4" |
| 24" | 4'-0" |
| 27" | 4'-4" |
| 30" | 4'-4" |
| 36" | 5'-0" |
| 42" | 5'-4" |
| 48" | 6'-0" |

TYPICAL PIPE TRENCH
N.T.S.

STANDARD DETAILS
FOR
WATER AND SEWER CONSTRUCTION

DATE: MARCH 2008



STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No. 11411 J. LAMOR E. JONES

5/27/2020

| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
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WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

NOT FOR CONSTRUCTION

8200 SUITS US DR. STE. B
BELLA VISTA, AR 72714
EMAIL: JONES@ECE-ENG.COM

ECE Expedient Civil Engineering, PLLC

DRAWN BY: JEI
CHECKED BY: JEI
DATE: 2/27/2020
JOB NUMBER: 19-1045
SHEET NAME: DETAILS
File No.: 19-1045.dwg
C12.0

811
Know what's below. Call before you dig.

CITY PROJECT #L20-11



SCALE 1" = 100'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED PARKING LOT LIGHT
- PROPOSED LAWN
- TREE PROTECTION FENCE
- PROPOSED 8" WATER MAIN

LANDSCAPING REQUIREMENTS:

- STREET TREES**
- REQUIRED - PUBLIC STREET AND INTERSTATE I-49
I-49 FRONTAGE: 1 TREE AND 7 SHRUBS EVERY 25 LINEAR FEET
OR 1411 LF FRONTAGE AT 25' SPACING = 57 TREES
48TH STREET FRONTAGE: 1 TREE AND 7 SHRUBS EVERY 25
LINEAR FEET OR 139 LF FRONTAGE AT 25' SPACING = 6 TREES
 - PROVIDED I-49 - EXISTING 5 TREES, 52 TREES, AND 250 SHRUBS
PROVIDED 48TH STREET - 6 TREES AND 42 SHRUBS
- PERIMETER LANDSCAPING**
- REQUIRED - 1 TREE EVERY 25 LF OF PROPERTY LINE NOT ADJACENT TO
RIGHT OF WAY OR 3,915 LF PERIMETER AT 25' SPACING = 157 TREES
 - PROVIDED - 101 EXISTING TREES AND 56 TREES
- PARKING LOT LANDSCAPING**
- REQUIRED - 10% OF PARKING AREA
POWER SPORTS BUILDING - 26,102 SF PARKING
TRACTOR BUILDING - 23,980 SF PARKING
PROVIDED - POWER SPORTS BUILDING - 8,274 SF
PROVIDED - TRACTOR BUILDING - 3,550 SF
- GREENSPACE**
- PROVIDED - TOTAL LOT AREA: 909,968 SF
IMPERVIOUS AREA: 309,784 SF
GRAVEL AREA: 224,397 SF
PERVIOUS AREA: 375,787 SF
GREENSPACE: 41.3%

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE AS SPECIFIED IN THE PLANT LIST ON THIS SHEET AND MEET THE REQUIREMENTS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN PUBLICATION "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 LATEST EDITION).
- ALL PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS AT THE TIME OF INSTALLATION AND SHALL BE WARRANTED FOR SURVIVAL FOR A PERIOD OF 2 YEARS FROM THE TIME OF INSTALLATION.
- INSTALLATION AND EXECUTION OF THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT LANDSCAPE ORDINANCE FOR THE CITY OF ROGERS.
- INSTALL A 4" LAYER OF ROCK MULCH OVER A WOVEN FABRIC WEED BARRIER IN ALL BEDS.
- INSTALL A 3/16" X 4" STEEL EDGING TO BORDER THE MULCHED BED AREAS WHERE THEY ARE ADJACENT TO TURF AREAS.
- IRRIGATION SYSTEM TO BE DESIGN BUILD.

NOT FOR CONSTRUCTION

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

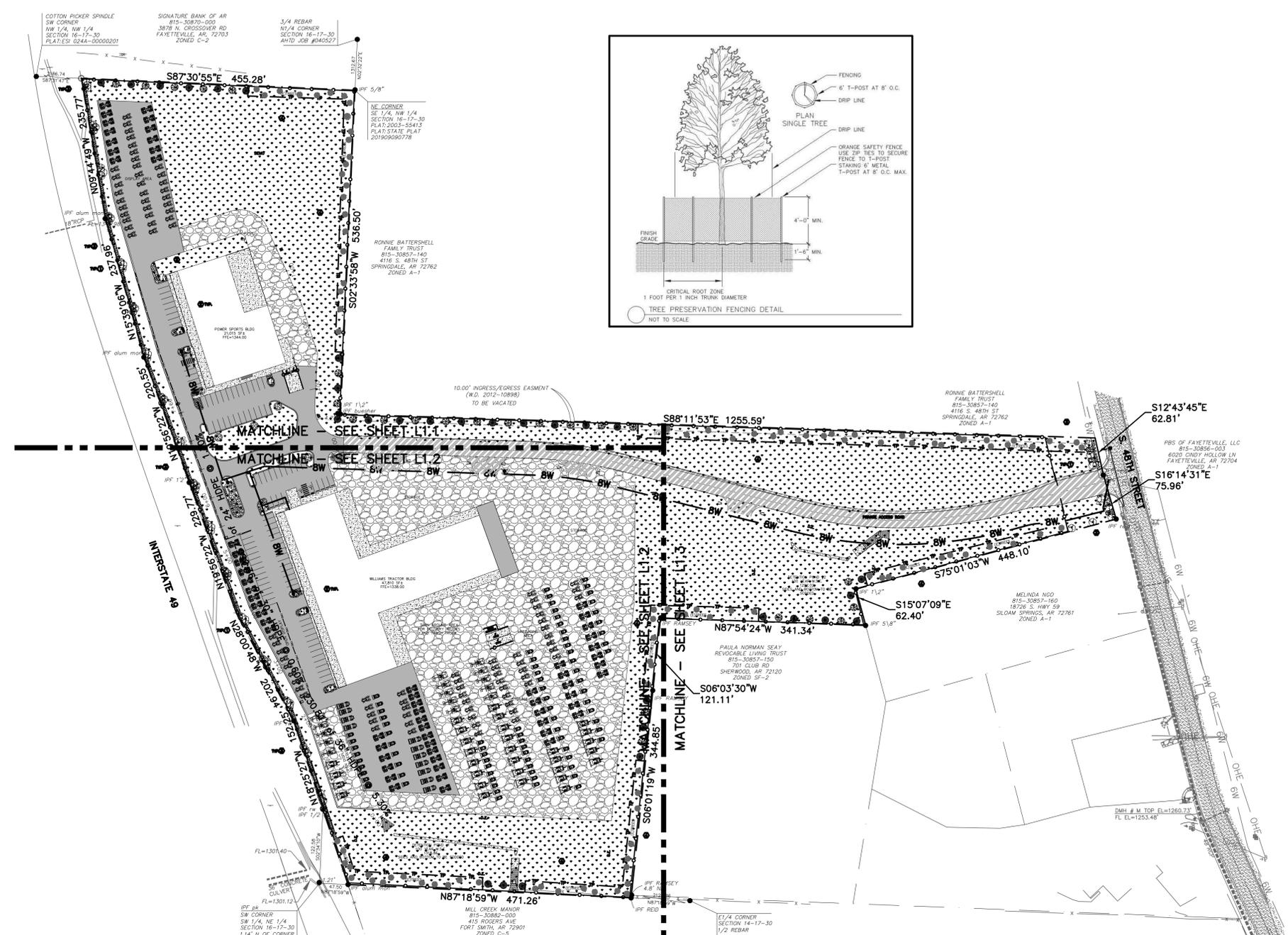
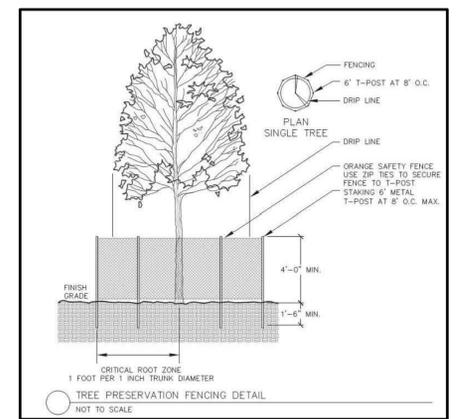
8000 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@eefc.com



| | |
|-------------|------------------------|
| DRAWN BY: | JEI |
| CHECKED BY: | JEI |
| DATE: | 2/27/2020 |
| JOB NUMBER: | 19-1045 |
| SHEET NAME: | OVERALL LANDSCAPE PLAN |
| File No.: | 19-1045.dwg |
| | L1.0 |



CITY PROJECT



STREET TREES

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----------|-----------------------|-------------------|----------|--------------------------|----------|
| DECIDUOUS | RED MAPLE | ACER RUBRUM | 33 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 24 | 2" CALIPER B & B MIN. 6' | 25' MIN. |

SITE LANDSCAPING

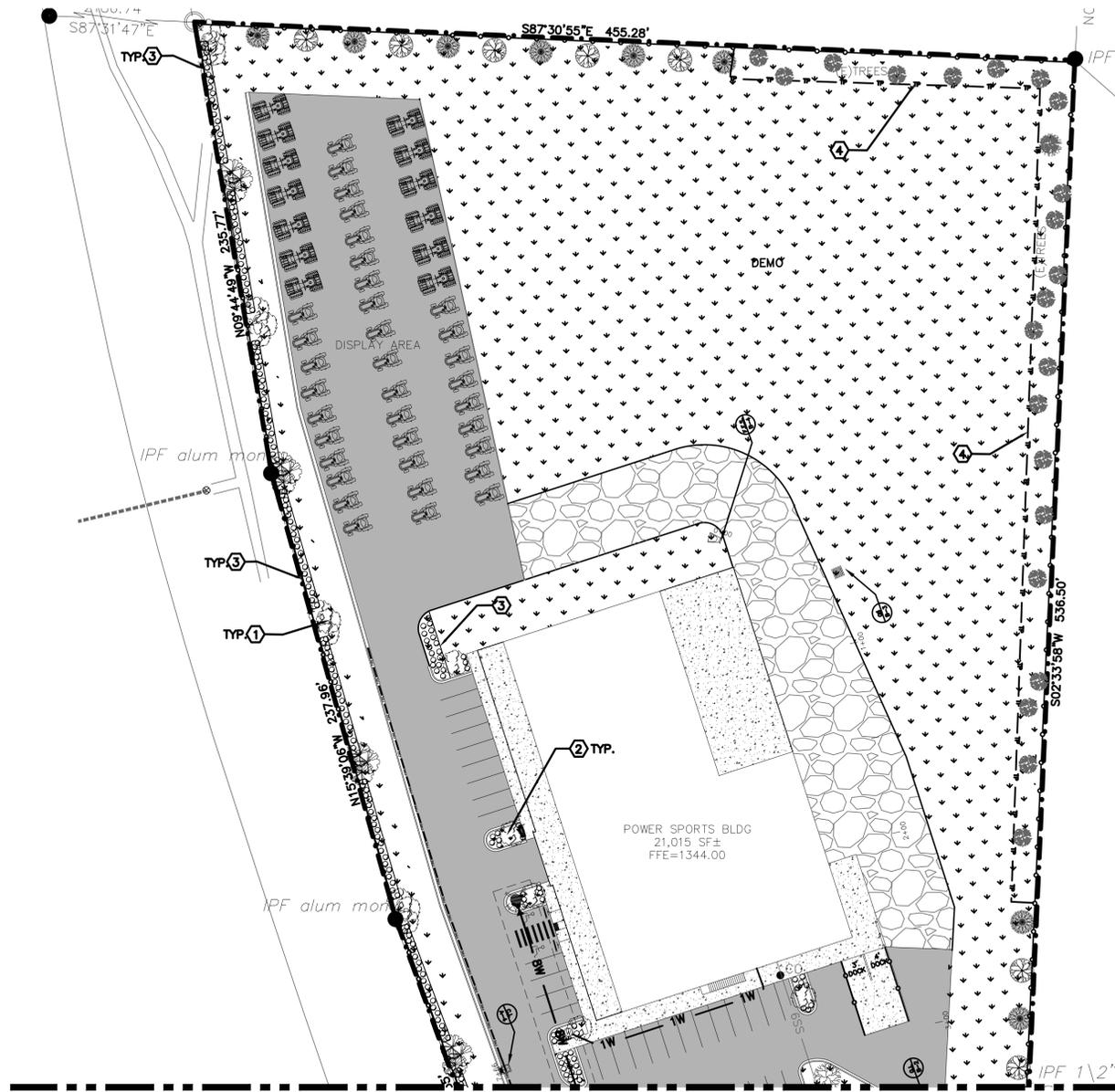
| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----------|-----------------------|-------------------|----------|--------------------------|----------|
| DECIDUOUS | RED MAPLE | CERCIS CANADENSIS | 11 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| EVERGREEN | JAPANESE BLACK PINE | CERCIS CANADENSIS | 30 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | GOLDEN RAIN TREE | CERCIS CANADENSIS | 24 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| EVERGREEN | AMERICAN HOLLEY | CERCIS CANADENSIS | 6 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| | SHRUB | | 506 | 3 GALLON | 5' MIN. |

KEYNOTES:

- PROPOSED STREET TREE (REFER TO TABLE FOR TYPE AND SPACING)
- PROPOSED PARKING LOT TREE (REFER TO TABLE FOR TYPE)
- LANDSCAPE EDGING
- TREE PROTECTION FENCING PER DETAIL ON THIS SHEET

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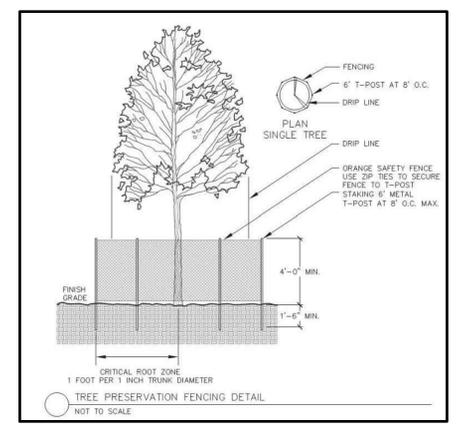
MATCHLINE - SEE SHEET L1.2



SCALE 1" = 50'

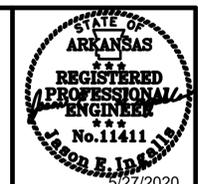
LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED PARKING LOT LIGHT
- PROPOSED LAWN
- TREE PROTECTION FENCE
- PROPOSED 8" WATER MAIN



KEYNOTES:

- ① PROPOSED STREET TREE (REFER TO TABLE FOR TYPE AND SPACING)
- ② PROPOSED PARKING LOT TREE (REFER TO TABLE FOR TYPE)
- ③ LANDSCAPE EDGING
- ④ TREE PROTECTION FENCING PER DETAIL ON THIS SHEET



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

NOT FOR CONSTRUCTION

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@eecs-llc.com



| |
|--------------------------------|
| DRAWN BY: JEI |
| CHECKED BY: JEI |
| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME LANDSCAPE PLAN 1 |
| File No. 19-1045.dwg |
| L1.1 |



Know what's below.
Call before you dig.

CITY PROJECT

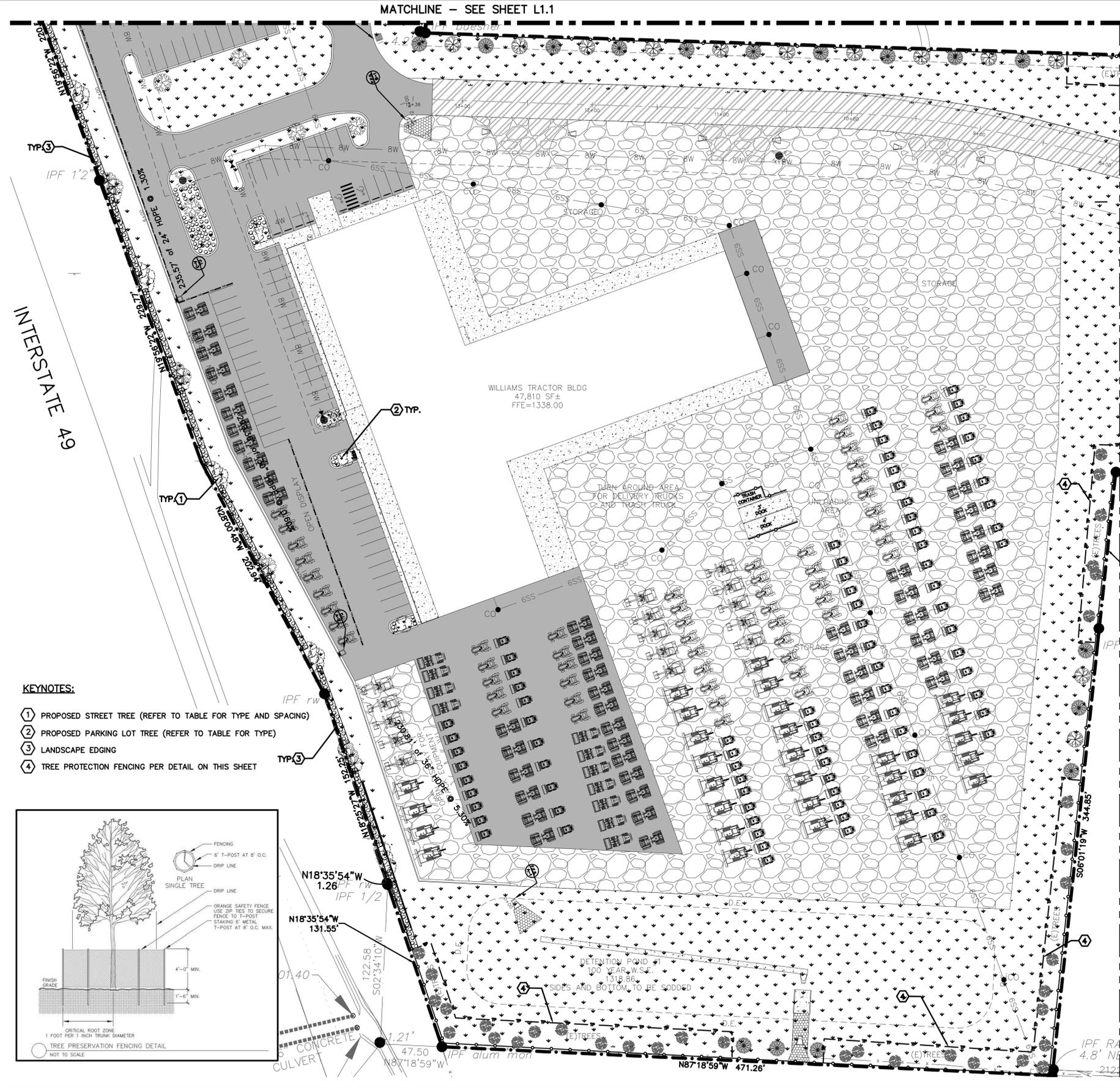
STREET TREES

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----------|-----------------------|-------------------|----------|--------------------------|----------|
| DECIDUOUS | RED MAPLE | ACER RUBRUM | 9 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 12 | 2" CALIPER B & B MIN. 6' | 25' MIN. |

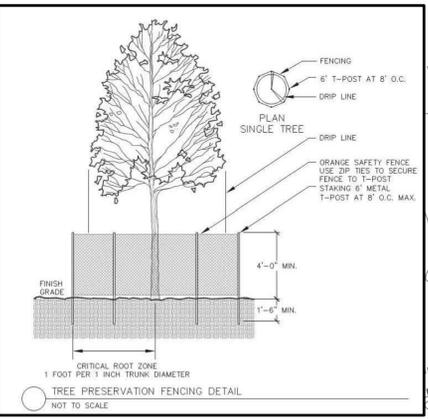
SITE LANDSCAPING

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----------|-----------------------|-------------------|----------|--------------------------|----------|
| DECIDUOUS | RED MAPLE | CERCIS CANADENSIS | 5 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| EVERGREEN | JAPANESE BLACK PINE | CERCIS CANADENSIS | 8 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | GOLDEN RAIN TREE | CERCIS CANADENSIS | 7 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| EVERGREEN | AMERICAN HOLLEY | CERCIS CANADENSIS | 1 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| o | SHRUB | | 217 | 3 GALLON | 5' MIN. |

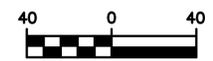
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- KEYNOTES:**
- ① PROPOSED STREET TREE (REFER TO TABLE FOR TYPE AND SPACING)
 - ② PROPOSED PARKING LOT TREE (REFER TO TABLE FOR TYPE)
 - ③ LANDSCAPE EDGING
 - ④ TREE PROTECTION FENCING PER DETAIL ON THIS SHEET



NORTH



SCALE 1" = 40'

LEGEND

- FOUND IRON PIN
- PROPERTY LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING EASEMENT
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING CURB
- EXISTING CENTERLINE OF ROAD
- EXISTING 6" WATER MAIN
- EXISTING GAS MAIN
- EXISTING OVERHEAD POWER
- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED CURB
- PROPOSED STANDARD ASPHALT
- PROPOSED HEAVY ASPHALT
- PROPOSED HANDICAP SIGN
- PROPOSED EASEMENT
- PROPOSED PARKING LOT LIGHT
- PROPOSED LAWN
- TREE PROTECTION FENCE
- PROPOSED 8" WATER MAIN

STREET TREES

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----------|-----------------------|-------------------|----------|--------------------------|---------|
| DECIDUOUS | RED MAPLE | ACER RUBRUM | 15 | 2" CALIPER B & B MIN. 6' | |
| DECIDUOUS | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 12 | 2" CALIPER B & B MIN. 6' | |

SITE LANDSCAPING

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----------|-----------------------|-------------------|----------|--------------------------|----------|
| DECIDUOUS | RED MAPLE | CERCIS CANADENSIS | 4 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| EVERGREEN | JAPANESE BLACK PINE | CERCIS CANADENSIS | 16 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| DECIDUOUS | GOLDEN RAIN TREE | CERCIS CANADENSIS | 12 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| EVERGREEN | AMERICAN HOLLEY | CERCIS CANADENSIS | 5 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| | SHRUB | | 287 | 3 GALLON | 5' MIN. |

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

WILLIAMS TRACTOR & FREEDOM
POWER SPORTS
48TH STREET
SPRINGDALE, AR
WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

8000 SUITS US DR. STE. B
BELLA VISTA, AR 72714
EMAIL: jason@eecs.com



DRAWN BY:
JEI

CHECKED BY:
JEI

DATE
2/27/2020

JOB NUMBER
19-1045

SHEET NAME
LANDSCAPE PLAN 2

File No.
19-1045.dwg

L1.2

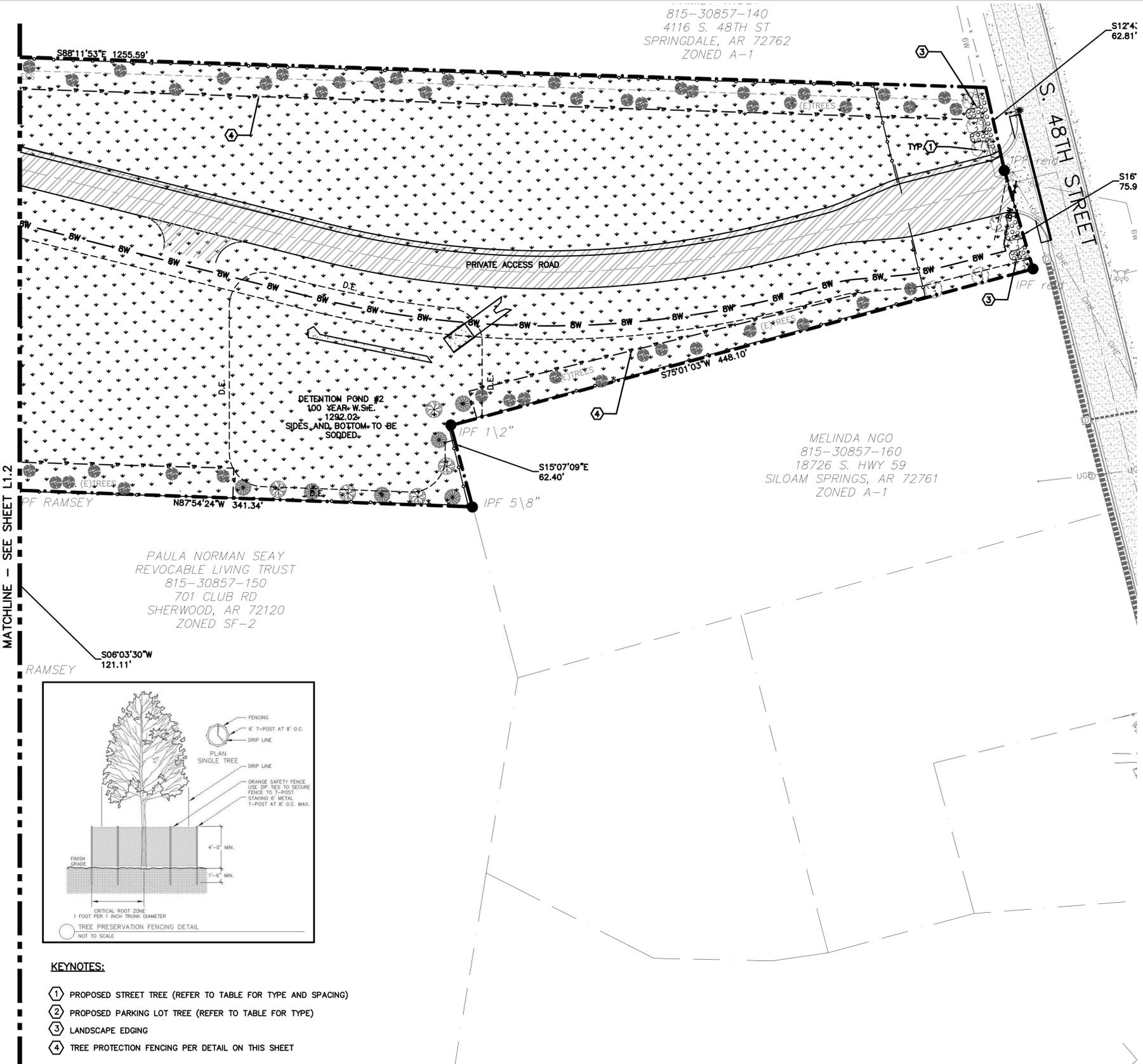


CITY PROJECT



Know what's below.
Call before you dig.

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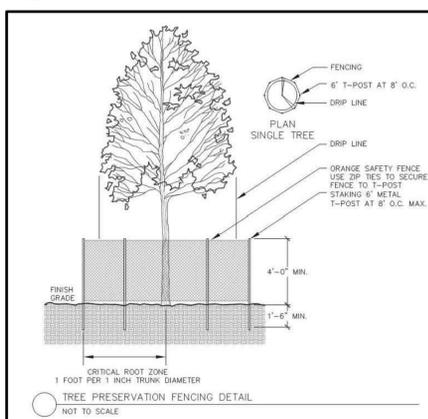
MATCHLINE - SEE SHEET L1.2

PAULA NORMAN SEAY
REVOCABLE LIVING TRUST
815-30857-150
701 CLUB RD
SHERWOOD, AR 72120
ZONED SF-2

815-30857-140
4116 S. 48TH ST
SPRINGDALE, AR 72762
ZONED A-1

MELINDA NGO
815-30857-160
18726 S. HWY 59
SILOAM SPRINGS, AR 72761
ZONED A-1

DETECTION POND #2
100 YEAR W.S.E.
1292.02
SIDES AND BOTTOM TO BE
SOILED.



- KEYNOTES:**
- ① PROPOSED STREET TREE (REFER TO TABLE FOR TYPE AND SPACING)
 - ② PROPOSED PARKING LOT TREE (REFER TO TABLE FOR TYPE)
 - ③ LANDSCAPE EDGING
 - ④ TREE PROTECTION FENCING PER DETAIL ON THIS SHEET



NORTH
SCALE 1" = 40'

LEGEND

| | | |
|-----------------------------|---------|---------------|
| FOUND IRON PIN | ● | IPF 1/2 REBAR |
| PROPERTY LINE | — | |
| EXISTING WOOD FENCE | — | |
| EXISTING CHAIN LINK FENCE | — | |
| EXISTING EASEMENT | --- | |
| EXISTING ASPHALT | ===== | |
| EXISTING CONCRETE | ===== | |
| EXISTING CURB | ===== | |
| EXISTING CENTERLINE OF ROAD | ----- | |
| EXISTING 6" WATER MAIN | 6W 6W | |
| EXISTING GAS MAIN | ----- | |
| EXISTING OVERHEAD POWER | OHE OHE | |
| EXISTING POWER POLE | ⊕ | |
| EXISTING FIRE HYDRANT | ⊕ | |
| EXISTING WATER VALVE | ⊕ | |
| PROPOSED CURB | ===== | |
| PROPOSED STANDARD ASPHALT | ===== | |
| PROPOSED HEAVY ASPHALT | ===== | |
| PROPOSED HANDICAP SIGN | ⊕ | |
| PROPOSED EASEMENT | --- | |
| PROPOSED PARKING LOT LIGHT | ⊕ | |
| PROPOSED LAWN | ===== | |
| TREE PROTECTION FENCE | TP TP | |
| PROPOSED 8" WATER MAIN | 8W 8W | |

STREET TREES

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----|-----------------------|-------------------|----------|--------------------------|----------|
| ⊕ | RED MAPLE | ACER RUBRUM | 6 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| ⊕ | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |

SITE LANDSCAPING

| KEY | COMMON NAME | BOTANICAL NAME | QUANTITY | SIZE (MIN.) | SPACING |
|-----|-----------------------|-------------------|----------|--------------------------|----------|
| ⊕ | RED MAPLE | CERCIS CANADENSIS | 2 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| ⊕ | JAPANESE BLACK PINE | CERCIS CANADENSIS | 6 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| ⊕ | THORNLESS HONEYLOCUST | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| ⊕ | GOLDEN RAIN TREE | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| ⊕ | AMERICAN HOLLEY | CERCIS CANADENSIS | 0 | 2" CALIPER B & B MIN. 6' | 25' MIN. |
| ○ | SHRUB | | 42 | 3 GALLON | 5' MIN. |

NOT FOR CONSTRUCTION



| Rev | Comments | Date |
|-----|-------------------|-----------|
| 1 | PER CITY COMMENTS | 3/19/2020 |
| 2 | PER CITY COMMENTS | 4/23/2020 |
| 3 | PER CITY COMMENTS | 5/27/2020 |

WILLIAMS TRACTOR & FREEDOM POWER SPORTS
48TH STREET
SPRINGDALE, AR

WILLIAMS TRACTOR, INC.
2501 SHILOH DR, FAYETTEVILLE, AR 72702

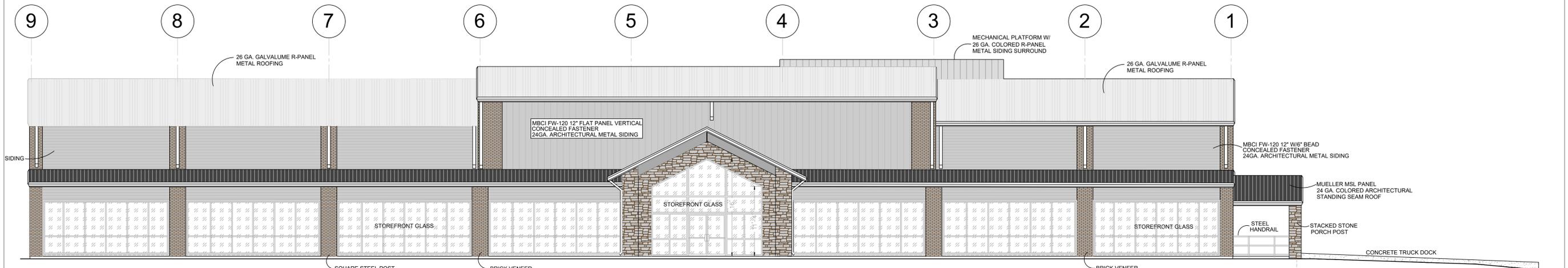
8000 SUITS US DR, STE. B
BELLA VISTA, AR 72714
EMAIL: jason@eecs.com



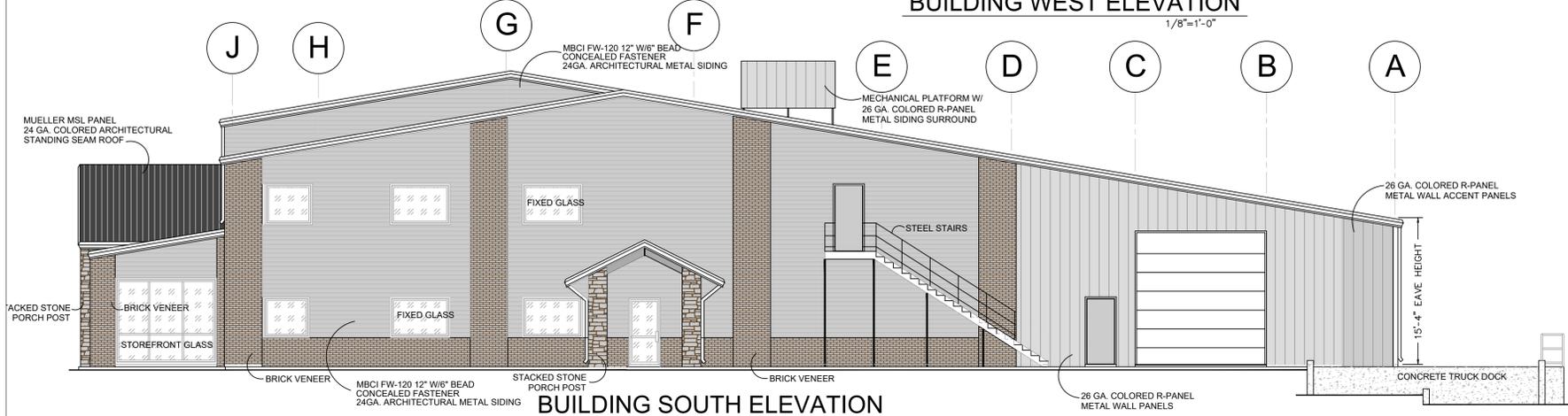
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|--------------------------------|
| DRAWN BY: JEI |
| CHECKED BY: JEI |
| DATE 2/27/2020 |
| JOB NUMBER 19-1045 |
| SHEET NAME LANDSCAPE PLAN 3 |
| File No. 19-1045.dwg |
| L1.3 |



CITY PROJECT #L20-11 Know what's below. Call before you dig.



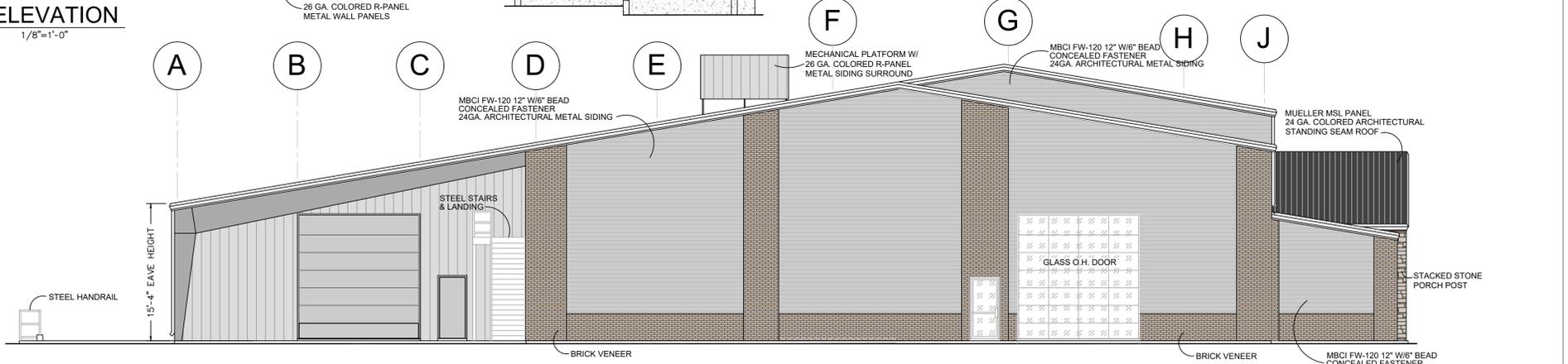
BUILDING WEST ELEVATION
1/8"=1'-0"



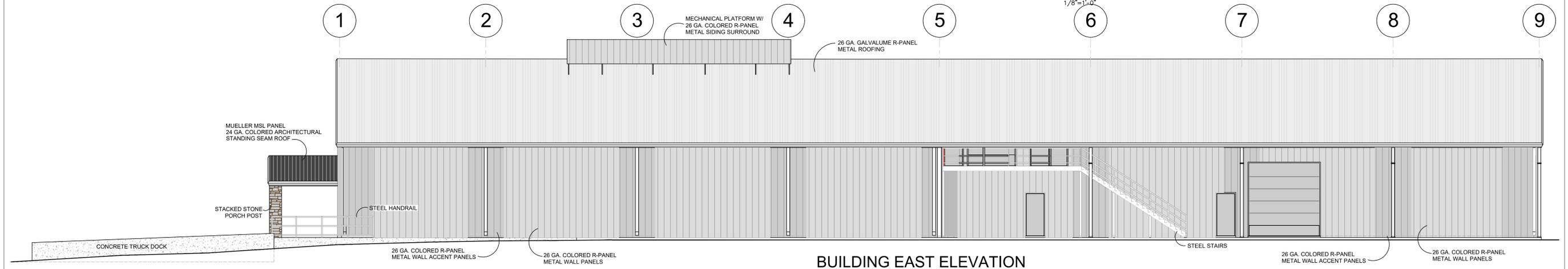
BUILDING SOUTH ELEVATION
1/8"=1'-0"

EXTERIOR FINISH COLOR CHART

- MUELLER 26 GA PBR ROOF PANEL - GALVALUME (SILVER)
- MUELLER 26 GA PBR WALL PANELS - LIGHT GRAY
- MUELLER 26 GA PBR ACCENT WALL PANELS - CHARCOAL
- MUELLER 26 FA PBR WALL PANELS AT MECHANICAL SCREENS - LIGHT GRAY
- 26 GA. TRIM AT METAL BUILDING - TWILIGHT GRAY
- 26 GA. TRIM AT FRONT PORCH - CHARCOAL
- MUELLER 24 GA MLS PANEL ARCHITECTURAL ROOF PANELS - CHARCOAL
- MBCI FW-120 HORIZONTAL SIDING PANEL - TUNDRA
- CMU TO BE PAINTED - GRAY
- STONE VENEER - MIXED GRAY/BROWN
- STOREFRONT GLAZING FRAMES - BLACK
- EXPOSED METAL FRAMING AND POST TO BE PAINTED - CHARCOAL



BUILDING NORTH ELEVATION
1/8"=1'-0"



BUILDING EAST ELEVATION
1/8"=1'-0"

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
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| | | |

New Building For: Leland & Gary Tollett
Freedom Powersports
 South 48th Street
 Springdale, Arkansas 72762

H+W
 Heiple Wiedower
 Architects Planners
 7325 Rockwood Road
 Little Rock, AR 72207
 (t) 501-707-0115
 (f) 505-707-0118

Project No:
HW20-744
 Date:
4-7-2020
 Sheet Title:
EXTERIOR ELEVATIONS

of
 Sheet No:
A-2.1

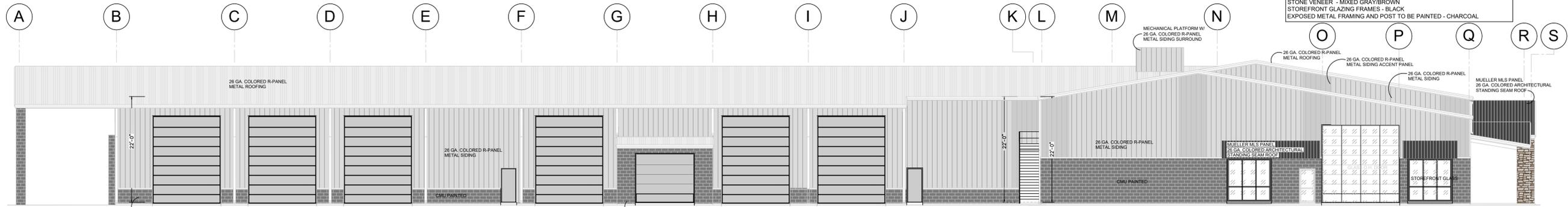


BUILDING WEST ELEVATION

3/32"=1'-0"

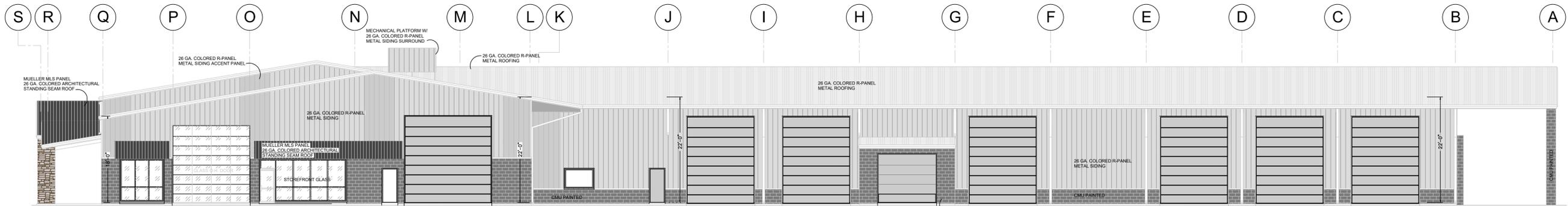
EXTERIOR FINISH COLOR CHART

- MUELLER 26 GA. PBR ROOF PANEL - GALVALUME (SILVER)
- MUELLER 26 GA. PBR WALL PANELS - LIGHT GRAY
- MUELLER 26 GA. PBR ACCENT WALL PANELS - CHARCOAL
- MUELLER 26 GA. PBR WALL PANELS AT MECHANICAL SCREENS - LIGHT GRAY
- 26 GA. TRIM AT METAL BUILDING - TWILIGHT GRAY
- 26 GA. TRIM AT FRONT PORCH - CHARCOAL
- MUELLER 24 GA. MLS PANEL - ARCHITECTURAL ROOF PANELS - CHARCOAL
- MBCI FW-120 HORIZONTAL SIDING PANEL - TUNDRA
- CMU TO BE PAINTED - GRAY
- STONE VENEER - MIXED GRAY/BROWN
- STOREFRONT GLAZING FRAMES - BLACK
- EXPOSED METAL FRAMING AND POST TO BE PAINTED - CHARCOAL



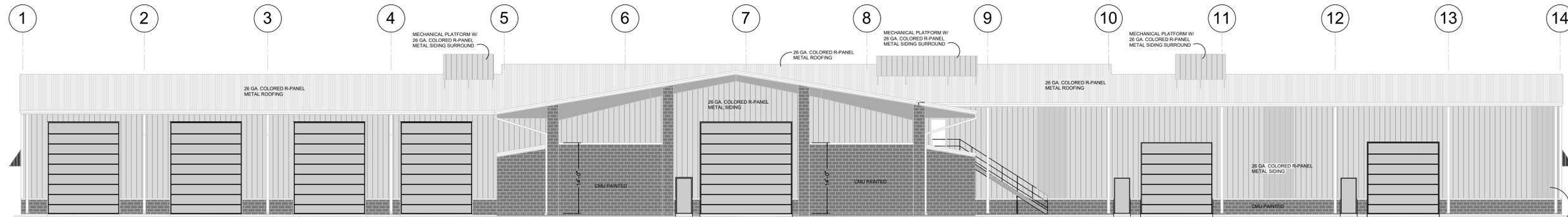
BUILDING NORTH ELEVATION

3/32"=1'-0"



BUILDING SOUTH ELEVATION

3/32"=1'-0"



BUILDING EAST ELEVATION

3/32"=1'-0"

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
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| | | |
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| | | |

New Building For: Leland & Gary Tollett
W.T. Tractor and Equipment
 South 48th Street
 Springdale, Arkansas 72762

H+W
 Heiple Wiedower
 Architects Planners
 7325 Rockwood Road
 Little Rock, AR 72207
 (t) 501-707-0115
 (f) 505-707-0118

Project No:
HW19-743
 Date:
4-7-2020
 Sheet Title:
EXTERIOR ELEVATIONS

of _____
 Sheet No:
A-2.1

CITY OF SPRINGDALE, ARKANSAS

FILE NUMBER: B20-18
DATE: _____

APPLICATION FOR VARIANCE
COMMERCIAL DESIGN STANDARDS
BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: S. 48th Street, Tax Parcel #'s 815-30871-000, 30870-000, & 30857-151

Applicant Name: WT-LF, LLC

Address: 2501 Shiloh Dr

City: Fayetteville State: AR Zip: 72702

Phone: _____ Fax: _____ Email: gtollett@williamstractor.com

Property Owner Owner's Representative Contract Purchaser

Represented by: Expedient Civil Engineering, PLLC

Address: 9200 Suits Us Dr, Ste. B

City: Bella Vista State: AR Zip: 72714

Phone: (509) 759-5300 Fax: _____ Email: jason@ece-pllc.com

Legal Description: (Check if attached)

Attached

The Planning Commission may approve variances to depart from the literal requirements of the Commercial Design Standards where strict enforcement of said requirements would cause undue hardship due to circumstances unique to the individual property under consideration, and the granting of such variance is demonstrated to be within the spirit and intent of the provisions of the design standards.

Check item(s) for which variance is requested:

- ENTRANCES** – one customer entrance on all sides of principal building directly facing abutting public right of-way
- PARKING LOT ORIENTATION** – no more than 60% of off-street parking area located between the front façade within the front yard of the principal building
- STRUCTURE BACK AND SIDES**
 - Minimum setback according to zoning district requirements
 - Earthen berm installed with trees and landscaping for façade facing adjacent residential uses or area on Comprehensive Land Use Plan
- PEDESTRIAN FLOW**
 - 5' sidewalk along all sides of lot abutting public right-of-way
 - 5' continuous internal pedestrian walkways from public sidewalk to principal customer entrance of all principal building on site
 - 5' sidewalk along the full length of building on façade featuring customer entrance an façade abutting public parking areas 6' from façade of building
 - Weather protection features within 30' of all customer entrances, constructed parallel to building façade
 - Internal walkway distinguished from driving surface through use of durable, low maintenance surface materials to enhance safety and comfort
- CENTRAL FEATURES AND COMMUNITY SPACES**
 - Provision of at least 2 central features
 - Direct access to public sidewalk network
- MULTIPLE BUILDINGS IN COMMERCIAL CENTERS**
 - Use of similar building materials
 - Use of similar architectural styles or theme
- OUTDOOR STORAGE, TRASH COLLECTION AND LOADING AREAS**
 - Not visible from public right-of-way, located within 20' of any public street, sidewalk or internal pedestrian way
 - Incorporated into the overall design of the building
 - Screening material similar to principal materials of the building and landscape
 - Landscaped so that visual and acoustic impacts fully contained and out of view of adjacent property and public streets
 - Landscaped so not attention is attached to the function by the use of screening material an no attention is attached to the function by the use

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses
 - Minimum 3' depth
 - Minimum of 20 contiguous feet within each 100' of façade length
 - Extends 20% of the façade

- DETAIL FEATURES**
 - Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
 - At least one element repeating horizontally
 - Elements repeat at intervals of more than 30' horizontally or vertically
 - Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ROOFS** – change in height every 100 linear feet in building length

- MATERIALS AND COLORS**
 - Predominate exterior materials high quality materials
 - Façade color – low reflectance, subtle, neutral or earth tone

- ENTRYWAYS** – 3 defined, highly visible customer entrances

- LANDSCAPING**
 - Entryway landscaping
 - Parking lot landscaping
 - Perimeter parking area landscaping
 - Building foundation landscaping

- SCREENING**
 - Trash containers, trash compactor, and recycling bins screened from public view 4 sides
 - Exterior ground-mounted or building-mounted equipment
 - Rooftop equipment
 - Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
 - Required screening fence or wall maximum height 8', high quality materials
 - Required screening fence or wall maximum continuous length of 50'

- LIGHTING**
 - Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
 - Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
 - Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
 - Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
 - Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
 - Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy
 - Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

FOR EACH ITEM CHECKED

Variance requested: (attach visual representation of request)
See attached letter.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)
See attached letter.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)
See attached letter.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)
See attached letter.

The **Applicant** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

The **Applicant** understands that he/she must be present at the meeting to present the variance request and to answer questions. If the **Applicant** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S)



DATE: _____



May 27, 2020

Board of Adjustments Chairperson
City of Springdale
201 Spring Street
Springdale, AR 72764

**RE: WILLIAMS TRACTOR & FREEDOM POWER SPORTS
LARGE SCALE DEVELOPMENT
48TH STREET, SPRINGDALE, AR
ECE PROJECT NO. 19-1045**

Mr. Chairperson:

Williams Tractor, Inc. is proposing to construct a new tractor sales dealership building and power sports dealership building on Washington County tax parcel numbers 815-30871-000, 815-30870-000, & 815-30857-151 located on the west side of 48th Street and fronting I-49 in Springdale, Arkansas. Due to the uniqueness of the site and type of business, we are requesting several variances from the City's development ordinances and commercial design standards. They are listed as follows:

Gravel Surfacing:

1. Ordinance allows up to 25% of outside storage areas to be gravel. However, due to the uniqueness of the tractor and powersports businesses and a good share of equipment that contain tracks, we are requesting a variance to allow approximately 5.15 acres of gravel storage areas. Also, some of the equipment is heavy and extensive damage could occur from all the turning movements if a larger amount of pavement is required.

Landscaping:

1. Continuous internal pedestrian walkways, 5' in width, are required to be connected to the public sidewalk along 48th Street. Internal sidewalks, 5' in width, have been provided around each building with access to adjacent parking areas. A 4' asphalt bicycle path has been provided from 48th Street to the parking lots. The equivalent amount of trees and shrubs required for foundation landscaping has been provided in tree and greenspace islands throughout the parking lot in lieu of foundation landscaping. Trees along I-49 have been grouped in 3's at a 75' interval in lieu of 1 tree every 25'. This provides the total number of trees required at a different spacing to provide visibility of the business from I-49 when the trees reach full maturity.

Board of Adjustments Chairperson

May 27, 2020

Page 2

Building

1. Ridgelines shall be varied with a change in length every 100'. We are requesting a variance to 124' for the center ridgeline for the tractor building in order to maintain an architectural balance on the front. Predominant materials of either brick, stone, masonry units, etc. shall be used. We have provided stone, a lot of windows, and architectural metal awnings for both buildings. We have placed a block wainscot around the entire tractor building, 9' on the sides and 3' on the back, with R panels with alternating colors above the wainscot. We are also requesting the use of R panels, with alternating colors, as shown on the provided color elevations, on the rear of powersports building.

Thank you for your consideration of the variances and we look forward to discussing them further with you and to your approval.

Best Regards,

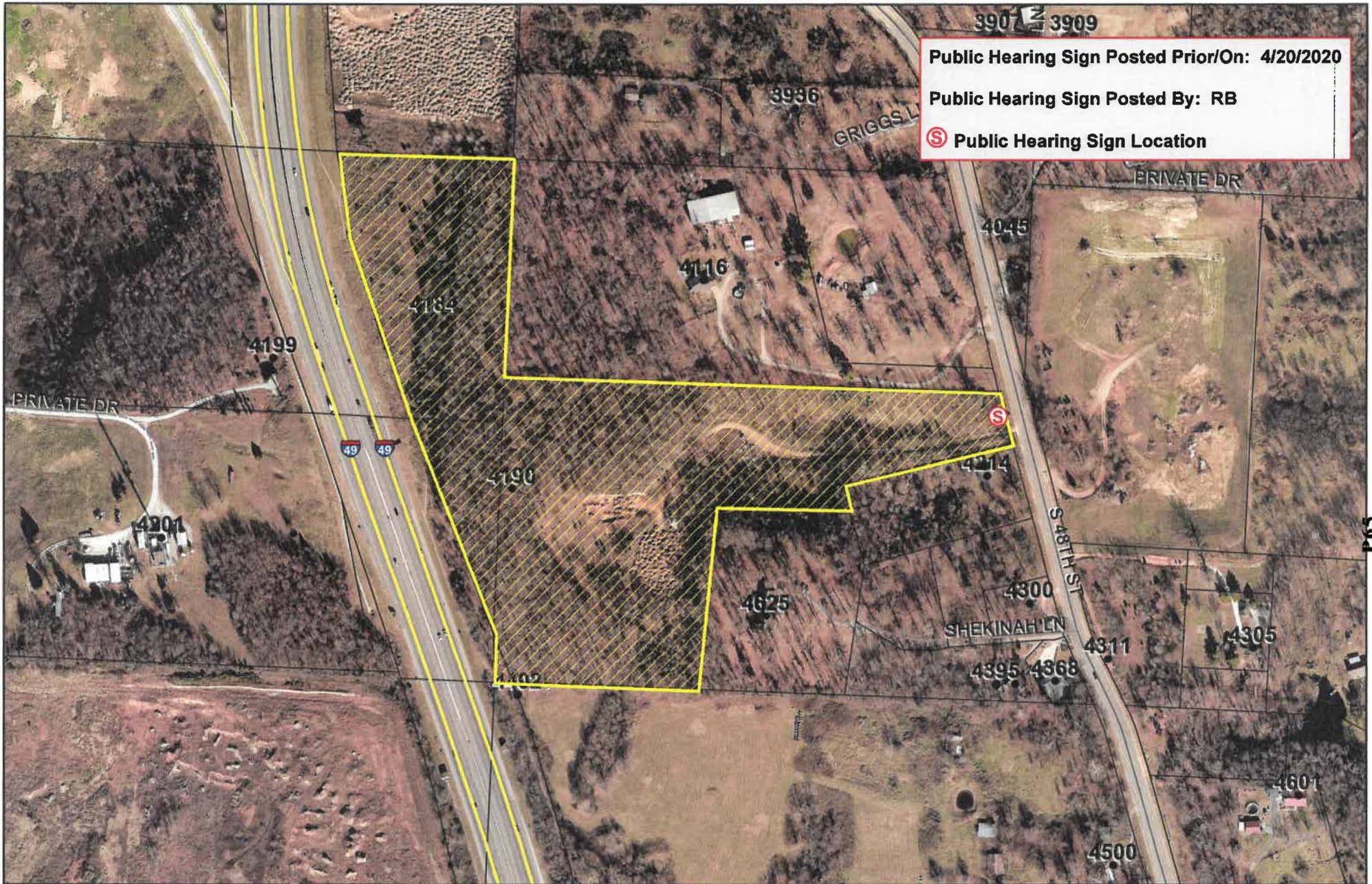
EXPEDIENT CIVIL ENGINEERING, PLLC



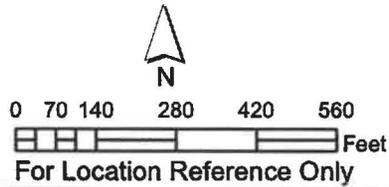
Jason E. Ingalls, P.E.

Owner/Senior Project Manager

Cc: Williams Tractor, Inc.



Public Hearing Sign Posted Prior/On: 4/20/2020
Public Hearing Sign Posted By: RB
Public Hearing Sign Location



FILE NO. B20-18
APPLICANT: WT-LF, LLC
REQUEST: Variance for deviation of landscaping per Ch 56 and deviation of commercial design standards located south of DTP & East side of I-49

PLANNING COMMISSION MEETING
May 5, 2020

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B20-20

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Jordan Conroy, West McJunkin

Applicant's Mailing Address:

128 West End Ave
 Street Address or P.O. Box
Springdale, AR 72764
 City, State & Zip Code

Telephone Number

Property Owner's Name (If different from Applicant): West McJunkin

Property Owner's Mailing Address: (If different from Applicant):

1904 Currier Place
 Street Address or P.O. Box
Springdale AR 72762
 City, State & Zip Code

479 387-5414 - McJunkin's #
 Telephone Number

Address of Variance Request: 1904 Currier Place, Springdale AR 72762

Zoning District: _____

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: 30 Side: 8 Back: 20
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 30 Side: 8 Back: 10
(if granted what the setback would be.)

Variance: Front: 0 Side: 0 Back: 10
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK: 20' H Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

20 x 20 x 24' Storage Building w/ sub floor.

① Reduce back setback to 10'

② Allow for 20' H clearance

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**NOTICE OF PUBLIC HEARING BEFORE THE
SPRINGDALE PLANNING COMMISSION
ON A BOARD OF ADJUSTMENT APPLICATION**

To All Owners of land lying adjacent to the property at:

Location: 1904 Carre P1 Springdale, AR 72762

Owned by: Charles Kent McKin

NOTICE IS HEREBY GIVEN THAT an application has been filed to the Board of Adjustment (Variance) for above property.

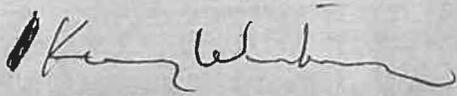
If approved, the variance will occur only upon the property described above. It will not change anything pertaining to your property.

The purpose of this request is to:

Reduce rear offset on property to 10
to allow for 20 x 20 x 24 storage building.
Reduce height restriction to 20 to allow for
storage building.

A public hearing on said Board of Adjustment request will be held by the Springdale Planning Commission in the Council chambers at the City Administration building, 201 Spring Street, on _____ at _____ p.m.

All parties interested in this matter may appear and be heard at said time and place or may notify the Planning Commission of their views on this matter by letter. All persons interested in this request are invited to call or visit the Planning Office, Room 214, city Administration Building, 201 Spring Street, 750-8550, and to review the application and discuss the same with the Planning Staff.

 owner of 1906 Carre P1 Springdale, AR 72762

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The property is pie slumped causing the corner
of the proposed building to encroach on the 20'
rear set back.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

All adjacent properties have storage buildings.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

The property is pie slumped and the 20'
set back encroaches the property disproportionately
on the left side.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Charles Kent McKin
Applicant Signature*

Charles Kent McKin
Property Owner Signature*
(If different from Applicant)

Applicant Signature*

Property Owner Signature*
(If different from Applicant)

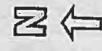
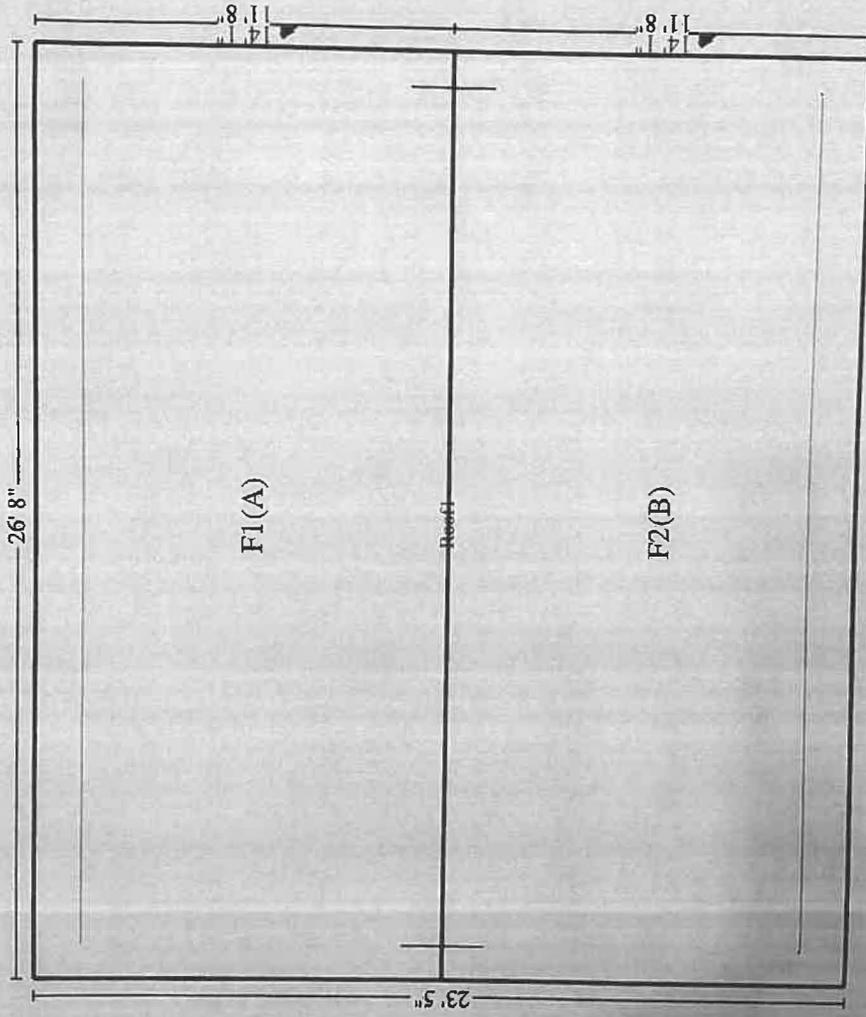
*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

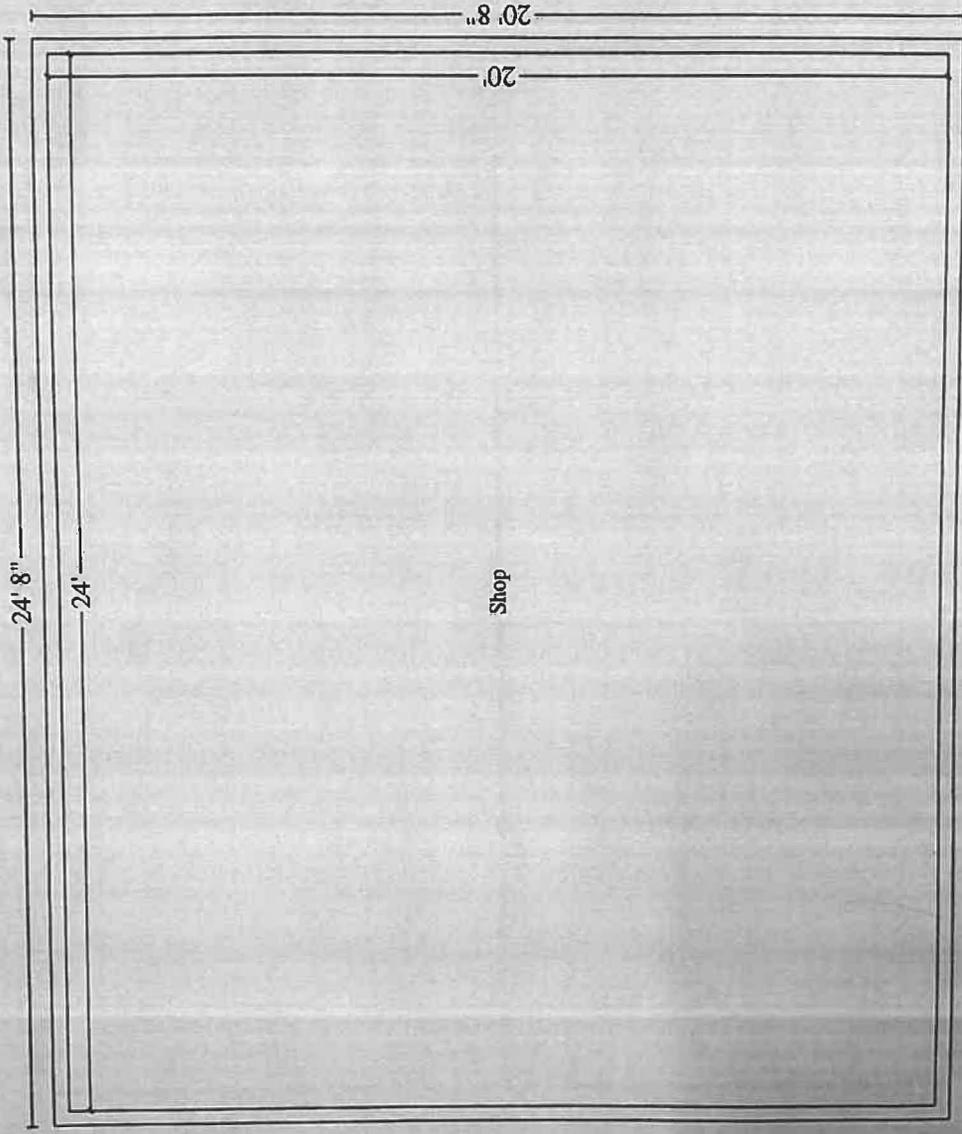
State of Arkansas)
County of Washington) ss.

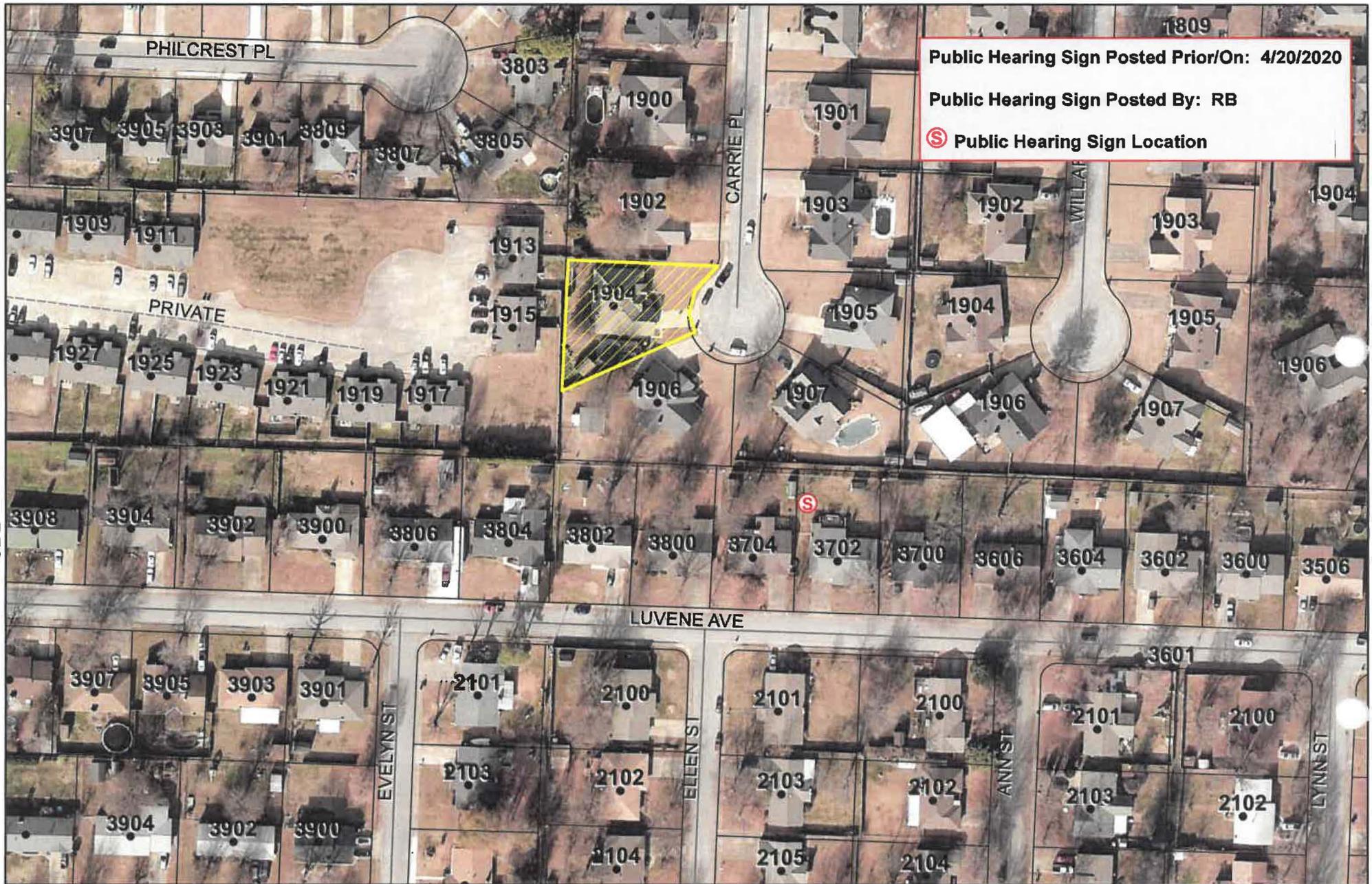
SUBSCRIBED AND SWORN TO before me, a Notary Public, this 13th day of March, 2020.

Alescha S. Massey









Public Hearing Sign Posted Prior/On: 4/20/2020
Public Hearing Sign Posted By: RB
Public Hearing Sign Location

P73

FILE NO. B20-20
APPLICANT: Kent McJunkin
REQUEST: Variance for deviation of rear setback
from 20' to 10' and deviation of maximum
height of accessory structure from 16' to 20'

PLANNING COMMISSION MEETING
May 5, 2020

0 25 50 100 150 200
Feet
For Location Reference Only

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**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: June 2, 2020
Re: R20-16 Rezone

A request by Armando Carrillo for Planning Commission approval of a zone change from Thoroughfare Commercial District (C-5) to General Industrial District (I-2) for a tract of land containing 1.27 acres.

LOT LOCATION AND SIZE

The 1.27 acre tract is located at 2300 Turner Street, west side of Turner, south of Robinson Avenue.

A vicinity map is attached.

EXISTING ZONING

The existing zoning of this tract is a C-5 thoroughfare commercial district. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations, and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping center since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38
Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35
Temporary Uses: - 32

DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.

- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
 - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
 - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
 - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
 - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.
- ii.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

SETBACKS:

| | | |
|--|-----|-------------|
| Front setback | 30' | |
| Front setback if parking is allowed between R-O-W and the building | 50' | |
| Side setback | 0 | (subject to |
| applicable fire and building codes) | | |
| Side setback when contiguous to a residential district | 20' | |
| Rear setback | 20' | |

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

REQUESTED ZONING

The rezoning application requests an I-2 General Industrial district. The District is designed to accommodate a industrial uses which involve potentially objectionable uses and hazards, and which, therefore, cannot be reasonably expected to conform to a high level of performance standards, but which are essential to the economic viability of the city.

Uses permitted: - 1, 21, 24, 25, 26, 27, 32, 33, 35

Conditional Uses Permitted on Appeal: - 2, 3

HEIGHT REGULATIONS

There shall be no maximum height limits in I-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

| | |
|--|-----|
| Front setback | 30' |
| Front setback if parking is allowed between R-O-W and the building | 50' |
| Side setback (subject to applicable fire and building codes) | 0 |
| Rear setback | 25' |
| Setbacks adjacent to residential uses | 50' |

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a commercial structure. The area to the north has commercial uses in I-2 zoning. The area to the east contains single family dwellings in SF-2 zoning. The area to the south contains commercial uses in C-2 zoning. The area to the west contains a utility use in I-2 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Light Industrial/Warehouse use.

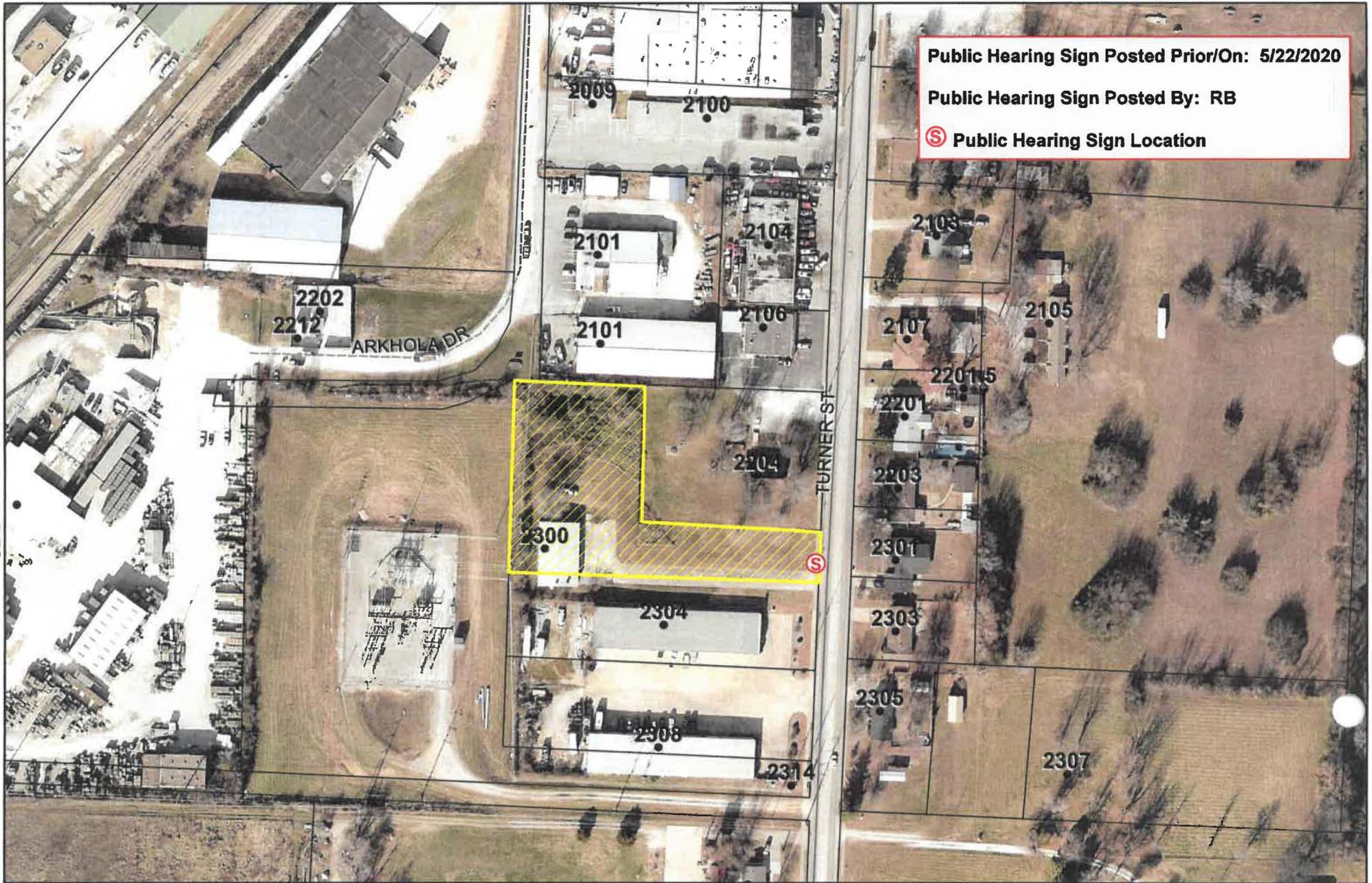
The Master Street Plan indicates Turner Street as a minor collector.

STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Encourage the development of industries that further diversify and stabilize the City's economic base that are compatible to the labor force, raw materials and industrial climate and provide space for new and expanding high technology industries with low environmental impact.

Assure adequate land allocation for industrial growth protected from encroachment by non-industrial use.



Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
Ⓢ Public Hearing Sign Location

P78



0 30 60 120 180 240
Feet
For Location Reference Only

FILE NO. R20-16
APPLICANT: Arkansas Granite & Marble/Armando Carrillo
REQUEST: Rezone parcel from C-5 to I-2

PLANNING COMMISSION MEETING
June 2, 2020

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Armando Carrillo

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

2300 Turner St.
Springdale, AR 72764

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) C-5
TO (proposed zoning) I-2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. **Develop** the property Yes (Yes or No), and if so, the proposed use is General Warehouse area.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: The plan is to rent the place for business.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Armando Carrillo
Address: 2300 Turner St Springdale, AR 72764

PETITIONER/OWNER **SIGNATURE**

MAILING ADDRESS: 2102 Long St Springdale, AR 72764
TELEPHONE: 479-313-3819 / 479-800-0481 DATE: 5/6/2020
Li/Li

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)

Demetrius Cook
(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 6TH day of
May, 2020.



[Signature]
Notary Public

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**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: June 2, 2020
Re: R20-17 Rezone

A request by C. L. George and Sons Limited Partnership for Planning Commission approval of a zone change from Agricultural District (A-1) to Thoroughfare Commercial District (C-5) for a tract of land containing 20.83 acres.

LOT LOCATION AND SIZE

The 20.83 acre tract is located at the southwest corner of the intersection of Sunset Avenue and Gene George Boulevard.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

| | LOT MINIMUMS | | SETBACKS | | | | |
|------------|--------------|--------|----------|------|----------|----------|----|
| | Widths | Area | Front | Back | Side | | |
| | | | | | Corner | | |
| | | | | | Interior | Exterior | |
| One Family | 200 | 2 acre | 35 | 35 | 20/20 | 20 | 35 |

REQUESTED ZONING

The requested zoning of this tract is a C-5 thoroughfare commercial district. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations, and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping center since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38

Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35

Temporary Uses: - 32

DEVELOPMENT CRITERIA

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.

- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
 - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
 - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
 - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
 - e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

ii.

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

SETBACKS:

| | | |
|--|-----|---|
| Front setback | 30' | |
| Front setback if parking is allowed between R-O-W and the building | 50' | |
| Side setback | 0 | (subject to applicable fire and building codes) |
| Side setback when contiguous to a residential district | 20' | |
| Rear setback | 20' | |

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north contains commercial uses in C-2, C-5 and C-6 zoning. The area to the east contains commercial uses in C-2 and C-5 uses. The area to the south is undeveloped in A-1 zoning. The area to the west is undeveloped in A-1 zoning. There is a tract in the center that contains an institutional use in A-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Regional Commercial use.

The Master Street Plan indicates Sunset Avenue as a principal arterial and Gene George Boulevard as a major collector.

STAFF COMMENTS AND RECOMMENDATIONS

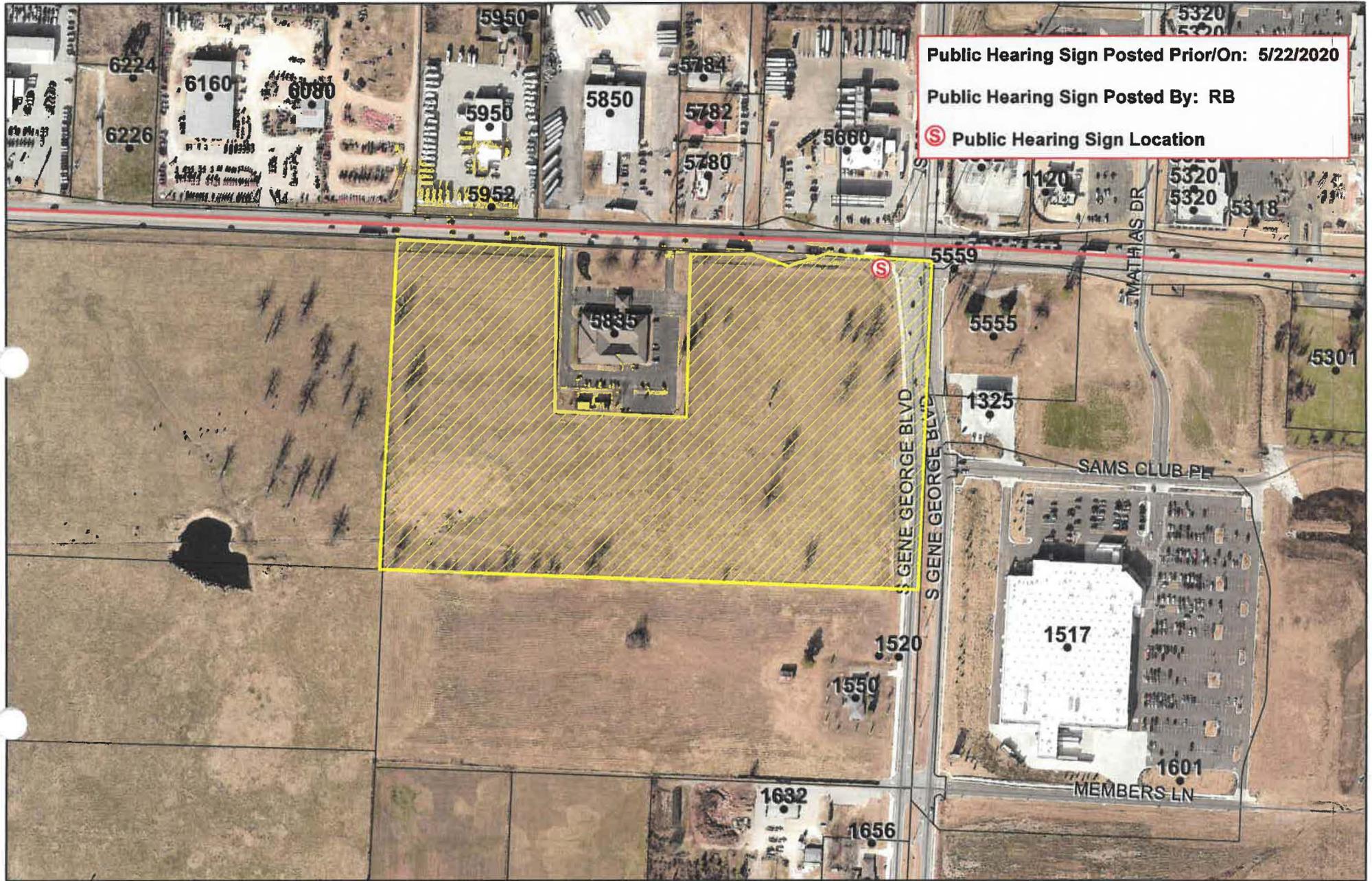
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Encourage the development of regional commercial areas that accommodate a variety of wholesale, retail, service and office uses where the highest traffic volumes and greatest utility demands can be served and more extensive outdoor display of materials will be expected and permitted that has frontage and or access to I-49



Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
S Public Hearing Sign Location

P 86



0 70 140 280 420 560
Feet
For Location Reference Only

FILE NO. R20-17
APPLICANT: C.L. George & Sons
REQUEST: Rezone parcel from A-1 to C-5

PLANNING COMMISSION MEETING
June 2, 2020

File No. _____

R20-17

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by CL George & Sons, Limited Partnership

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

SEE ATTACHED

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

FROM (current zoning) A-1 Agricultural

TO (proposed zoning) C-5 Thoroughfare Commercial

The **Petitioner's** immediate intentions are to:

1. **Sell** the property No. (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title No. (Yes or No).
2. **Develop** the property Yes. (Yes or No), and if so, the proposed use is Commercial development.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: The proposed zoning will be compatible with the adjacent commercial zoning districts. Thus the effect of rezoning is none.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: McClelland Consulting Engineers, Inc.

Address: 1810 N. College Ave., Fayetteville, AR 72703

PETITIONER/OWNER **SIGNATURE**

MAILING ADDRESS: PO Drawer G, Springdale, AR 72765-2030

TELEPHONE: 479-927-7287

DATE: 4-30-2020

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE
(Property Owner)

Lang C. George, General Partner
(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 30th day of April, 2020.

Jessica MacRette
Notary Public



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**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: June 2, 2020
Re: R20-18 Rezone

A request by Eden Tanguma and Lizbeth Tanguma for Planning Commission approval of a zone change from Agricultural District (A-1) to Low/Medium Density Single Family Residential District (SF-2) for a tract of land containing 1.72 acres.

LOT LOCATION AND SIZE

The 1.72 acre tract is located at 3545 Julio Road, south side of Julio Road east of Butterfield Coach Road.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

| | LOT MINIMUMS | | SETBACKS | | | | |
|------------|--------------|--------|----------|------|----------|----------|----|
| | Widths | Area | Front | Back | Side | | |
| | | | | | Corner | | |
| | | | | | Interior | Exterior | |
| One Family | 200 | 2 acre | 35 | 35 | 20/20 | 20 | 35 |

REQUESTED ZONING

The rezoning application requests a SF-2 Low/Medium Density Single Family Residential District. The district is designed to permit and encourage the development of single-family detached dwellings on smaller lots to encourage flexibility in housing and lot sizes.

Uses permitted: - 1, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 28, 36

Temporary Uses – 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.

- (4) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an SF-2 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. For Use Unit 36, See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

AREA REGULATIONS

- (1) LOT AREA. There shall be a lot area of not less than eight thousand (8,000) square feet. In addition, there shall be a minimum lot width of not less than seventy (70) feet on a public street at the front setback line.
- (2) DENSITY. Four (4) units per acre.
- (3) FRONT SETBACK. There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) SIDE SETBACK. There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) REAR SETBACK. There shall be a rear setback having a depth of not less than twenty (20) feet.

| | LOT MINIMUMS | | SETBACKS | | | | |
|---------------|--------------|-----------|----------|----------|----------|--------|----|
| | Widths | Area | Front | Back | Side | | |
| | | (sq. ft.) | | | Interior | Corner | |
| | | | | Interior | Exterior | | |
| One Family | 70 | 8,000 | 30 | 20 | 8/8 | 8 | 30 |
| Zero-lot line | 70 | 8,000 | 30 | 20 | 16/0 | 16/0 | 30 |

BUILDING AREA

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north is undeveloped in A-1 zoning. The area to the east, south and west contain single family dwellings in A-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Low Density Residential use.

The Master Street Plan indicates Julio as a local street.

STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Protect the positive aspects of neighborhood character throughout the City.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.



Public Hearing Sign Posted Prior/On: 5/22/2020
 Public Hearing Sign Posted By: RB
 (S) Public Hearing Sign Location

P 94



0 50 100 200 300 400
 Feet
 For Location Reference Only

FILE NO. R20-18
APPLICANT: Eden & Lizbeth Tanguma
REQUEST: Rezone parcel from A-1 to SF-2

PLANNING COMMISSION MEETING
 June 2, 2020

The **Petitioner's** immediate intentions are to:

1. **Sell** the property No (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title No (Yes or No).
2. **Develop** the property YES (Yes or No), and if so, the proposed use is Residential.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: Minimal, this area can easily support the additional units proposed.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Brandon Rush / Engineering Services Inc.

Address: 1707 S Old Mission Road Spr. AR 72765

PETITIONER/OWNER **SIGNATURE** Ed Ty

MAILING ADDRESS: 2122 Harry St. Springdale, Ar. 72764

TELEPHONE: 419-957-8836 DATE: 4/20/20

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

SIGNATURE

(Property Owner) EDEN TANGUMA

EdT
(Property Owner)

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 20th day of April, 2020.



[Signature]
Notary Public

+++++

**PLANNING & COMMUNITY
DEVELOPMENT DIVISION**

Memo

To: PLANNING COMMISSION MEMBERS
From: Patsy Christie, Planning Director
Date: June 2, 2020
Re: R20-20 Rezone

A request by Harold and Mattie Griffin Family Trust u/t/d/ March 11, 2015 for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing 1.3 acres.

LOT LOCATION AND SIZE

The 1.3 acre tract is located at 4022 S. 56th Street, west side of 56th Street, south of Parkway Circle.

A vicinity map is attached.

EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

SITE PLAN REVIEW

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

| | LOT MINIMUMS | | SETBACKS | | | | |
|------------|--------------|--------|----------|------|----------|----------|----|
| | Widths | Area | Front | Back | Side | | |
| | | | | | Corner | | |
| | | | | | Interior | Exterior | |
| One Family | 200 | 2 acre | 35 | 35 | 20/20 | 20 | 35 |

REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35
 Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

AREA REGULATIONS

SETBACKS:

| | |
|--|-----|
| Front setback | 30' |
| Front setback if parking is allowed between R-O-W 50' and the building | |
| Side setback (subject to applicable fire and building codes) | 0 |
| Side setback when contiguous to a residential district | 20' |
| Rear setback | 20' |

GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

OFF-STREET PARKING

See Article 7 of this chapter.

SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a mixture of commercial structures and single family dwellings. The area to the north is undeveloped in C-2 and MF-24 zoning. The area to the east is undeveloped in C-5 zoning. The area to the south contains structures in C-5 and an undeveloped area in A-1 zoning. The area to the west is undeveloped in SF-1 zoning.

LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates commercial uses.

The Master Street Plan indicates S. 56th Street as a major collector.

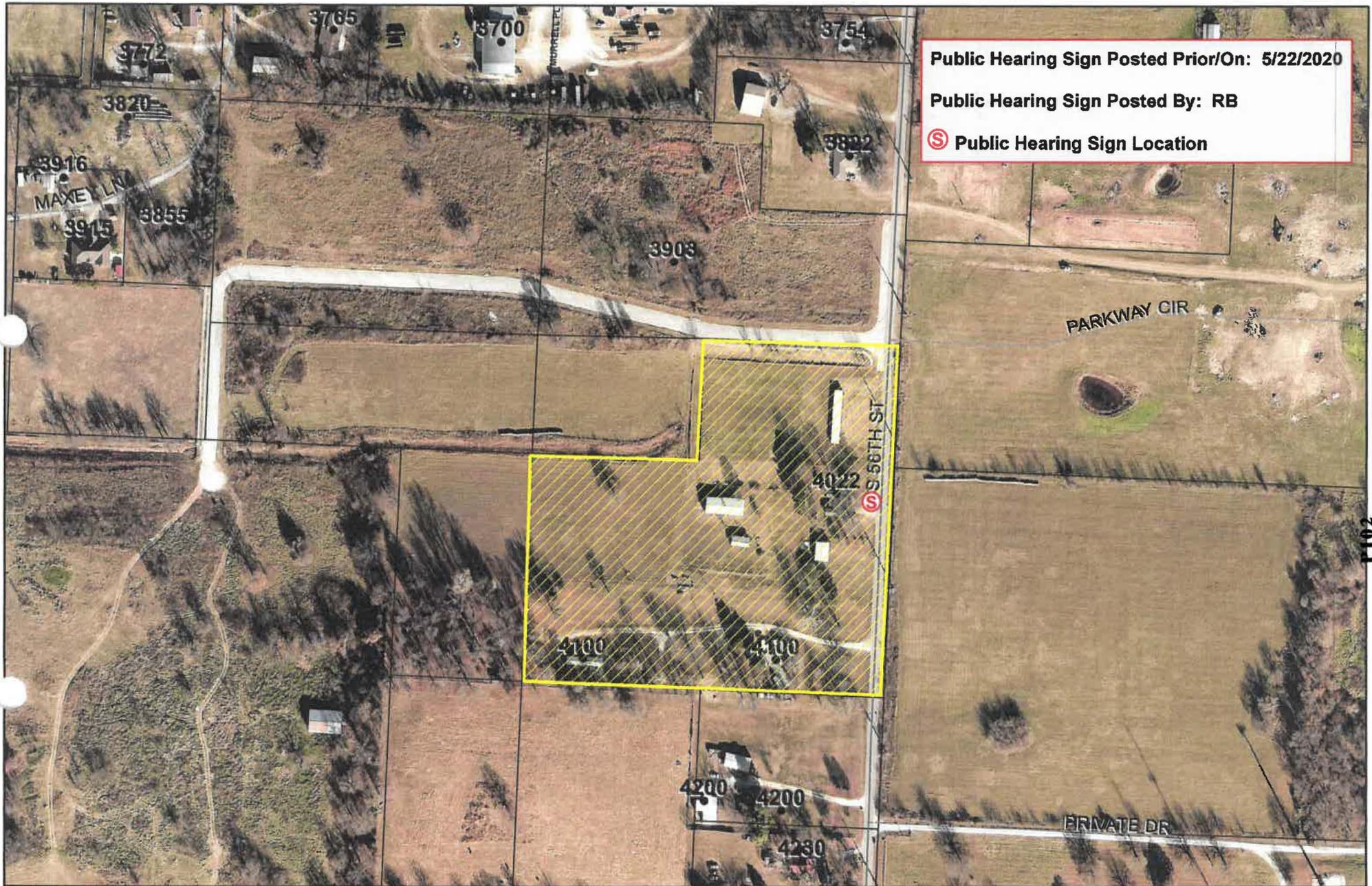
STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

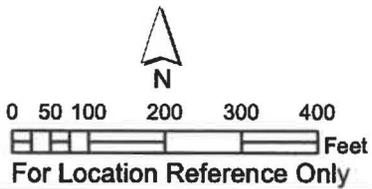
Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.



Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
Public Hearing Sign Location



FILE NO. R20-20
APPLICANT: Harold & Mattie Griffith Family Trust
REQUEST: Rezone parcel from A-1 to C-2

PLANNING COMMISSION MEETING
June 2, 2020

File No. _____

R20-20

PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale code of Ordinances, as amended, by the Harold and Mattie Griffith Family Trust u/t/d March 11, 2015, the record property owner, petitioning to rezone the following described area:

Legal Description:

See Attached Legal Description

Layman's Description: 1.3 acres at the north end of 4022 South 56th Street (Washington County Parcel 815-30894-000). Property is situated along the west side of South 56th Street southwest of the intersection with Parkway Circle in Springdale, Washington County, Arkansas.

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and addresses of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classifications:

FROM (current zoning) A-1 (Agricultural District)

TO (proposed zoning) C-2 (General Commercial District)

The Petitioner's immediate intentions are to:

1. Sell the property YES (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, or other contract for conveyance of title YES (Yes or No).

2. Develop the property NO (Yes or No), and if so, the proposed use is _____.

3. Effect of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None – there is C-2 property and MF-24 property to the north, C-5 property to the east, and C-5 property to the south. The requested district is compatible with surrounding zoning districts and future development along 56th Street in this area will be primarily commercial uses.

The Petitioner understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The Petitioner understands that he/she should be present at the meeting in order to answer questions. If the Petitioner is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: _____

Address: _____

PETITIONER/OWNER: 
(Authorized Signature)

MAILING ADDRESS: 4022 S. 56th Street, Springdale, AR 72762

TELEPHONE: 479-361-2336

DATE: 5-12-2020

APPLICATION FOR CONDITIONAL USE
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Rogelio Trujillo
 Address: 8930 Carrie Smith Rd
Springdale AR 72762
 Phone: 479-721-7623 Profit: _____ Non-Profit

2. Property Location (street address or layman's description):
8932 Carrie Smith Rd
Springdale AR 72762

3. Record Title Holder of Property: Rogelio Trujillo
 (A copy of the warranty deed should be attached as Exhibit "A")

4. Use Unit requested mobile Home in A1 Zoning District.

5. Description of the conditional use sought and the reasons why it should be approved:

To provide my mother a home and take care of her.

6. What effects would the proposed conditional use have on the character of the neighborhood and residents?

Purchasing a new mobile home and will make it look very nice.

7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.

8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.

9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

[Handwritten Signature]

[Handwritten Signature]

Date: 5-7-2020

Date: 5-7-2020

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

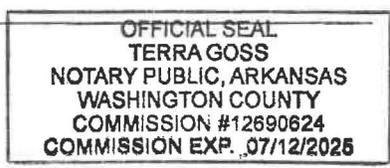
[Handwritten Signature]

State of Arkansas)
County of Washington) ss.

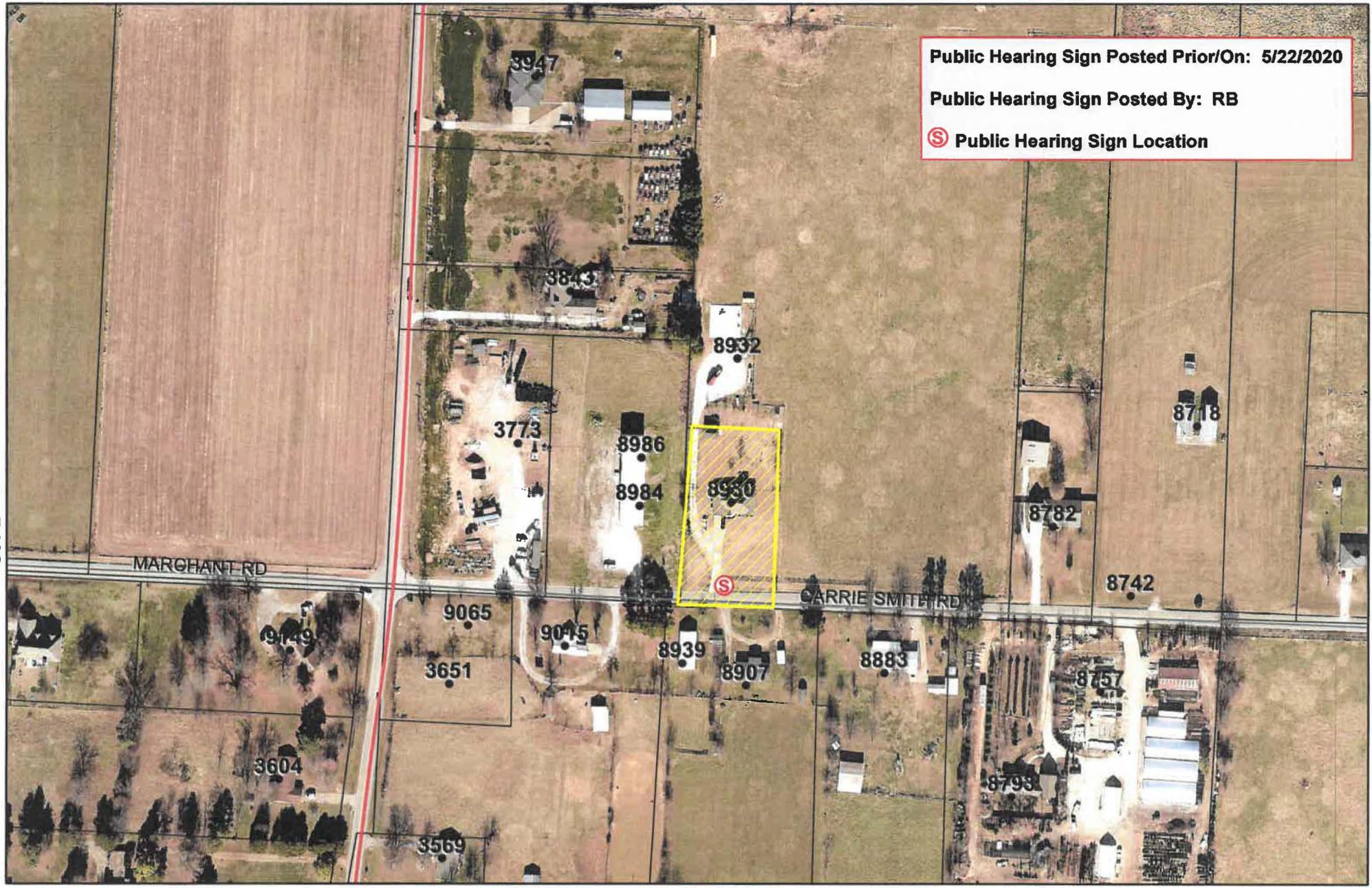
SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 7 day of May, 2020

[Handwritten Signature]
Notary Public

My commission expires:



Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
Ⓢ Public Hearing Sign Location



P108



0 40 80 160 240 320
Feet
For Location Reference Only

FILE NO. C20-13
APPLICANT: Rogelio Trujillo
REQUEST: Conditional use for Tandem Lot Split in an A-1 District

PLANNING COMMISSION MEETING
June 2, 2020

Memo

To: Planning Commission
From: Staff
Date: June 2, 2020
RE: PP20-03 Preliminary Plat The Crossings

Planning Comments

1. Provide legal description and parcel number on the cover sheet.

Engineering Comments

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

1. Chapter 112 -
Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.

- The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
 - Label all lights as Proposed or Existing
 - Show the direction of the mast arm
 - Show the size and type of lights based on the location and classification of the street
 - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
 - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing
 - I could not find any notes concerning the lighting.

2. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1 ADA requirements.**
 - Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current *ADA* and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

3. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

THE CROSSINGS

U.S. HWY. 412 & GENE GEORGE BLVD., SPRINGDALE, AR

PP #20-03 ¹

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GENERAL NOTES

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND EXISTING FIELD CONDITIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY HAND DIGGING TEST PITS AT ALL UTILITY CROSSINGS IN ADVANCE OF TRENCHING WITH ANY MECHANICAL DEVICE. ANY CLEARANCES LESS THAN SPECIFIED ON THESE PLANS OR 18" (WHICHEVER IS LESS), CONTRACTOR SHALL CONTACT McCLELLAND CONSULTING ENGINEERS, INC. @ (479) 443-2377 PRIOR TO ANY FURTHER CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND USE OF ANY AND ALL REQUIRED OR NECESSARY SHORING, SHEETING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THIS PROJECT. THESE MEASURES WILL MEET OR EXCEED OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS DURING CONSTRUCTION. McCLELLAND CONSULTING ENGINEERS, INC. AND THE DEVELOPER/OWNER ACCEPTS NO RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REGULATIONS.

ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL STUDY, WHERE A CONFLICT EXISTS BETWEEN THE HIGHWAY DEPARTMENT / CITY STANDARDS, OR THE GEOTECH STUDY, THE MOST STRINGENT SHALL APPLY.

FURTHERMORE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE EROSION CONTROL MEASURES AS SHOWN ON THESE PLANS. CONTRACTOR SHALL KEEP THESE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP BEFORE, DURING, AND AFTER RAIN FALL EVENTS.

ALL PHASES OF CONSTRUCTION SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.

SEE ARCHITECTURAL PLANS FOR THE EXACT DIMENSIONS AND LOCATIONS OF ANY RAMPS, VESTIBULE, PORCHES, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS, OR WELLS AND PRECISE BUILDING DIMENSIONS.

CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION PROCEDURES. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

THE TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY THE FOLLOWING COMPANY:
ENGINEERING SERVICES, INC.
1207 S. OLD MISSOURI ROAD,
SPRINGDALE, AR 72756
OFFICE: (479) 751-8733

McCLELLAND CONSULTING ENGINEERS, INC. AND ITS ASSOCIATES WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE SURVEY OR FOR DESIGN ERRORS OR OMISSIONS RESULTING FROM SURVEY INACCURACIES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING FEATURES AS SHOWN ON THE SURVEY AND NOTIFY THE SURVEYOR AND THE ENGINEER OF RECORD OF ANY INACCURACIES FOUND ON THE SURVEY PRIOR TO BEGINNING CONSTRUCTION.

THE GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.

ALL CONSTRUCTION IN THE STATE RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT.

THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING ALL PHASES OF CONSTRUCTION OF THIS SITE. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO CONSTRUCTION WORKING HOURS.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR DESIGN FUNCTION AND USE INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR HIS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION AT THE SITE.

WETLAND NOTE

THERE ARE NO WETLAND AREAS THAT EXIST WITHIN THE PROJECT BOUNDARIES OF THIS SITE AS NOTED PER THE US FISH & WILDLIFE WETLAND MAPPER.

FLOOD CERTIFICATION

THIS ENTIRE PROPERTY IS LOCATED WITHIN FLOOD ZONE "X", OR AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.

FIRM PANEL: #05143C0065F
EFFECTIVE DATE: 5/16/2008

CONTACTS

PLANNING
CITY OF SPRINGDALE
201 SPRING STREET,
SPRINGDALE, AR 72764
PATSY CHRISTIE / DIRECTOR
PHONE: (479) 750-8550
EMAIL: pchristie@springdale.gov

CITY ENGINEER
CITY OF SPRINGDALE
269 E. RANDALL WOBBE LANE,
SPRINGDALE, AR 72764
BRAD BALDWIN, P.E. / DIRECTOR
PHONE: (479) 750-8105
EMAIL: bbaldwin@springdale.gov

WATER AND SEWER
SPRINGDALE WATER UTILITIES (SWU)
526 OAD AVENUE,
SPRINGDALE, AR 72764
RICK PULVIRENTI / DIRECTOR
PHONE: (479) 751-5751
EMAIL: rpulvirenti@springdale.gov

NATURAL GAS
BLACK HILLS ENERGY
655 E. HILLSAP ROAD
FAYETTEVILLE, AR 72703
JEFF LANEY / COMMERCIAL ACCT MGR
PHONE: (479) 601-8221
EMAIL: jeff.laney@blackhillsenergy.com

TELEPHONE
AT&T
1133 E. HAROLD STREET,
FAYETTEVILLE, AR 72703
LAYNE RHODES / DESIGN ENGINEER
PHONE: (479) 442-1977
EMAIL: l592@att.com

ELECTRIC
OZARKS ELECTRIC COOPERATIVE
P.O. BOX 848
FAYETTEVILLE, AR 72702
WILLIAM DICK / STAKING SUPERVISOR
PHONE: (479) 684-4658
EMAIL: wdick@ozarksecc.com

INTERNET
COX COMMUNICATIONS
4901 S. 48TH STREET,
SPRINGDALE, AR 72764
TROY OLIVER / CONSTRUCTION PLANNER
PHONE: (479) 717-3783
EMAIL: troy.oliver@cox.com

FIRE DEPARTMENT
CITY OF SPRINGDALE
417 HOLCOMB STREET,
SPRINGDALE, AR 72764
MIKE IRWIN / FIRE CHIEF
PHONE: (479) 751-4510
EMAIL: mirwin@springdale.gov

OWNER / DEVELOPER
GEORGE S, INC
P.O. DRAWER G
SPRINGDALE, AR 72765
MATT BROWN / VP OF REAL ESTATE
DEVELOPMENT
PHONE: (479) 927-7287
EMAIL: matt.brown@georgesinc.com

CIVIL ENGINEERING CONSULTANT
McCLELLAND CONSULTING ENGINEERS
1810 N. COLLEGE AVENUE,
FAYETTEVILLE, AR 72702
ADAM LESSO, P.E. / PROJECT MANAGER
PHONE: (479) 443-2377
EMAIL: alesso@mce.us.com



VICINITY MAP

May 21, 2020
MCE PROJECT NUMBER 20-2104

MCE McCLELLAND
CONSULTING
ENGINEERS, INC.
DESIGNED TO SERVE

<http://www.mce.us.com>

1810 N COLLEGE AVE
FAYETTEVILLE, ARKANSAS 72703
(479) 443-2377

LITTLE ROCK, AR • FAYETTEVILLE, AR • FORT SMITH, AR • TULSA, OK

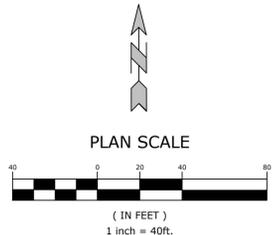
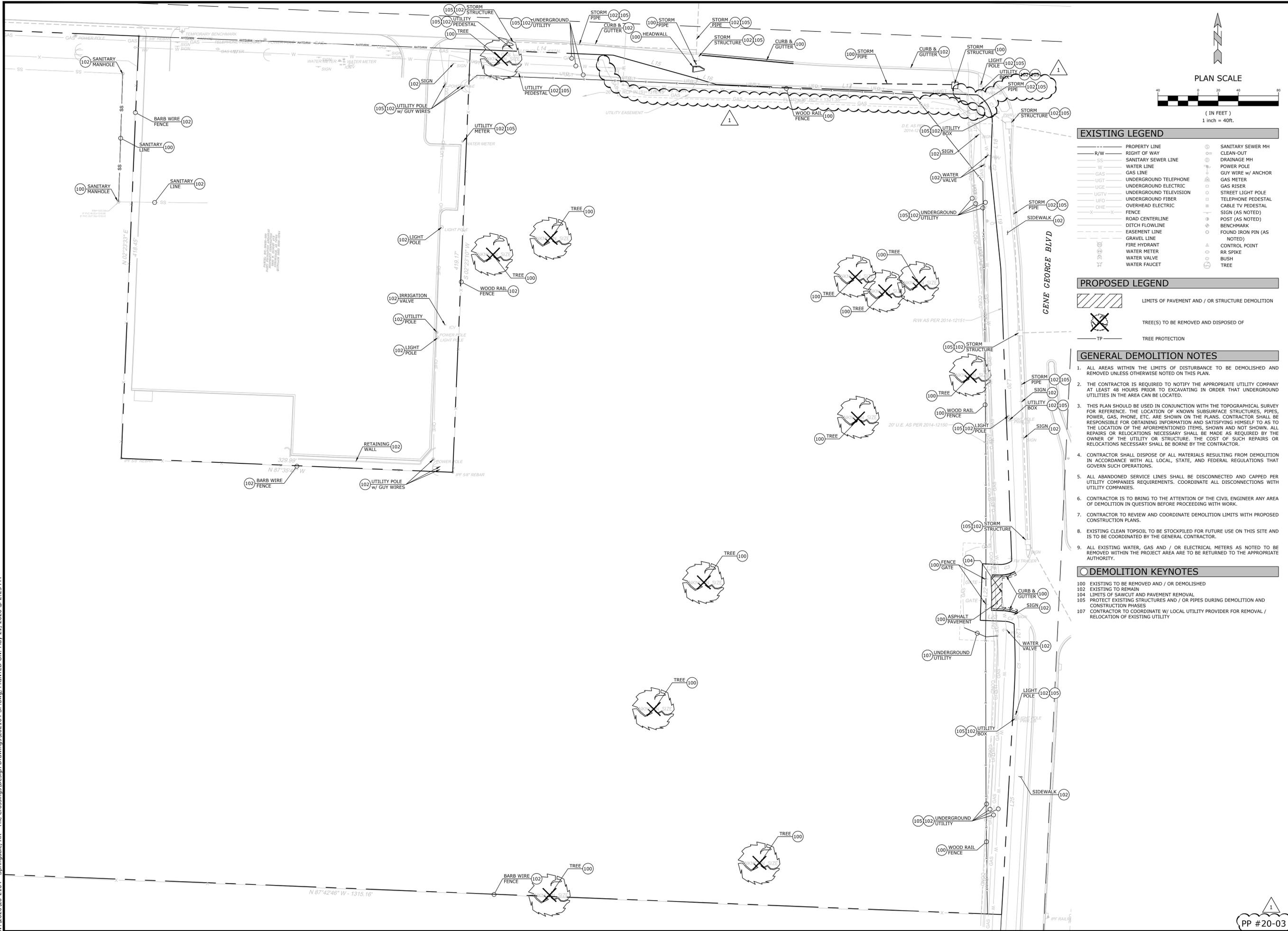
| REVISIONS | | |
|-----------|-----------|-----------------------------------|
| REV | DATE | DESCRIPTION |
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |
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EXISTING LEGEND

| | | | |
|-----|------------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| --- | R/W | ⊙ | CLEAN-OUT |
| --- | SANITARY SEWER LINE | ⊙ | DRAINAGE MH |
| --- | WATER LINE | ⊙ | POWER POLE |
| --- | GAS LINE | ⊙ | GUY WIRE w/ ANCHOR |
| --- | UNDERGROUND TELEPHONE | ⊙ | GAS METER |
| --- | UGT | ⊙ | GAS RISER |
| --- | UNDERGROUND ELECTRIC | ⊙ | STREET LIGHT POLE |
| --- | UNDERGROUND TELEVISION | ⊙ | TELEPHONE PEDESTAL |
| --- | UFO | ⊙ | CABLE TV PEDESTAL |
| --- | OHE | ⊙ | SIGN (AS NOTED) |
| --- | FENCE | ⊙ | POST (AS NOTED) |
| --- | ROAD CENTERLINE | ⊙ | BENCHMARK |
| --- | DITCH FLOWLINE | ⊙ | FOUND IRON PIN (AS NOTED) |
| --- | EASEMENT LINE | ⊙ | CONTROL POINT |
| --- | GRAVEL LINE | ⊙ | RR SPIKE |
| --- | FIRE HYDRANT | ⊙ | BUSH |
| --- | WATER METER | ⊙ | TREE |
| --- | WATER VALVE | ⊙ | |
| --- | WATER FAUCET | ⊙ | |

PROPOSED LEGEND

| | |
|---|--|
| ▨ | LIMITS OF PAVEMENT AND / OR STRUCTURE DEMOLITION |
| ⊗ | TREE(S) TO BE REMOVED AND DISPOSED OF |
| ⊙ | TREE PROTECTION |

GENERAL DEMOLITION NOTES

- ALL AREAS WITHIN THE LIMITS OF DISTURBANCE TO BE DEMOLISHED AND REMOVED UNLESS OTHERWISE NOTED ON THIS PLAN.
- THE CONTRACTOR IS REQUIRED TO NOTIFY THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THIS PLAN SHOULD BE USED IN CONJUNCTION WITH THE TOPOGRAPHICAL SURVEY FOR REFERENCE. THE LOCATION OF KNOWN SUBSURFACE STRUCTURES, PIPES, POWER, GAS, PHONE, ETC. ARE SHOWN ON THE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INFORMATION AND SATISFYING HIMSELF TO AS TO THE LOCATION OF THE AFOREMENTIONED ITEMS, SHOWN AND NOT SHOWN. ALL REPAIRS OR RELOCATIONS NECESSARY SHALL BE MADE AS REQUIRED BY THE OWNER OF THE UTILITY OR STRUCTURE. THE COST OF SUCH REPAIRS OR RELOCATIONS NECESSARY SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL DISPOSE OF ALL MATERIALS RESULTING FROM DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS THAT GOVERN SUCH OPERATIONS.
- ALL ABANDONED SERVICE LINES SHALL BE DISCONNECTED AND CAPPED PER UTILITY COMPANIES REQUIREMENTS. COORDINATE ALL DISCONNECTIONS WITH UTILITY COMPANIES.
- CONTRACTOR IS TO BRING TO THE ATTENTION OF THE CIVIL ENGINEER ANY AREA OF DEMOLITION IN QUESTION BEFORE PROCEEDING WITH WORK.
- CONTRACTOR TO REVIEW AND COORDINATE DEMOLITION LIMITS WITH PROPOSED CONSTRUCTION PLANS.
- EXISTING CLEAN TOPSOIL TO BE STOCKPILED FOR FUTURE USE ON THIS SITE AND IS TO BE COORDINATED BY THE GENERAL CONTRACTOR.
- ALL EXISTING WATER, GAS AND / OR ELECTRICAL METERS AS NOTED TO BE REMOVED WITHIN THE PROJECT AREA ARE TO BE RETURNED TO THE APPROPRIATE AUTHORITY.

DEMOLITION KEYNOTES

- 100 EXISTING TO BE REMOVED AND / OR DEMOLISHED
- 102 EXISTING TO REMAIN
- 104 LIMITS OF SAWCUT AND PAVEMENT REMOVAL
- 105 PROTECT EXISTING STRUCTURES AND / OR PIPES DURING DEMOLITION AND CONSTRUCTION PHASES
- 107 CONTRACTOR TO COORDINATE W/ LOCAL UTILITY PROVIDER FOR REMOVAL / RELOCATION OF EXISTING UTILITY

MCE McCLELLAND CONSULTING ENGINEERS, INC.
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 FAYETTEVILLE, ARKANSAS 72703
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 SPRINGDALE, AR

811
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 Call before you dig.

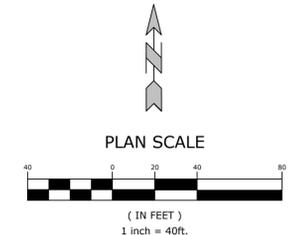
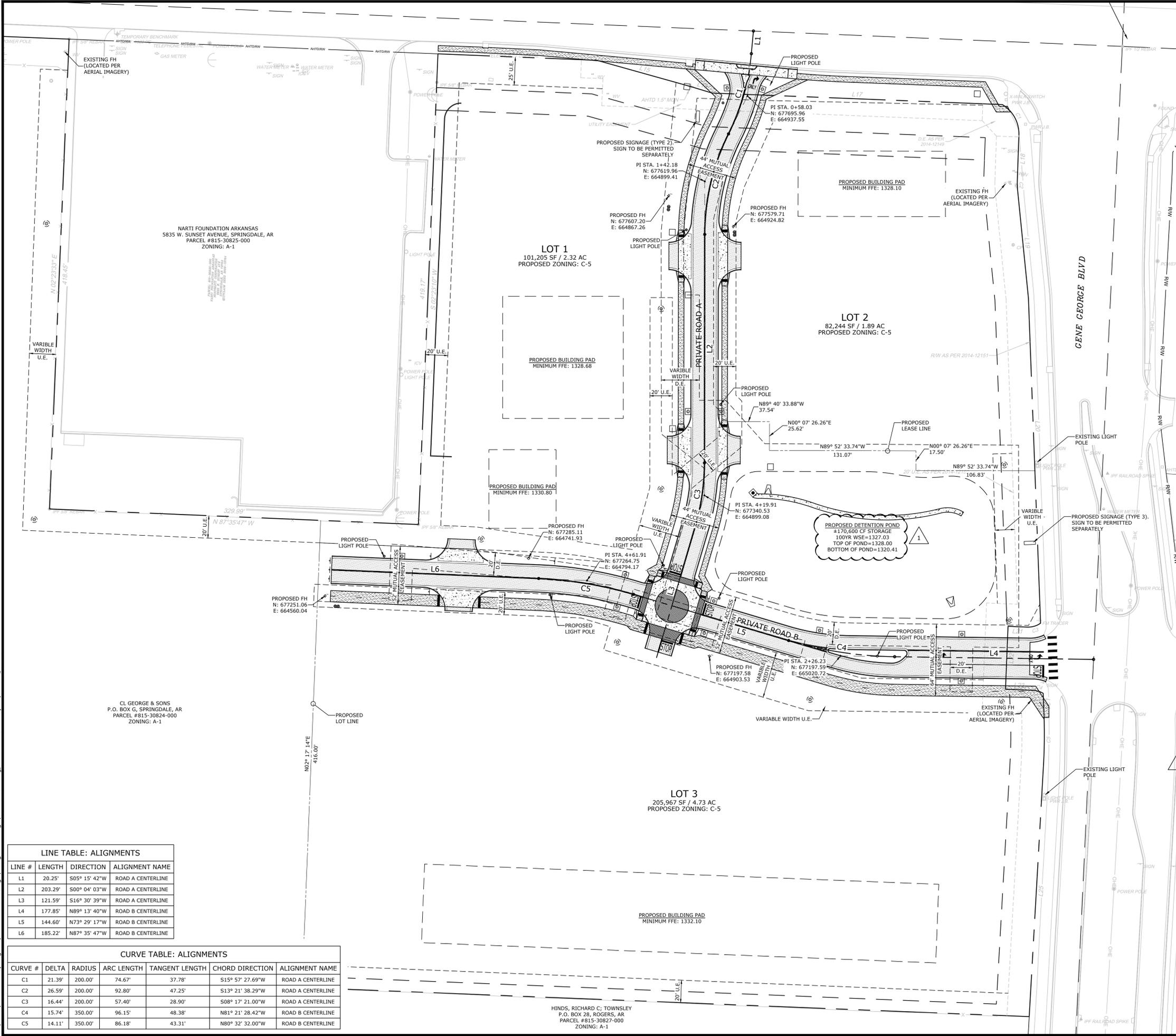
| REV | DATE | DESCRIPTION | ADDRESSING CITY TECH/PLAT COMMENTS |
|-----|-----------|-------------|------------------------------------|
| 1 | 5/21/2020 | | |

DEMOLITION PLAN

| | | | |
|--------------|-----------|-------------|---------|
| DESIGNED BY: | JAD | DRAWN BY: | JAD |
| DATE: | 5/21/2020 | REVISION: | REV-1 |
| SCALE: | AS NOTED | JOB NUMBER: | 20-2104 |

PP #20-03

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EXISTING LEGEND

| | | | |
|-----|---------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| --- | R/W | ⊙ | CLEAN-OUT |
| --- | SANITARY SEWER LINE | ⊙ | DRAINAGE MH |
| --- | WATER LINE | ⊙ | POWER POLE |
| --- | GAS LINE | ⊙ | GUY WIRE w/ ANCHOR |
| --- | UGT | ⊙ | GAS METER |
| --- | UGT | ⊙ | GAS RISER |
| --- | UGT | ⊙ | UNDERGROUND TELEPHONE |
| --- | UGT | ⊙ | UNDERGROUND ELECTRIC |
| --- | UGT | ⊙ | UNDERGROUND TELEVISION |
| --- | UGT | ⊙ | UNDERGROUND FIBER |
| --- | OHE | ⊙ | OVERHEAD ELECTRIC |
| --- | FENCE | ⊙ | STREET LIGHT POLE |
| --- | ROAD CENTERLINE | ⊙ | TELEPHONE PEDESTAL |
| --- | DITCH FLOWLINE | ⊙ | CABLE TV PEDESTAL |
| --- | EASEMENT LINE | ⊙ | SIGN (AS NOTED) |
| --- | GRAVEL LINE | ⊙ | POST (AS NOTED) |
| --- | FIRE HYDRANT | ⊙ | BENCHMARK |
| --- | WATER METER | ⊙ | FOUND IRON PIN (AS NOTED) |
| --- | WATER VALVE | ⊙ | CONTROL POINT |
| --- | WATER FAUCET | ⊙ | RR SPIKE |
| | | ⊙ | BUSH |
| | | ⊙ | TREE |

PROPOSED LEGEND

| | |
|-----|----------------------------------|
| --- | CURB AND GUTTER |
| --- | EASEMENT |
| --- | SETBACK |
| --- | TEMPORARY CONSTRUCTION EASEMENT |
| --- | PAINTED / THERMOPLASTIC STRIPING |
| --- | ASPHALT PAVEMENT |
| --- | CONCRETE PAVEMENT |
| --- | CONCRETE SIDEWALK |
| --- | CATCH BASIN |
| --- | FLARED END SECTION |
| --- | SANITARY SEWER MANHOLE |
| --- | FIRE HYDRANT |
| --- | LIGHT POLE (STREET ILLUMINATOR) |

GENERAL SITE NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITE WORK SPECIFICATIONS PROVIDED BY MCLELLAND CONSULTING ENGINEERS, INC. OR AS SPECIFIED BY THE OWNER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE ARKANSAS DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- UNLESS OTHERWISE NOTED, ALL CURBING INDICATED SHALL BE 24" CONCRETE CURB AND GUTTER.
- ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE FROM THE FACE OF CURB, FACE OF BUILDING, OR CENTERLINE OF STRIPE.
- CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR EXACT BUILDING LOCATION, DIMENSIONS, AND UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL REFER TO PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT DETAILS FOR PAVING DESIGN AND PROPER MATERIALS.
- ALL RADII FOR CURBS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII ON CURBS ARE 3'-0" UNLESS OTHERWISE NOTED.
- GENERAL CONTRACTOR SHALL COORDINATE AND COMPLY WITH ALL UTILITY COMPANIES INVOLVED IN PROJECT AND PAY ALL REQUIRED FEES AND COSTS.
- FOR SITE UTILITIES, SEE UTILITY PLAN(S).
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S STANDARD SITE SPECIFICATIONS.
- A CITY OF SPRINGDALE RETENTION / DETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.
- STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF THE CONSTRUCTION:
 - DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
 - THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
 - NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
 - NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
 - ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.

LINE TABLE: ALIGNMENTS

| LINE # | LENGTH | DIRECTION | ALIGNMENT NAME |
|--------|---------|---------------|-------------------|
| L1 | 20.25' | S05° 15' 42"W | ROAD A CENTERLINE |
| L2 | 203.29' | S00° 04' 03"W | ROAD A CENTERLINE |
| L3 | 121.59' | S16° 30' 39"W | ROAD A CENTERLINE |
| L4 | 177.85' | N89° 13' 40"W | ROAD B CENTERLINE |
| L5 | 144.60' | N73° 29' 17"W | ROAD B CENTERLINE |
| L6 | 185.22' | N87° 35' 47"W | ROAD B CENTERLINE |

CURVE TABLE: ALIGNMENTS

| CURVE # | DELTA | RADIUS | ARC LENGTH | TANGENT LENGTH | CHORD DIRECTION | ALIGNMENT NAME |
|---------|--------|---------|------------|----------------|------------------|-------------------|
| C1 | 21.39° | 200.00' | 74.67' | 37.78' | S15° 57' 27.69"W | ROAD A CENTERLINE |
| C2 | 26.59° | 200.00' | 92.80' | 47.25' | S13° 21' 38.29"W | ROAD A CENTERLINE |
| C3 | 16.44° | 200.00' | 57.40' | 28.90' | S08° 17' 21.00"W | ROAD A CENTERLINE |
| C4 | 15.74° | 350.00' | 96.15' | 48.38' | N81° 21' 28.42"W | ROAD B CENTERLINE |
| C5 | 14.11° | 350.00' | 86.18' | 43.31' | N80° 32' 32.00"W | ROAD B CENTERLINE |

MCLELLAND CONSULTING ENGINEERS, INC.
 1810 N COLLEGE AVE
 FAYETTEVILLE, ARKANSAS 72703
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ORIGINAL SIGNATURE ON FILE

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COMMERCIAL DEVELOPMENT
 U.S. HWY. 412 & GENE GEORGE BLVD.
 SPRINGDALE, AR



REVISIONS

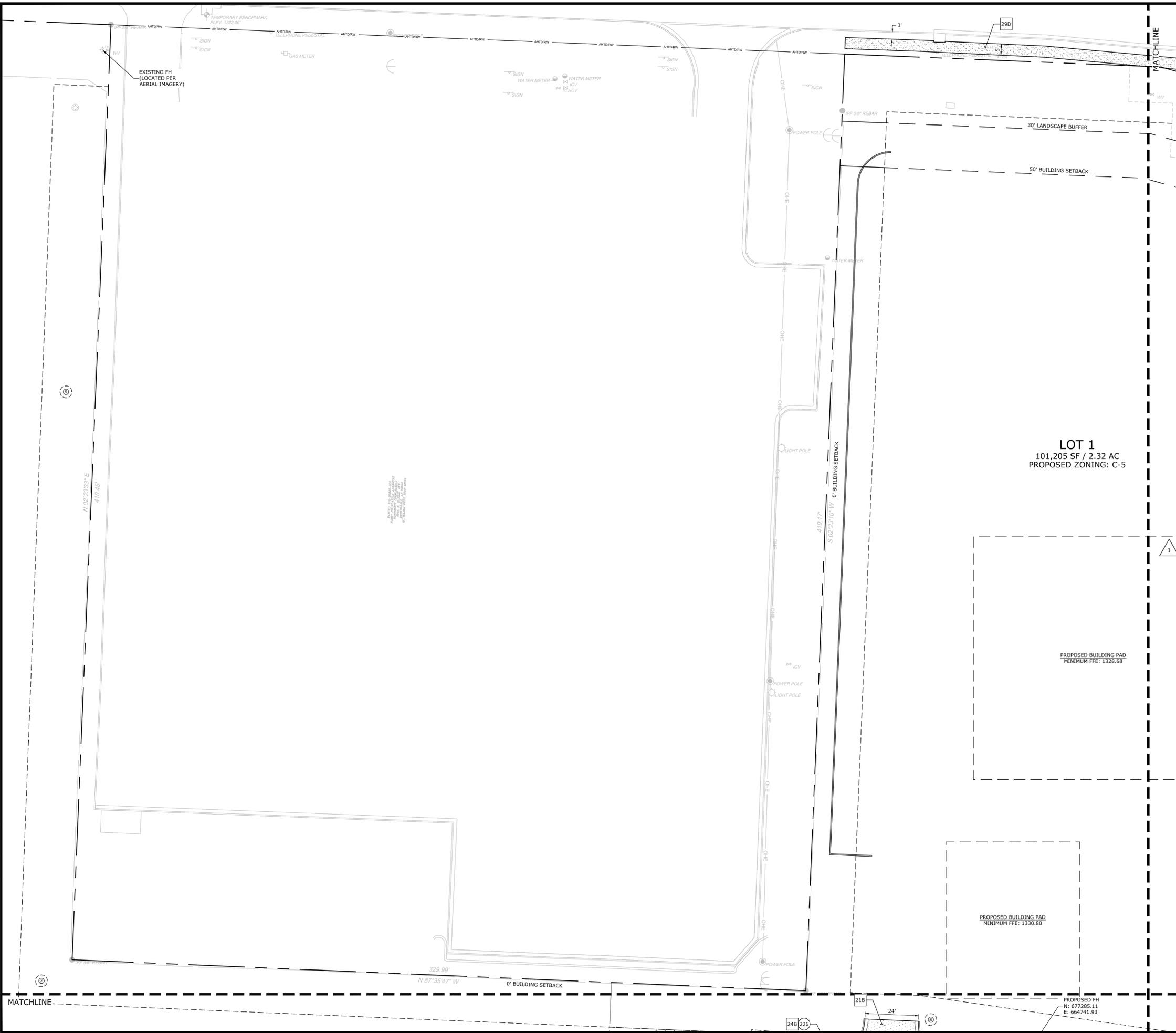
| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

OVERALL SITE PLAN

| | |
|------------------|---------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

PP #20-03

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EXISTING LEGEND

| | | | |
|------|------------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| R/W | RIGHT OF WAY | ⊙ | CLEAN-OUT |
| SS | SANITARY SEWER LINE | ⊙ | DRAINAGE MH |
| W | WATER LINE | ⊙ | POWER POLE |
| G | GAS LINE | ⊙ | GUY WIRE w/ ANCHOR |
| UGT | UNDERGROUND TELEPHONE | ⊙ | GAS METER |
| UGE | UNDERGROUND ELECTRIC | ⊙ | GAS RISER |
| UGTV | UNDERGROUND TELEVISION | ⊙ | STREET LIGHT POLE |
| UGFO | UNDERGROUND FIBER | ⊙ | TELEPHONE PEDESTAL |
| OHE | OVERHEAD ELECTRIC | ⊙ | CABLE TV PEDESTAL |
| X | FENCE | ⊙ | SIGN (AS NOTED) |
| --- | ROAD CENTERLINE | ⊙ | POST (AS NOTED) |
| --- | DITCH FLOWLINE | ⊙ | BENCHMARK |
| --- | EASEMENT LINE | ⊙ | FOUND IRON PIN (AS NOTED) |
| --- | GRAVEL LINE | ⊙ | CONTROL POINT |
| ⊙ | FIRE HYDRANT | ⊙ | RR SPIKE |
| ⊙ | WATER METER | ⊙ | BUSH |
| ⊙ | WATER VALVE | ⊙ | TREE |
| ⊙ | WATER FAUCET | | |

PROPOSED LEGEND

| | |
|-----|----------------------------------|
| --- | CURB AND GUTTER |
| --- | EASEMENT |
| --- | SETBACK |
| --- | TEMPORARY CONSTRUCTION EASEMENT |
| --- | PAINTED / THERMOPLASTIC STRIPING |
| ⊙ | ASPHALT PAVEMENT |
| ⊙ | CONCRETE PAVEMENT |
| ⊙ | CONCRETE SIDEWALK |
| ⊙ | CATCH BASIN |
| ⊙ | FLARED END SECTION |
| ⊙ | SANITARY SEWER MANHOLE |
| ⊙ | FIRE HYDRANT |
| ⊙ | LIGHT POLE (STREET ILLUMINATOR) |

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 - 206 4" WIDE WHITE TRAFFIC LANE STRIPE
 - 209 4" WIDE YELLOW STRIPES, 24" O.C. @ 45°
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 - 214 TAPER CURB HEIGHT FROM 6" TO 0" OVER 2'
 - 216 Pylon SIGN (TO BE PERMITTED SEPARATELY)
 - 220 PRIVATE STREET ILLUMINATING LIGHT & POLE (6,800 LUMEN MIN; POLE STYLE, AND TYPE OF LIGHT TO BE DETERMINED BY DEVELOPER; BILLING TO BE PAID BY DEVELOPER)
 - 222 LIMITS OF SAWCUT AND PAVEMENT REMOVAL
 - 224 (3) - TYPE 4 OBJECT MARKERS, OM4-3 (8' SEPARATION)
 - 225 ROAD ENDS 200' SIGN, W20-3
 - 226 ROAD ENDS 100' SIGN, W20-3
 - 227 4" WIDE PAINTED YELLOW DASHED SKIPLINE; TO BE STRIPED AT 3' DASHED w/ 9" SPACING (PER MUTCD FIGURE 9C-2)

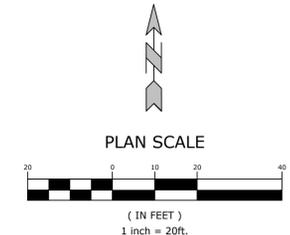
- SITE DETAILS**
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 - 21D HEAVY DUTY CONCRETE PAVEMENT
 - 22H CROSSWALK STRIPING
 - 23E STOP BAR
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 - 29D CITY OF SPRINGDALE SIDEWALK STANDARD DETAIL (SD-B-1)
 - 29E CITY OF SPRINGDALE HANDICAP RAMP STANDARD DETAIL (SD-B-2)
 - 29F CITY OF SPRINGDALE COMMERCIAL DRIVEWAY STANDARD DETAIL (SD-B-3)

LOT 1
101,205 SF / 2.32 AC
PROPOSED ZONING: C-5

PROPOSED BUILDING PAD
MINIMUM FFE: 1328.68

PROPOSED BUILDING PAD
MINIMUM FFE: 1330.80

PROPOSED FH
N: 677285.11
E: 664741.93



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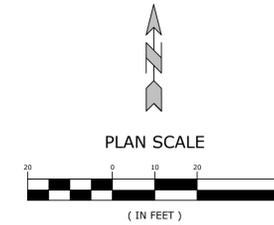
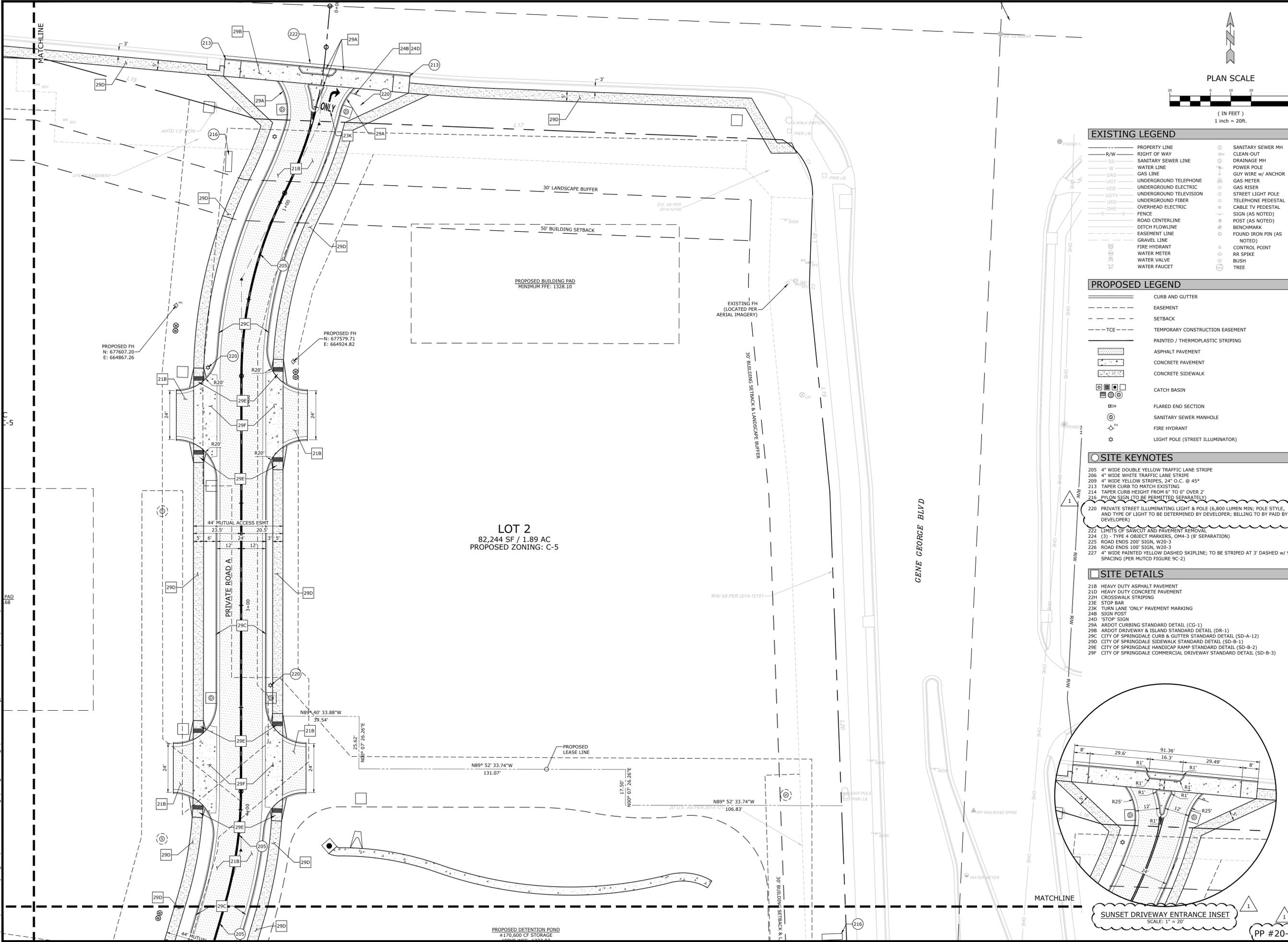
| REV | DATE | DESCRIPTION | ADDRESSING CITY TECHPLAT COMMENTS |
|-----|-----------|-------------|-----------------------------------|
| 1 | 5/21/2020 | | |

SITE PLAN - NW

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

PP #20-03

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EXISTING LEGEND

| | | | |
|-----|------------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| --- | R/W RIGHT OF WAY | ⊙ | CLEAN-OUT |
| --- | SANITARY SEWER LINE | ⊙ | DRAINAGE MH |
| --- | WATER LINE | ⊙ | POWER POLE |
| --- | GAS LINE | ⊙ | GUY WIRE w/ ANCHOR |
| --- | UNDERGROUND TELEPHONE | ⊙ | GAS METER |
| --- | UNDERGROUND ELECTRIC | ⊙ | GAS RISER |
| --- | UNDERGROUND TELEVISION | ⊙ | STREET LIGHT POLE |
| --- | UNDERGROUND FIBER | ⊙ | TELEPHONE PEDESTAL |
| --- | OVERHEAD ELECTRIC | ⊙ | CABLE TV PEDESTAL |
| --- | FENCE | ⊙ | SIGN (AS NOTED) |
| --- | ROAD CENTERLINE | ⊙ | POST (AS NOTED) |
| --- | DITCH FLOWLINE | ⊙ | BENCHMARK |
| --- | EASEMENT LINE | ⊙ | FOUND IRON PIN (AS NOTED) |
| --- | GRAVEL LINE | ⊙ | CONTROL POINT |
| --- | FIRE HYDRANT | ⊙ | RR SPIKE |
| --- | WATER METER | ⊙ | BUSH |
| --- | WATER VALVE | ⊙ | TREE |
| --- | WATER FAUCET | ⊙ | |

PROPOSED LEGEND

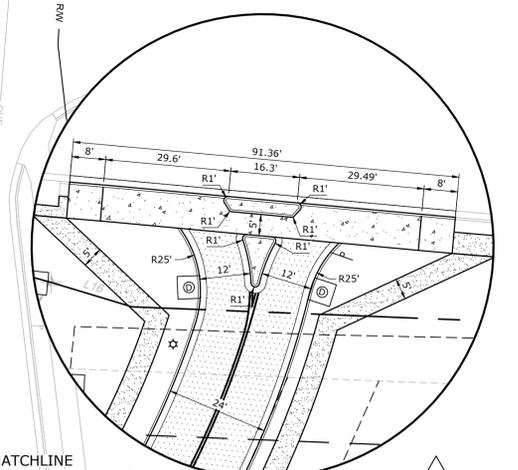
| | |
|-----|----------------------------------|
| --- | CURB AND GUTTER |
| --- | EASEMENT |
| --- | SETBACK |
| --- | TEMPORARY CONSTRUCTION EASEMENT |
| --- | PAINTED / THERMOPLASTIC STRIPING |
| --- | ASPHALT PAVEMENT |
| --- | CONCRETE PAVEMENT |
| --- | CONCRETE SIDEWALK |
| --- | CATCH BASIN |
| --- | FLARED END SECTION |
| --- | SANITARY SEWER MANHOLE |
| --- | FIRE HYDRANT |
| --- | LIGHT POLE (STREET ILLUMINATOR) |

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- 29F CITY OF SPRINGDALE COMMERCIAL DRIVEWAY STANDARD DETAIL (SD-B-3)



LOT 2
82,244 SF / 1.89 AC
PROPOSED ZONING: C-5

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| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

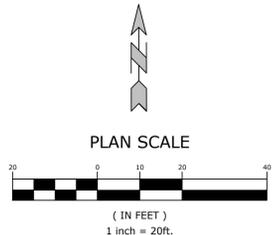
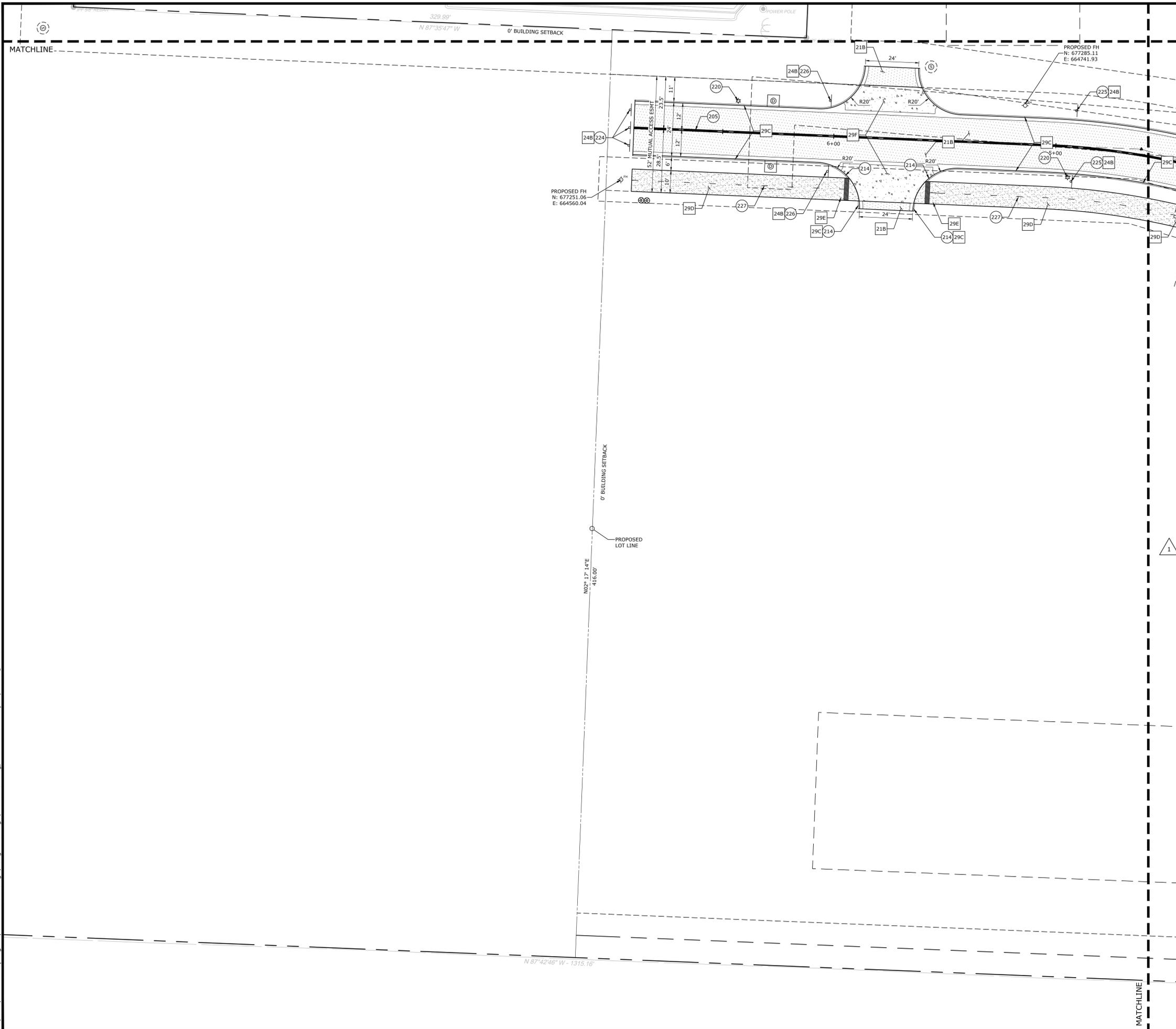
SITE PLAN - NE

| | | | |
|--------------|-----------|-------------|---------|
| DESIGNED BY: | JAD | DRAWN BY: | JAD |
| DATE: | 5/21/2020 | REVISION: | REV-1 |
| SCALE: | AS NOTED | JOB NUMBER: | 20-2104 |

PP #20-03

5

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EXISTING LEGEND

- PROPERTY LINE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- W WATER LINE
- GAS GAS LINE
- UGT UNDERGROUND TELEPHONE
- UGE UNDERGROUND ELECTRIC
- UFO UNDERGROUND FIBER
- OHE OVERHEAD ELECTRIC
- X FENCE
- ROAD CENTERLINE
- DITCH FLOWLINE
- EASEMENT LINE
- GRAVEL LINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER FAUCET
- ⊙ SANITARY SEWER MH
- ⊙ CLEAN-OUT
- ⊙ DRAINAGE MH
- ⊙ POWER POLE
- ⊙ GUY WIRE w/ ANCHOR
- ⊙ GAS METER
- ⊙ GAS RISER
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- ⊙ SIGN (AS NOTED)
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- ⊙ BENCHMARK
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- ⊙ CONTROL POINT
- ⊙ RR SPIKE
- ⊙ BUSH
- ⊙ TREE

PROPOSED LEGEND

- CURB AND GUTTER
- EASEMENT
- SETBACK
- TCE TEMPORARY CONSTRUCTION EASEMENT
- PAINTED / THERMOPLASTIC STRIPING
- ASPHALT PAVEMENT
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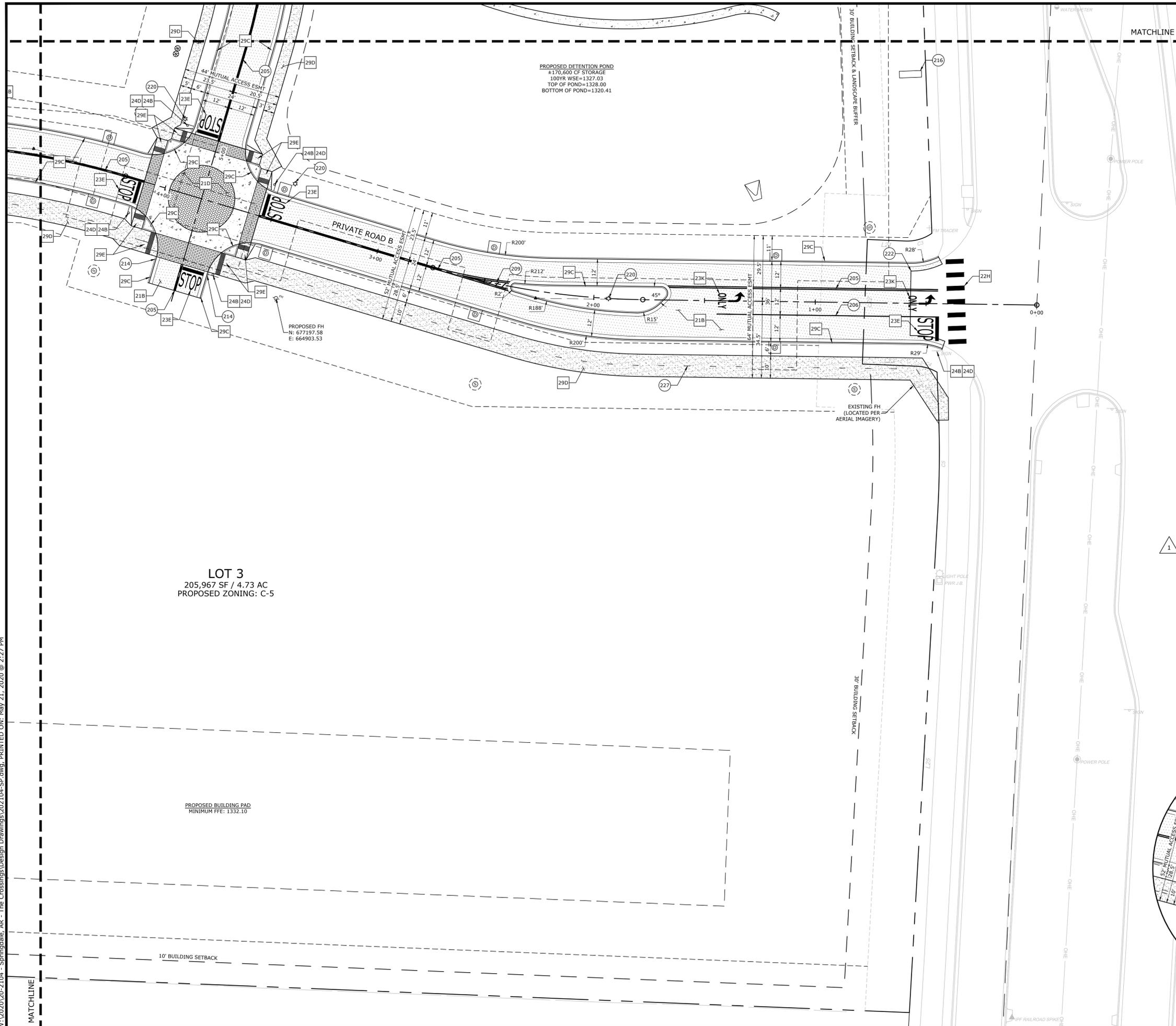


| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

SITE PLAN - SW

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

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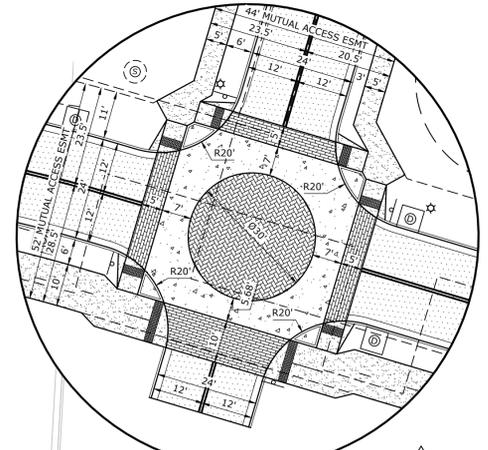
| | | | |
|-----|----------------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| --- | R/W RIGHT OF WAY | ⊙ | CLEAN-OUT |
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| --- | WATER METER | ⊙ | BUSH |
| --- | WATER VALVE | ⊙ | TREE |
| --- | WATER FAUCET | ⊙ | |

PROPOSED LEGEND

| | |
|-----|----------------------------------|
| --- | CURB AND GUTTER |
| --- | EASEMENT |
| --- | SETBACK |
| --- | TEMPORARY CONSTRUCTION EASEMENT |
| --- | PAINTED / THERMOPLASTIC STRIPING |
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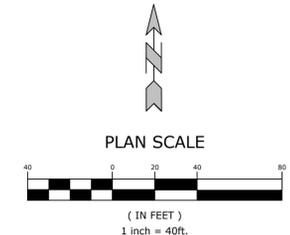
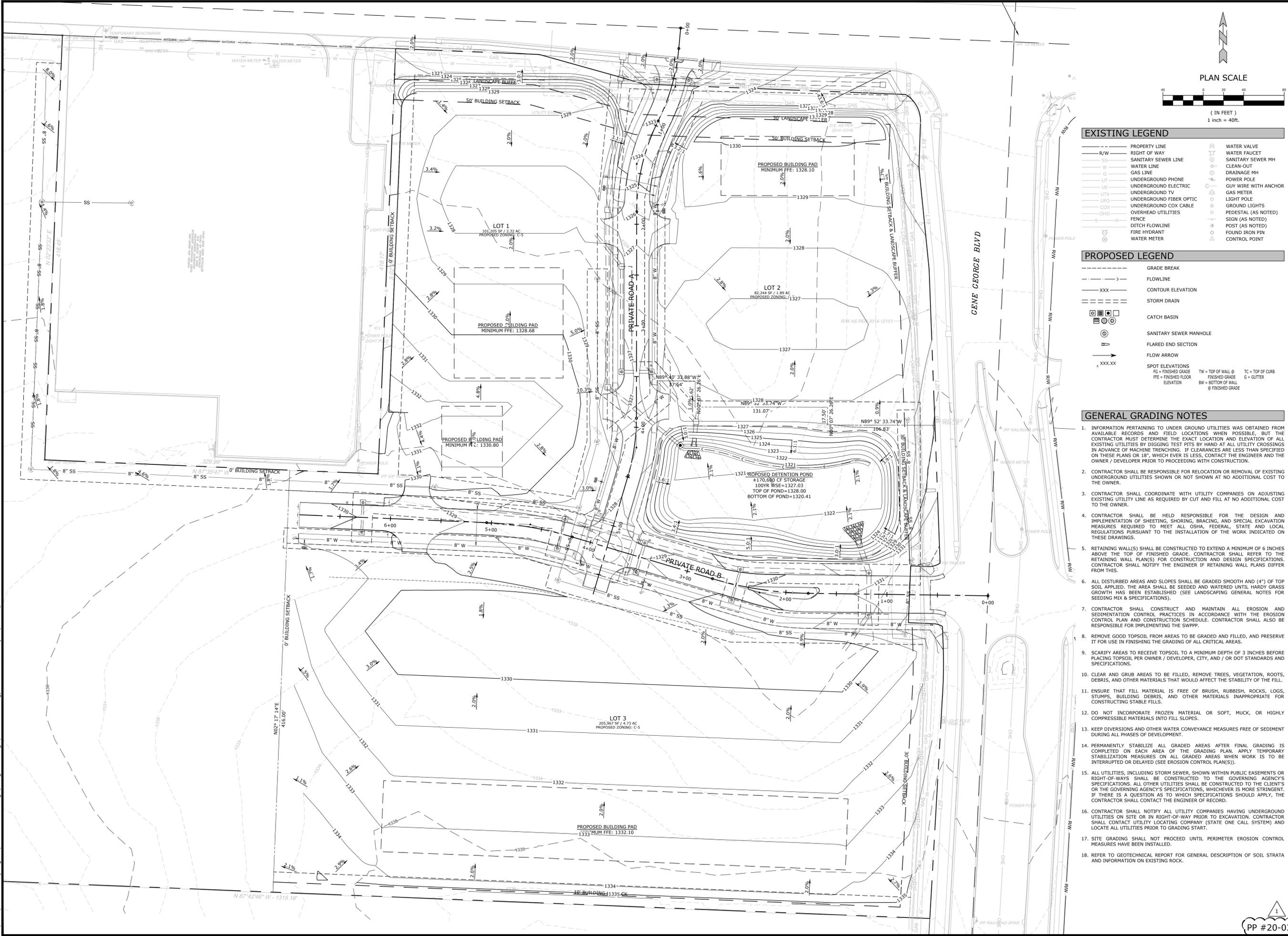
REVISIONS

| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

SITE PLAN - SE

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
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EXISTING LEGEND

- PROPERTY LINE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- W WATER LINE
- G GAS LINE
- UT UNDERGROUND PHONE
- UTV UNDERGROUND ELECTRIC
- UFO UNDERGROUND FIBER OPTIC
- COX UNDERGROUND COX CABLE
- OHD OVERHEAD UTILITIES
- X FENCE
- DITCH FLOWLINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER FAUCET
- SANITARY SEWER MH
- CLEAN-OUT
- DRAINAGE MH
- POWER POLE
- GUY WIRE WITH ANCHOR
- GAS METER
- LIGHT POLE
- GROUND LIGHTS
- PEDESTAL (AS NOTED)
- SIGN (AS NOTED)
- POST (AS NOTED)
- FOUND IRON PIN
- CONTROL POINT

PROPOSED LEGEND

- GRADE BREAK
- FLOWLINE
- XXX CONTOUR ELEVATION
- STORM DRAIN
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FLARED END SECTION
- FLOW ARROW
- SPOT ELEVATIONS
- FG = FINISHED GRADE
- FFE = FINISHED FLOOR ELEVATION
- TW = TOP OF WALL
- G = GUTTER
- TC = TOP OF CURB
- BW = BOTTOM OF WALL
- @ FINISHED GRADE

GENERAL GRADING NOTES

1. INFORMATION PERTAINING TO UNDER GROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18", WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER / DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
3. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.
4. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.
5. RETAINING WALL(S) SHALL BE CONSTRUCTED TO EXTEND A MINIMUM OF 6 INCHES ABOVE THE TOP OF FINISHED GRADE. CONTRACTOR SHALL REFER TO THE RETAINING WALL PLAN(S) FOR CONSTRUCTION AND DESIGN SPECIFICATIONS. CONTRACTOR SHALL NOTIFY THE ENGINEER IF RETAINING WALL PLANS DIFFER FROM THIS.
6. ALL DISTURBED AREAS AND SLOPES SHALL BE GRADED SMOOTH AND (4") OF TOP SOIL APPLIED. THE AREA SHALL BE SEEDED AND WATERED UNTIL HARDY GRASS GROWTH HAS BEEN ESTABLISHED (SEE LANDSCAPING GENERAL NOTES FOR SEEDING MIX & SPECIFICATIONS).
7. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
8. REMOVE GOOD TOPSOIL FROM AREAS TO BE GRADED AND FILLED, AND PRESERVE IT FOR USE IN FINISHING THE GRADING OF ALL CRITICAL AREAS.
9. SCARIFY AREAS TO RECEIVE TOPSOIL TO A MINIMUM DEPTH OF 3 INCHES BEFORE PLACING TOPSOIL PER OWNER / DEVELOPER, CITY, AND / OR DOT STANDARDS AND SPECIFICATIONS.
10. CLEAR AND GRUB AREAS TO BE FILLED, REMOVE TREES, VEGETATION, ROOTS, DEBRIS, AND OTHER MATERIALS THAT WOULD AFFECT THE STABILITY OF THE FILL.
11. ENSURE THAT FILL MATERIAL IS FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER MATERIALS INAPPROPRIATE FOR CONSTRUCTING STABLE FILLS.
12. DO NOT INCORPORATE FROZEN MATERIAL OR SOFT, MUCK, OR HIGHLY COMPRESSIBLE MATERIALS INTO FILL SLOPES.
13. KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
14. PERMANENTLY STABILIZE ALL GRADED AREAS AFTER FINAL GRADING IS COMPLETED ON EACH AREA OF THE GRADING PLAN. APPLY TEMPORARY STABILIZATION MEASURES ON ALL GRADED AREAS WHEN WORK IS TO BE INTERRUPTED OR DELAYED (SEE EROSION CONTROL PLAN(S)).
15. ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
16. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO GRADING START.
17. SITE GRADING SHALL NOT PROCEED UNTIL PERIMETER EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
18. REFER TO GEOTECHNICAL REPORT FOR GENERAL DESCRIPTION OF SOIL STRATA AND INFORMATION ON EXISTING ROCK.

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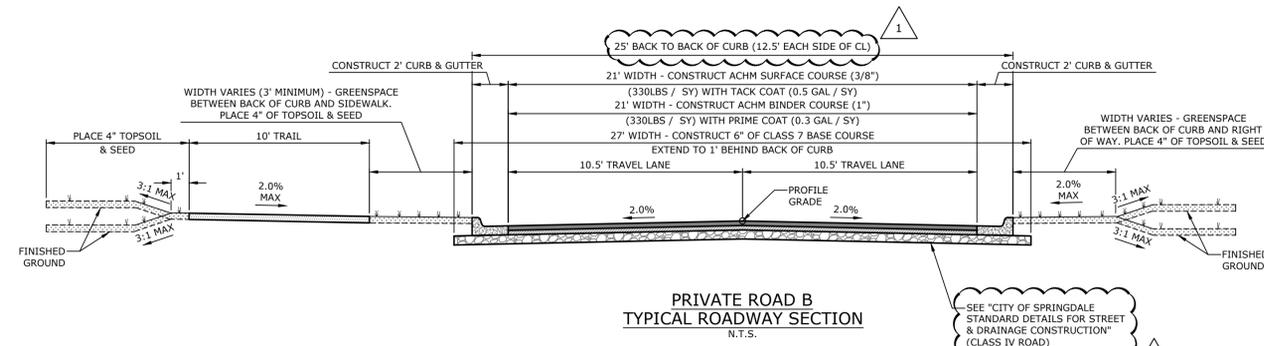
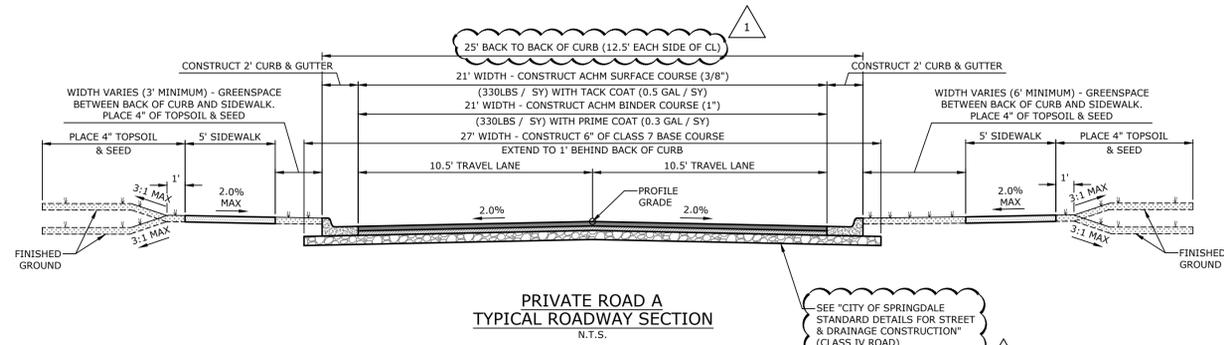
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| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

OVERALL GRADING PLAN

| | | | |
|--------------|-----------|-------------|---------|
| DESIGNED BY: | JAD | DRAWN BY: | JAD |
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| SCALE: | AS NOTED | JOB NUMBER: | 20-2104 |

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ROADWAY
TYPICAL
SECTIONS

| | |
|---------------------|------------------------|
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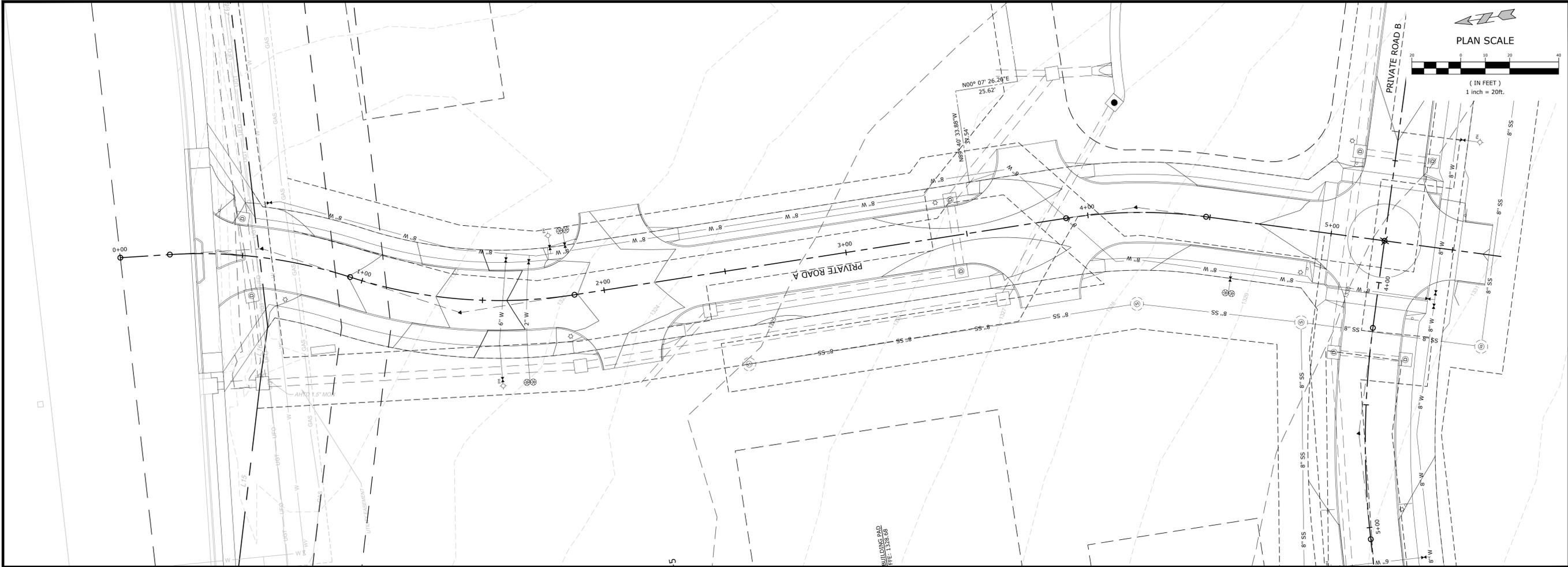


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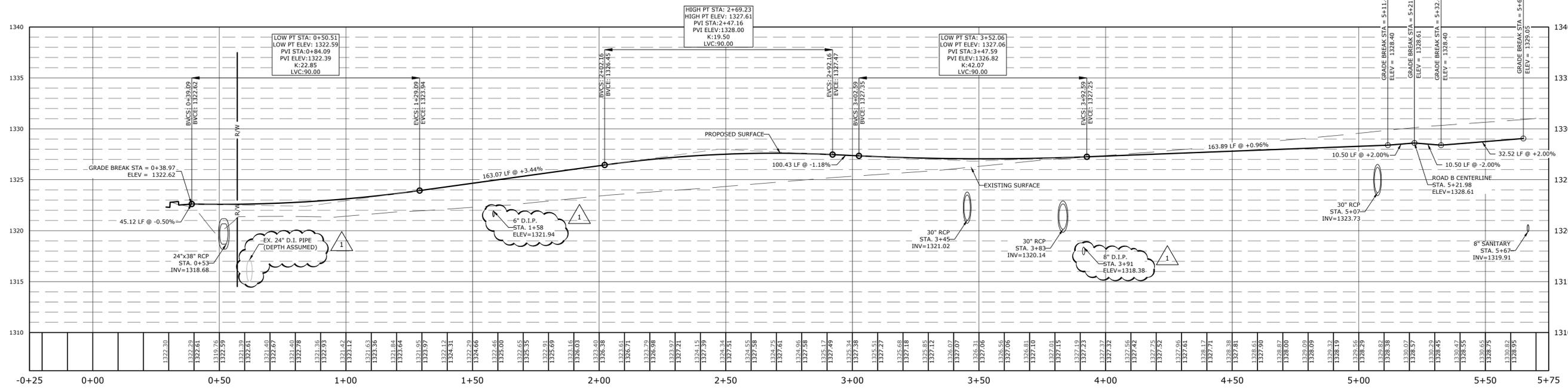
PRIVATE ROAD
 A P&P

| | |
|---------------------|------------------------|
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| DATE: 5/21/2020 | REVISION: REV-1 |
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PLAN SCALE

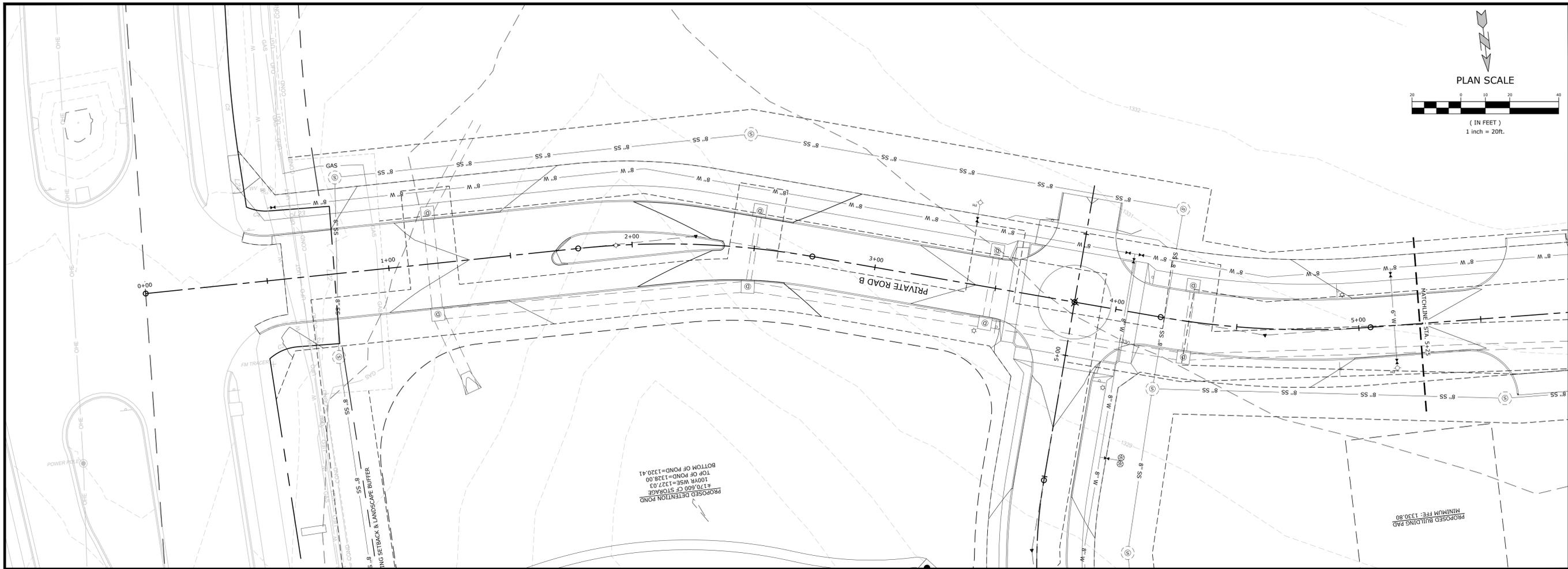


ROAD A CENTERLINE PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



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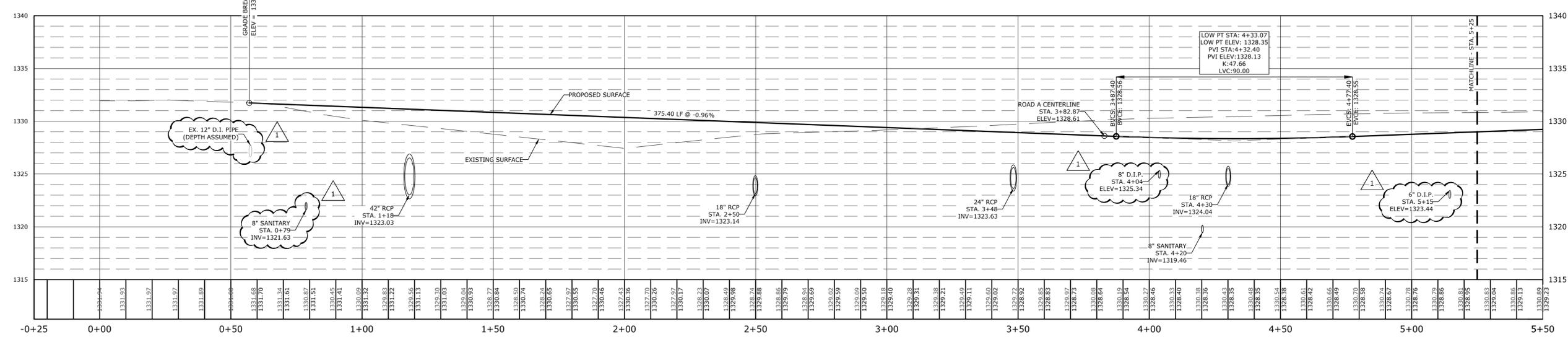
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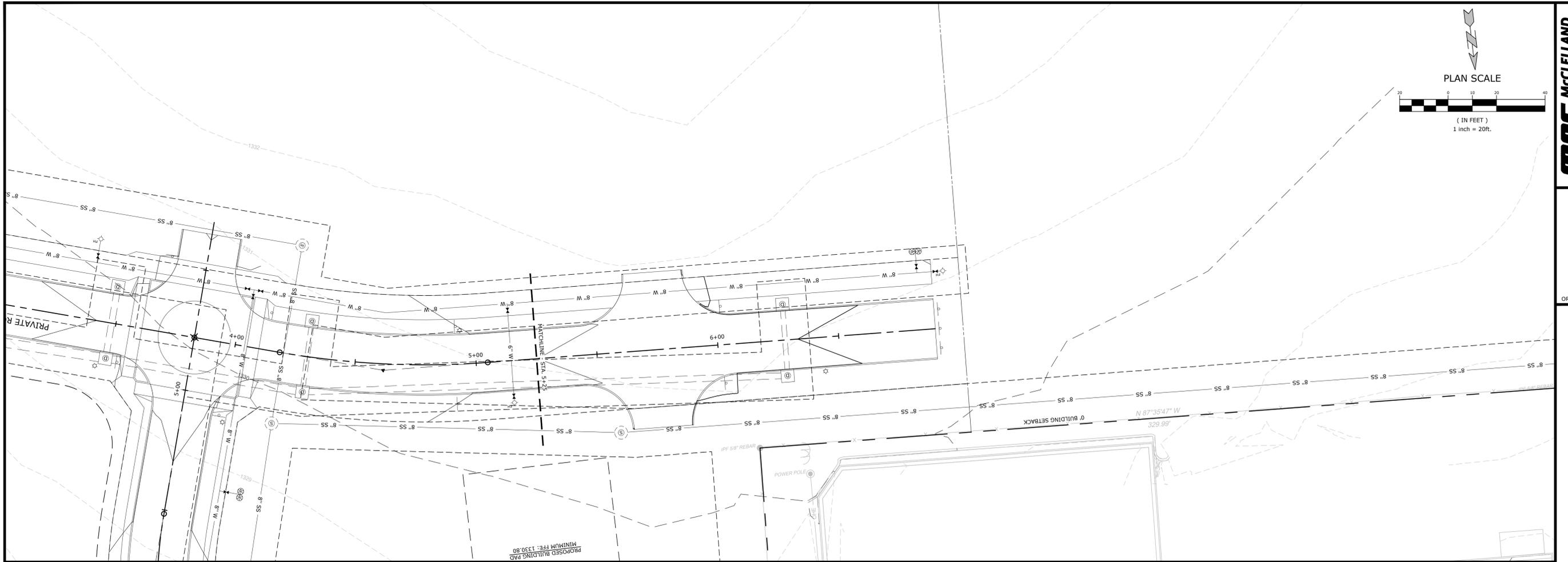
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PRIVATE ROAD
 B P&P STA.
 0+00 TO STA.
 5+25

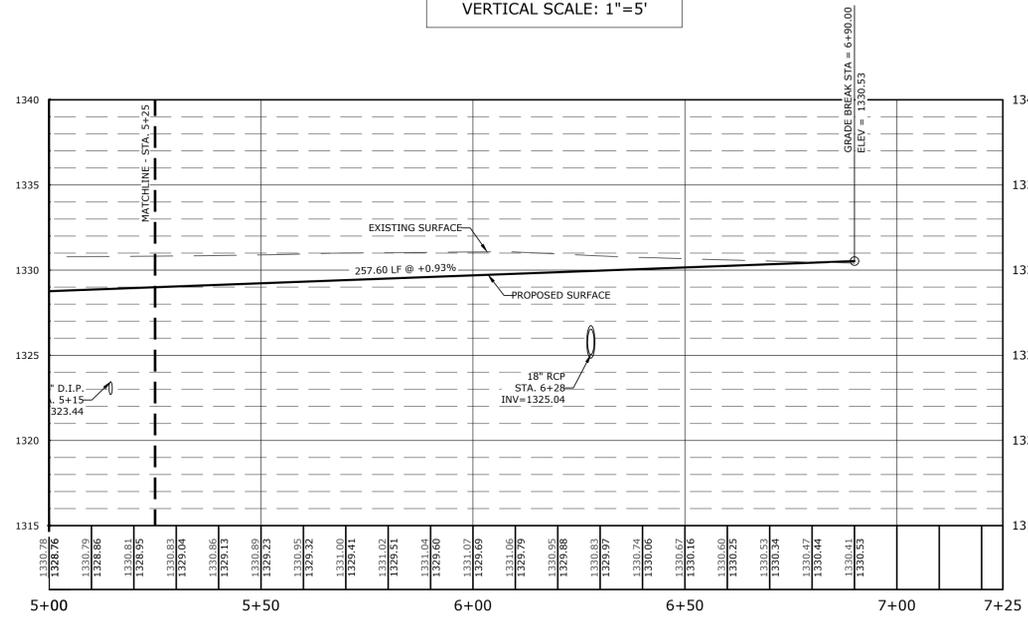
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 VERTICAL SCALE: 1"=5'



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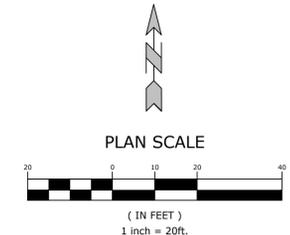
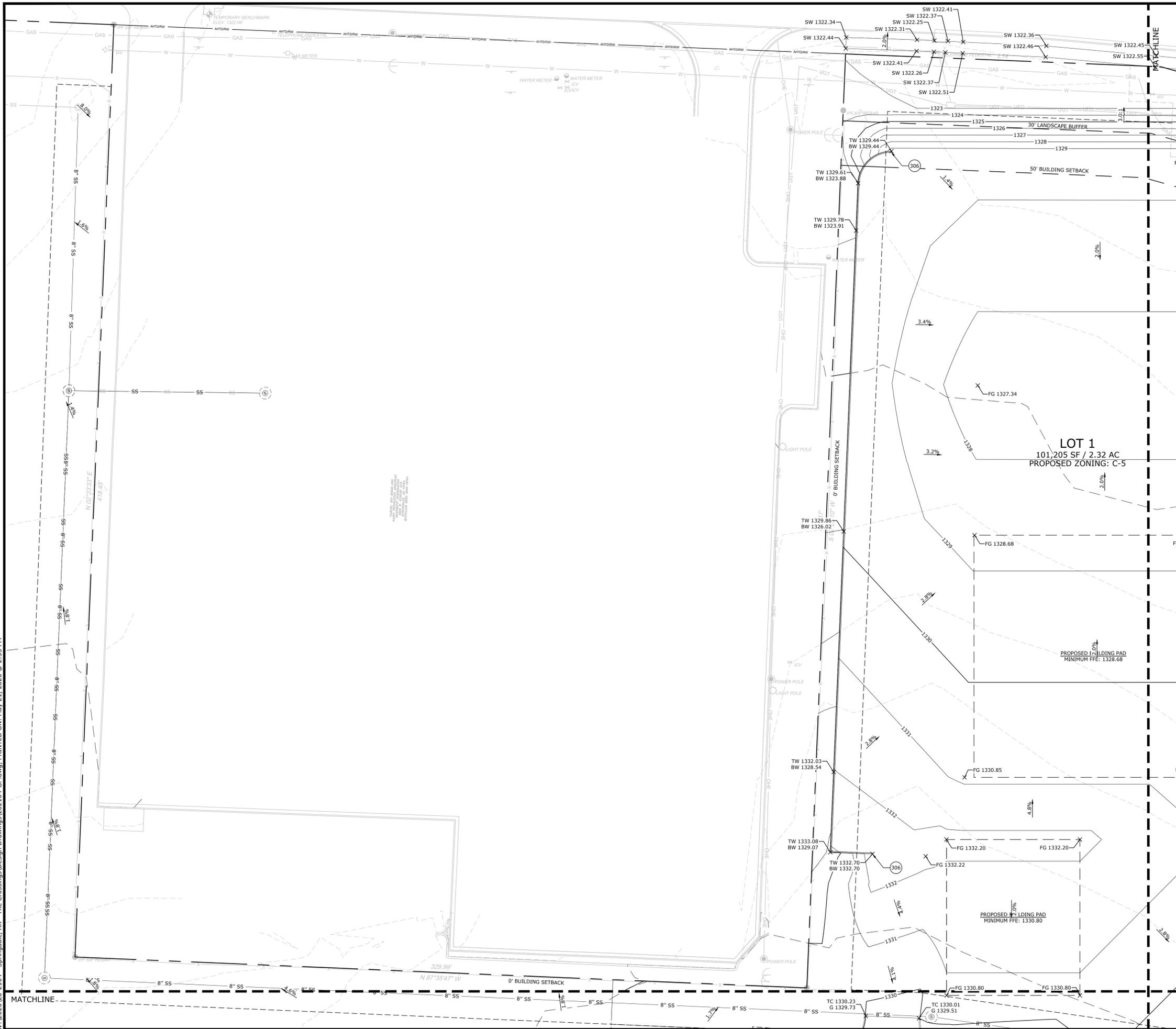


| REVISIONS | | DESCRIPTION | TECH/PLAT COMMENTS |
|-----------|-----------|-----------------|--------------------|
| REV | DATE | ADDRESSING CITY | |
| 1 | 5/21/2020 | | |

PRIVATE ROAD
 B P&P STA.
 5+25 TO END

| | |
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- EXISTING LEGEND**
- PROPERTY LINE
 - R/W RIGHT OF WAY
 - SS SANITARY SEWER LINE
 - W WATER LINE
 - G GAS LINE
 - UT UNDERGROUND TELEPHONE
 - UE UNDERGROUND ELECTRIC
 - UV UNDERGROUND TV
 - UFO UNDERGROUND FIBER OPTIC
 - COX UNDERGROUND COX CABLE
 - OHD OVERHEAD UTILITIES
 - X-X FENCE
 - DITCH FLOWLINE
 - FIRE HYDRANT
 - WATER METER
 - WATER VALVE
 - WATER FAUCET
 - SANITARY SEWER MH
 - CLEAN-OUT
 - DRAINAGE MH
 - POWER POLE
 - GUY WIRE WITH ANCHOR
 - GAS METER
 - LIGHT POLE
 - GROUND LIGHTS
 - PEDESTAL (AS NOTED)
 - SIGN (AS NOTED)
 - POST (AS NOTED)
 - FOUND IRON PIN
 - CONTROL POINT
- PROPOSED LEGEND**
- GRADE BREAK
 - FLOWLINE
 - XXX CONTOUR ELEVATION
 - STORM DRAIN
 - CATCH BASIN
 - SANITARY SEWER MANHOLE
 - FLARED END SECTION
 - FLOW ARROW
 - X% X% XX
 - SPOT ELEVATIONS
 - FG = FINISHED GRADE
 - FFE = FINISHED FLOOR ELEVATION
 - TW = TOP OF WALL @ FINISHED GRADE
 - TC = TOP OF CURB @ FINISHED GRADE
 - BW = BOTTOM OF WALL @ FINISHED GRADE
 - G = GUTTER @ FINISHED GRADE
- GRADING KEYNOTES**
- 305 MATCH EXISTING PAVEMENT ELEVATIONS
 - 306 LIMITS OF RETAINING WALL

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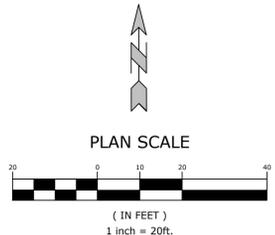
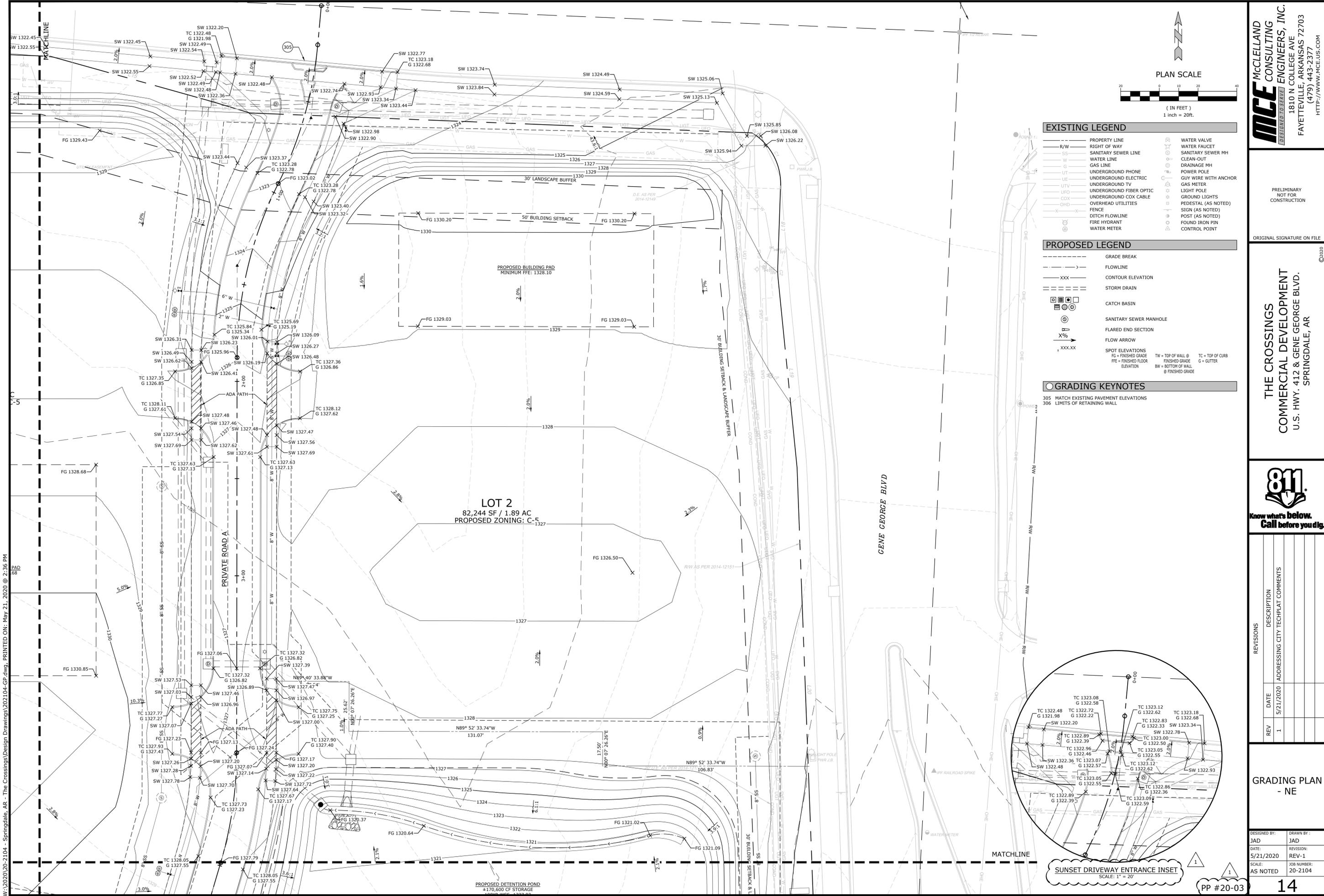


| REV | DATE | DESCRIPTION | ADDRESSING CITY TECHPLAT COMMENTS |
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GRADING PLAN - NW

| | |
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PP #20-03



EXISTING LEGEND

| | | | |
|-----|-----------------------------|---|----------------------|
| --- | PROPERTY LINE | ○ | WATER VALVE |
| --- | R/W RIGHT OF WAY | ○ | WATER FAUCET |
| --- | SS SANITARY SEWER LINE | ○ | SANITARY SEWER MH |
| --- | W WATER LINE | ○ | CLEAN-OUT |
| --- | G GAS LINE | ○ | DRAINAGE MH |
| --- | UT UNDERGROUND PHONE | ○ | POWER POLE |
| --- | UE UNDERGROUND ELECTRIC | ○ | GUY WIRE WITH ANCHOR |
| --- | UTV UNDERGROUND TV | ○ | GAS METER |
| --- | UFO UNDERGROUND FIBER OPTIC | ○ | LIGHT POLE |
| --- | COX UNDERGROUND COX CABLE | ○ | GROUND LIGHTS |
| --- | OHD OVERHEAD UTILITIES | ○ | PEDESTAL (AS NOTED) |
| --- | FENCE | ○ | SIGN (AS NOTED) |
| --- | DITCH FLOWLINE | ○ | POST (AS NOTED) |
| --- | FIRE HYDRANT | ○ | FOUND IRON PIN |
| --- | WATER METER | ○ | CONTROL POINT |

PROPOSED LEGEND

| | | | |
|-----|----------------------|---|--------------------------------|
| --- | GRADE BREAK | ○ | SANITARY SEWER MANHOLE |
| --- | FLOWLINE | ○ | FLARED END SECTION |
| --- | CONTOUR ELEVATION | ○ | FLOW ARROW |
| --- | STORM DRAIN | ○ | SPOT ELEVATIONS |
| --- | CATCH BASIN | ○ | FG = FINISHED GRADE |
| --- | WATER VALVE | ○ | FFE = FINISHED FLOOR ELEVATION |
| --- | WATER FAUCET | ○ | TW = TOP OF WALL |
| --- | SANITARY SEWER MH | ○ | TC = TOP OF CURB |
| --- | CLEAN-OUT | ○ | FW = FINISHED GRADE |
| --- | DRAINAGE MH | ○ | FW = FINISHED GRADE |
| --- | POWER POLE | ○ | FW = FINISHED GRADE |
| --- | GUY WIRE WITH ANCHOR | ○ | FW = FINISHED GRADE |
| --- | GAS METER | ○ | FW = FINISHED GRADE |
| --- | LIGHT POLE | ○ | FW = FINISHED GRADE |
| --- | GROUND LIGHTS | ○ | FW = FINISHED GRADE |
| --- | PEDESTAL (AS NOTED) | ○ | FW = FINISHED GRADE |
| --- | SIGN (AS NOTED) | ○ | FW = FINISHED GRADE |
| --- | POST (AS NOTED) | ○ | FW = FINISHED GRADE |
| --- | FOUND IRON PIN | ○ | FW = FINISHED GRADE |
| --- | CONTROL POINT | ○ | FW = FINISHED GRADE |

GRADING KEYNOTES

| | |
|-----|------------------------------------|
| 305 | MATCH EXISTING PAVEMENT ELEVATIONS |
| 306 | LIMITS OF RETAINING WALL |

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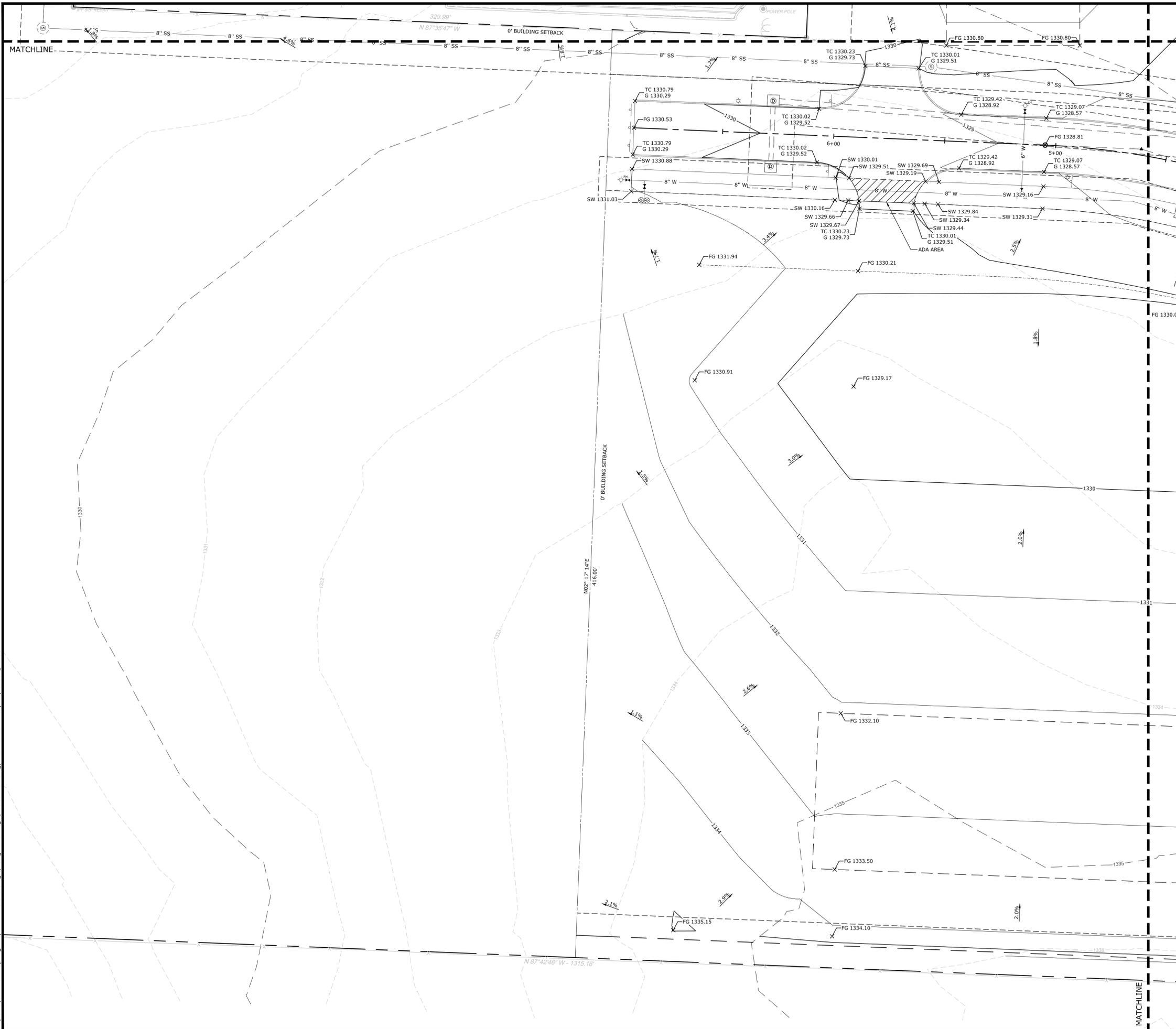
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GRADING PLAN - NE

| | | | |
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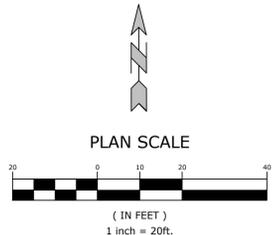
- PROPERTY LINE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- W WATER LINE
- G GAS LINE
- UT UNDERGROUND ELECTRIC
- UTV UNDERGROUND TV
- UFO UNDERGROUND FIBER OPTIC
- COX UNDERGROUND COX CABLE
- OHD OVERHEAD UTILITIES
- FENCE
- DITCH FLOWLINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER FAUCET
- SANITARY SEWER MH
- CLEAN-OUT
- DRAINAGE MH
- POWER POLE
- GUY WIRE WITH ANCHOR
- GAS METER
- UNDERGROUND TV
- GROUND LIGHTS
- PEDESTAL (AS NOTED)
- SIGN (AS NOTED)
- POST (AS NOTED)
- FOUND IRON PIN
- CONTROL POINT

PROPOSED LEGEND

- GRADE BREAK
- FLOWLINE
- CONTOUR ELEVATION
- STORM DRAIN
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FLARED END SECTION
- FLOW ARROW
- SPOT ELEVATIONS
- FG = FINISHED GRADE
- FF = FINISHED FLOOR ELEVATION
- TW = TOP OF WALL @ FINISHED GRADE
- TC = TOP OF CURB @ FINISHED GRADE
- BW = BOTTOM OF WALL @ FINISHED GRADE
- G = GUTTER

GRADING KEYNOTES

- 305 MATCH EXISTING PAVEMENT ELEVATIONS
- 306 LIMITS OF RETAINING WALL



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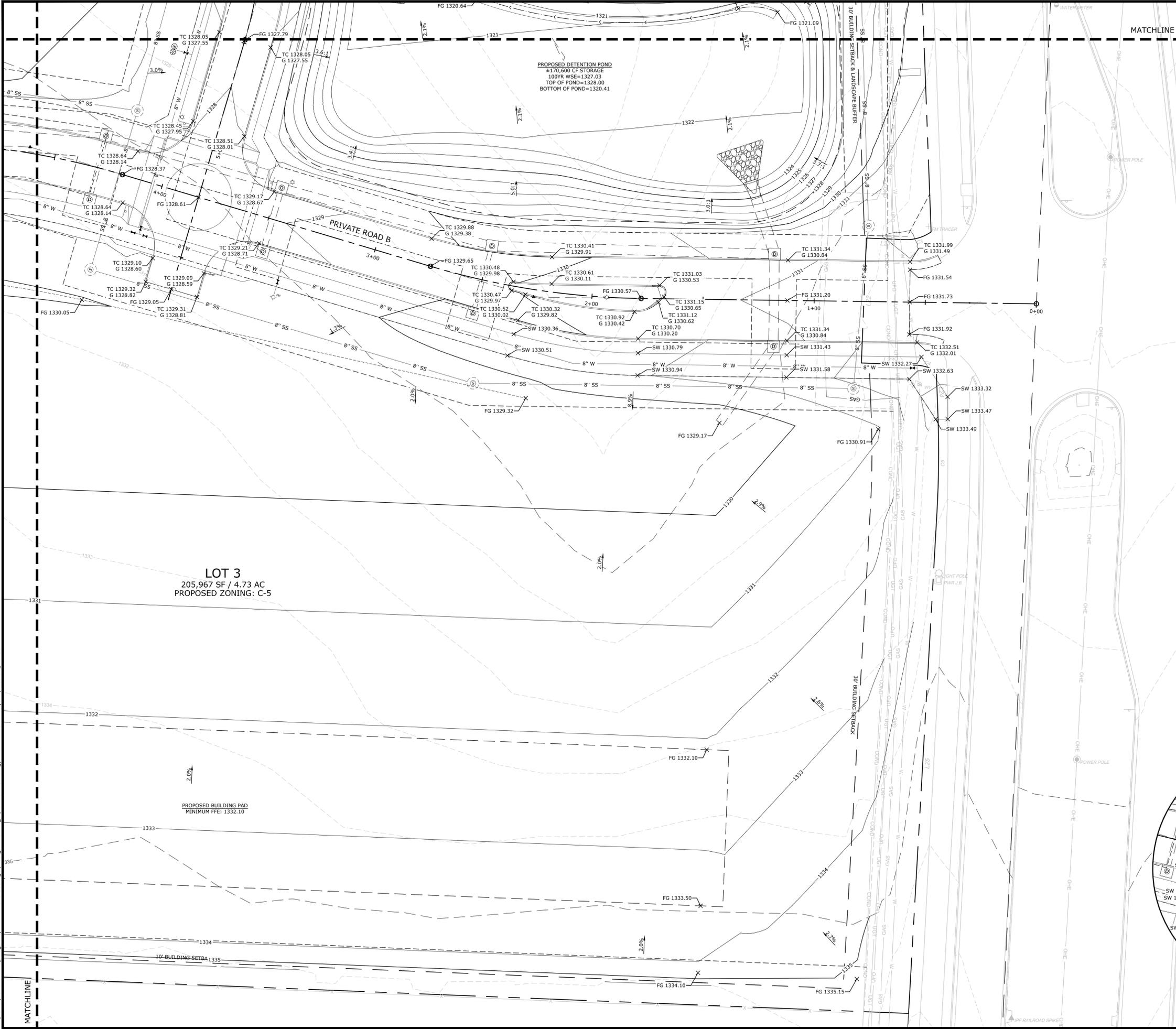


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GRADING PLAN - SW

| | |
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LOT 3
205,967 SF / 4.73 AC
PROPOSED ZONING: C-5

PROPOSED DETENTION POND
= 170,600 CF STORAGE
100YR WSE=1327.03
TOP OF POND=1328.00
BOTTOM OF POND=1320.41

PROPOSED BUILDING PAD
MINIMUM FFE: 1332.10

EXISTING LEGEND

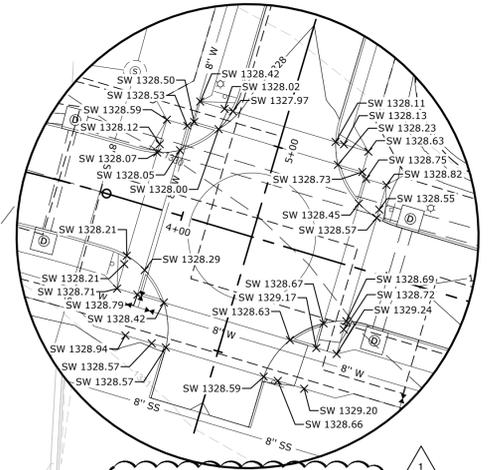
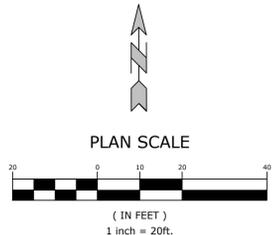
- PROPERTY LINE
- - - R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- W WATER LINE
- G GAS LINE
- UT UNDERGROUND PHONE
- UE UNDERGROUND ELECTRIC
- UTV UNDERGROUND TV
- UFO UNDERGROUND FIBER OPTIC
- COX UNDERGROUND COX CABLE
- OHD OVERHEAD UTILITIES
- X-X FENCE
- DITCH FLOWLINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER FAUCET
- SANITARY SEWER MH
- CLEAN-OUT
- DRAINAGE MH
- POWER POLE
- GUY WIRE WITH ANCHOR
- GAS METER
- LIGHT POLE
- GROUND LIGHTS
- PEDESTAL (AS NOTED)
- SIGN (AS NOTED)
- POST (AS NOTED)
- FOUND IRON PIN
- CONTROL POINT

PROPOSED LEGEND

- GRADE BREAK
- FLOWLINE
- XXX CONTOUR ELEVATION
- STORM DRAIN
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FLARED END SECTION
- FLOW ARROW
- SPOT ELEVATIONS
FG = FINISHED GRADE
FFE = FINISHED FLOOR ELEVATION
- TW = TOP OF WALL @
FINISHED GRADE
BW = BOTTOM OF WALL @
FINISHED GRADE
- TC = TOP OF CURB
G = GUTTER

GRADING KEYNOTES

- 305 MATCH EXISTING PAVEMENT ELEVATIONS
- 306 LIMITS OF RETAINING WALL



ROADS A & B INTERSECTION INSET
SCALE: 1" = 20'

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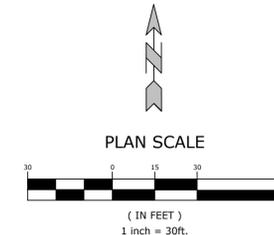
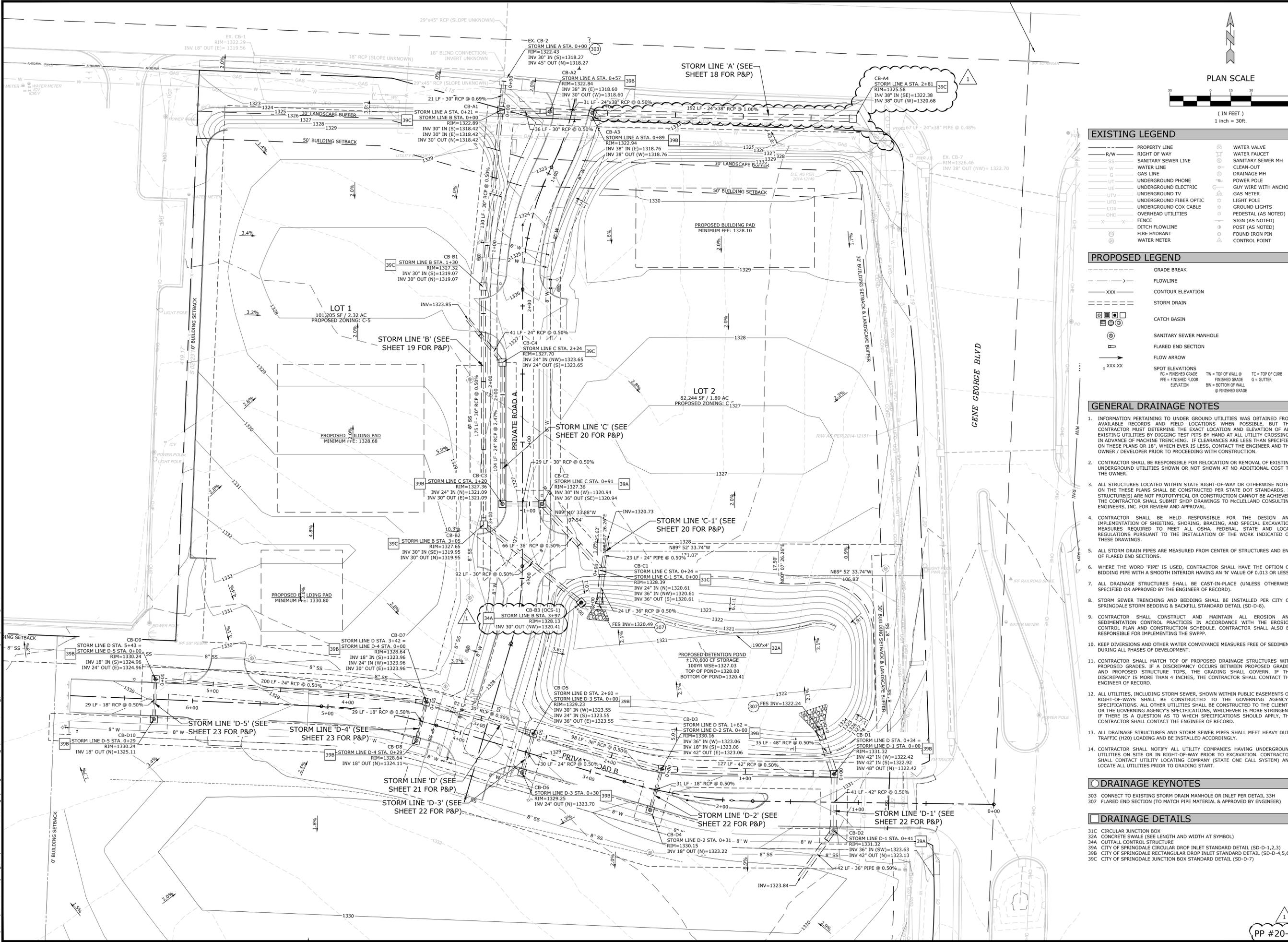
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GRADING PLAN - SE

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EXISTING LEGEND

| | | | |
|-----|-------------------------|---|----------------------|
| --- | PROPERTY LINE | ○ | WATER VALVE |
| R/W | RIGHT OF WAY | ○ | WATER FAUCET |
| SS | SANITARY SEWER LINE | ○ | SANITARY SEWER MH |
| W | WATER LINE | ○ | CLEAN-OUT |
| G | GAS LINE | ○ | DRAINAGE MH |
| UT | UNDERGROUND PHONE | ○ | POWER POLE |
| UTE | UNDERGROUND ELECTRIC | ○ | GUY WIRE WITH ANCHOR |
| UTV | UNDERGROUND TV | ○ | GAS METER |
| UFO | UNDERGROUND FIBER OPTIC | ○ | LIGHT POLE |
| COX | UNDERGROUND COX CABLE | ○ | GROUND LIGHTS |
| OHD | OVERHEAD UTILITIES | ○ | PEDESTAL (AS NOTED) |
| X | FENCE | ○ | SIGN (AS NOTED) |
| ○ | DITCH FLOWLINE | ○ | POST (AS NOTED) |
| ○ | FIRE HYDRANT | ○ | FOUND IRON PIN |
| ○ | WATER METER | ○ | CONTROL POINT |

PROPOSED LEGEND

| | |
|-----------|------------------------|
| --- | GRADE BREAK |
| --- | FLOWLINE |
| XXX | CONTOUR ELEVATION |
| --- | STORM DRAIN |
| ○ | CATCH BASIN |
| ○ | SANITARY SEWER MANHOLE |
| ○ | FLARED END SECTION |
| → | FLOW ARROW |
| XXX.XX | SPOT ELEVATIONS |
| FG | FINISHED GRADE |
| FFE | FLOOR FINISHED GRADE |
| ELEVATION | ELEVATION |
| TW | TOP OF WALL |
| TC | TOP OF CURB |
| G | GUTTER |
| BW | BOTTOM OF WALL |
| ○ | FINISHED GRADE |
| ○ | FINISHED GRADE |

GENERAL DRAINAGE NOTES

- INFORMATION PERTAINING TO UNDER GROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS IN ADVANCE OF MACHINE TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THESE PLANS OR 18", WHICH EVER IS LESS, CONTACT THE ENGINEER AND THE OWNER / DEVELOPER PRIOR TO PROCEEDING WITH CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
- ALL STRUCTURES LOCATED WITHIN STATE RIGHT-OF-WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED PER STATE DOT STANDARDS. IF STRUCTURE(S) ARE NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO MCLELLAND CONSULTING ENGINEERS, INC. FOR REVIEW AND APPROVAL.
- CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS.
- ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND END OF FLARED END SECTIONS.
- WHERE THE WORD 'PIPE' IS USED, CONTRACTOR SHALL HAVE THE OPTION OF BIDDING PIPE WITH A SMOOTH INTERIOR HAVING AN 'N' VALUE OF 0.013 OR LESS.
- ALL DRAINAGE STRUCTURES SHALL BE CAST-IN-PLACE (UNLESS OTHERWISE SPECIFIED OR APPROVED BY THE ENGINEER OF RECORD).
- STORM SEWER TRENCHING AND BEDDING SHALL BE INSTALLED PER CITY OF SPRINGDALE STORM BEDDING & BACKFILL STANDARD DETAIL (SD-D-8).
- CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL PRACTICES IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND CONSTRUCTION SCHEDULE. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
- KEEP DIVERSIONS AND OTHER WATER CONVEYANCE MEASURES FREE OF SEDIMENT DURING ALL PHASES OF DEVELOPMENT.
- CONTRACTOR SHALL MATCH TOP OF PROPOSED DRAINAGE STRUCTURES WITH PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN 4 INCHES, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- ALL UTILITIES, INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT-OF-WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S OR THE GOVERNING AGENCY'S SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES HAVING UNDERGROUND UTILITIES ON SITE OR IN RIGHT-OF-WAY PRIOR TO EXCAVATION. CONTRACTOR SHALL CONTACT UTILITY LOCATING COMPANY (STATE ONE CALL SYSTEM) AND LOCATE ALL UTILITIES PRIOR TO GRADING START.

DRAINAGE KEYNOTES

- 303 CONNECT TO EXISTING STORM DRAIN MANHOLE OR INLET PER DETAIL 33H
- 307 FLARED END SECTION (TO MATCH PIPE MATERIAL & APPROVED BY ENGINEER)

DRAINAGE DETAILS

- 31C CIRCULAR JUNCTION BOX
- 32A CONCRETE SWALE (SEE LENGTH AND WIDTH AT SYMBOL)
- 34A OUTFALL CONTROL STRUCTURE
- 39A CITY OF SPRINGDALE CIRCULAR DROP INLET STANDARD DETAIL (SD-D-1,2,3)
- 39B CITY OF SPRINGDALE RECTANGULAR DROP INLET STANDARD DETAIL (SD-D-4,5,6)
- 39C CITY OF SPRINGDALE JUNCTION BOX STANDARD DETAIL (SD-D-7)

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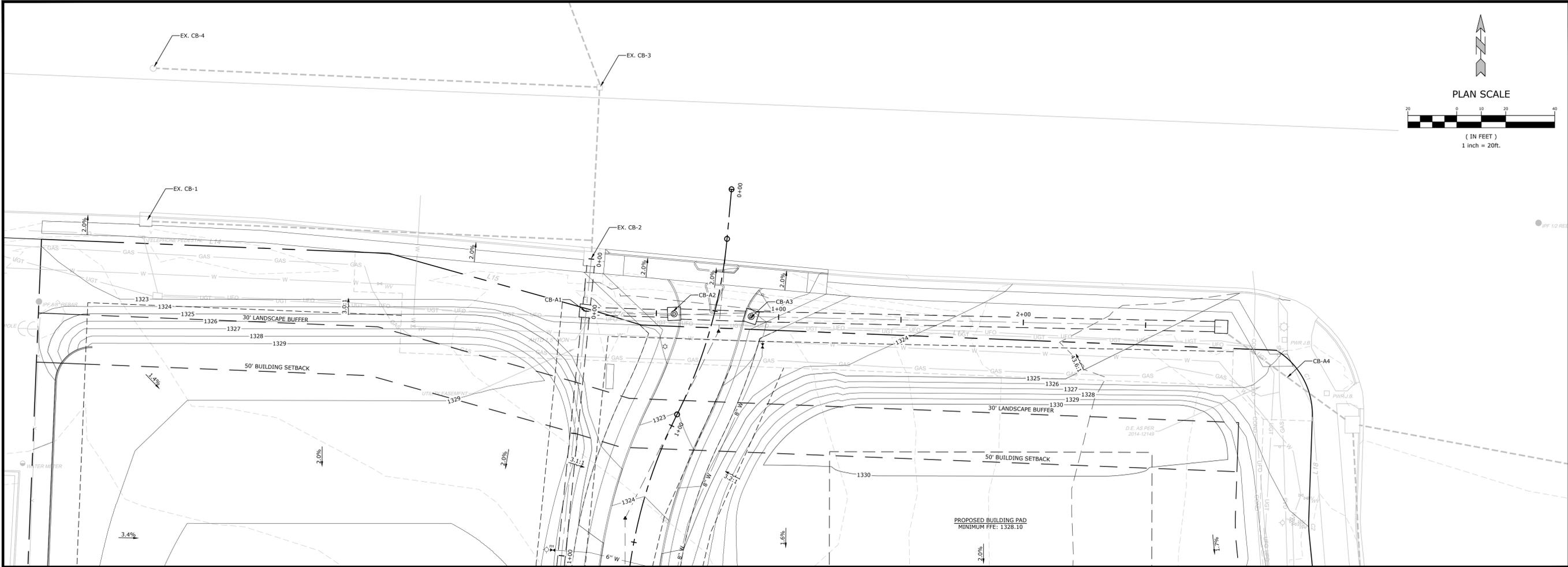
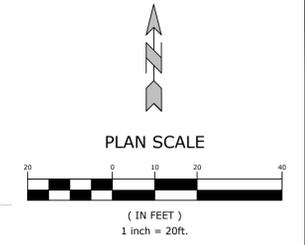
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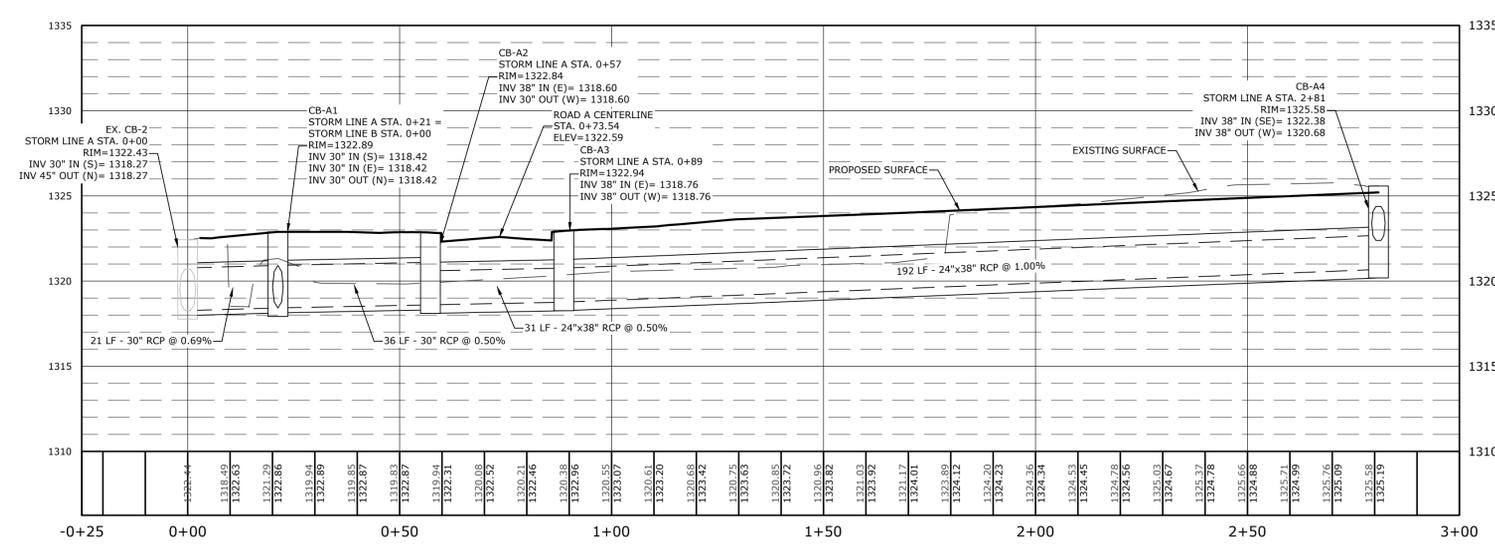
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DRAINAGE PLAN

| | | | |
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STORM LINE A PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



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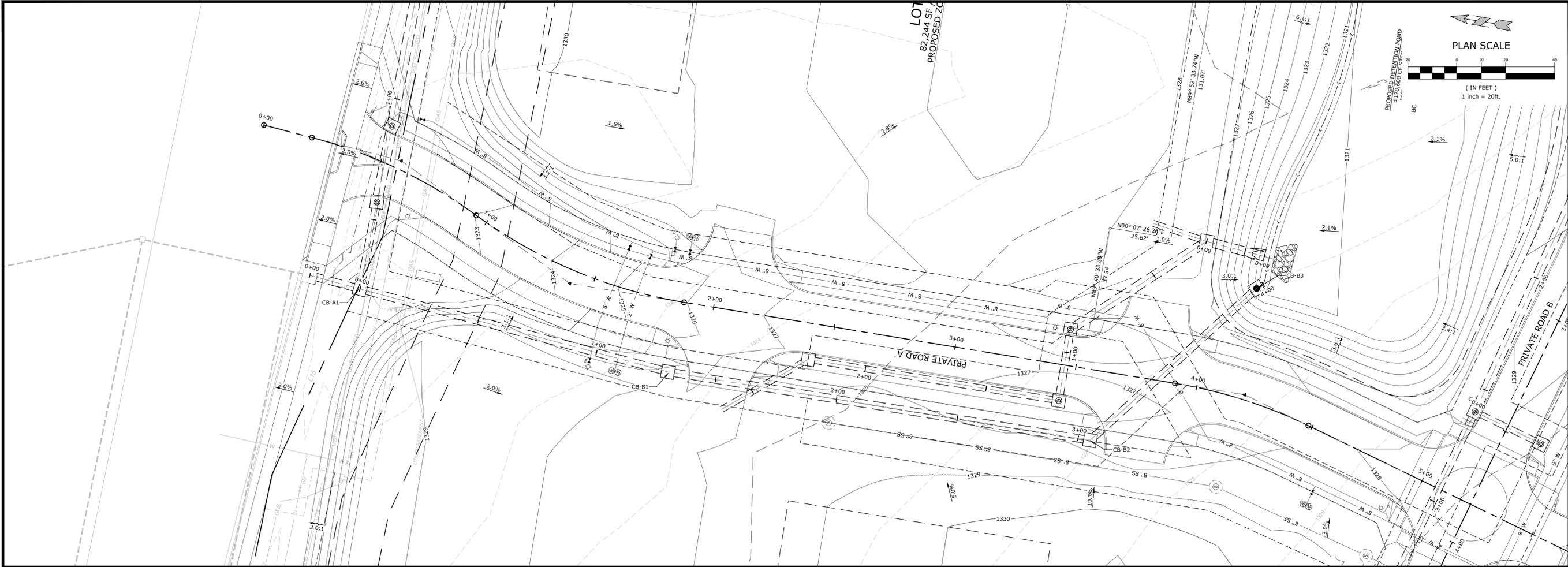
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STORM LINE
 'A' P&P

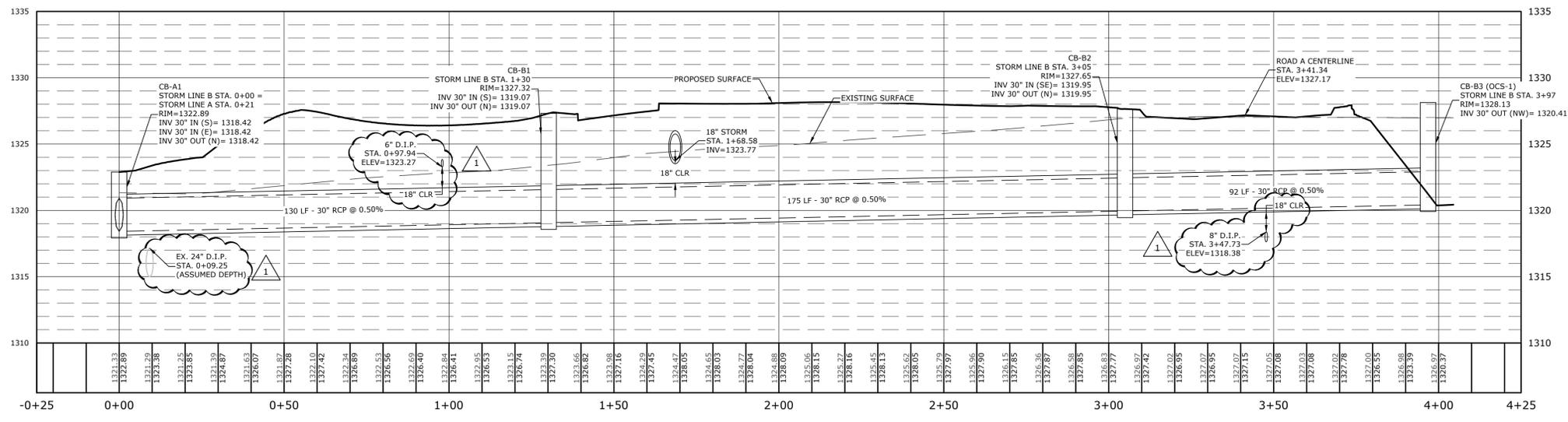
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STORM LINE B PROFILE
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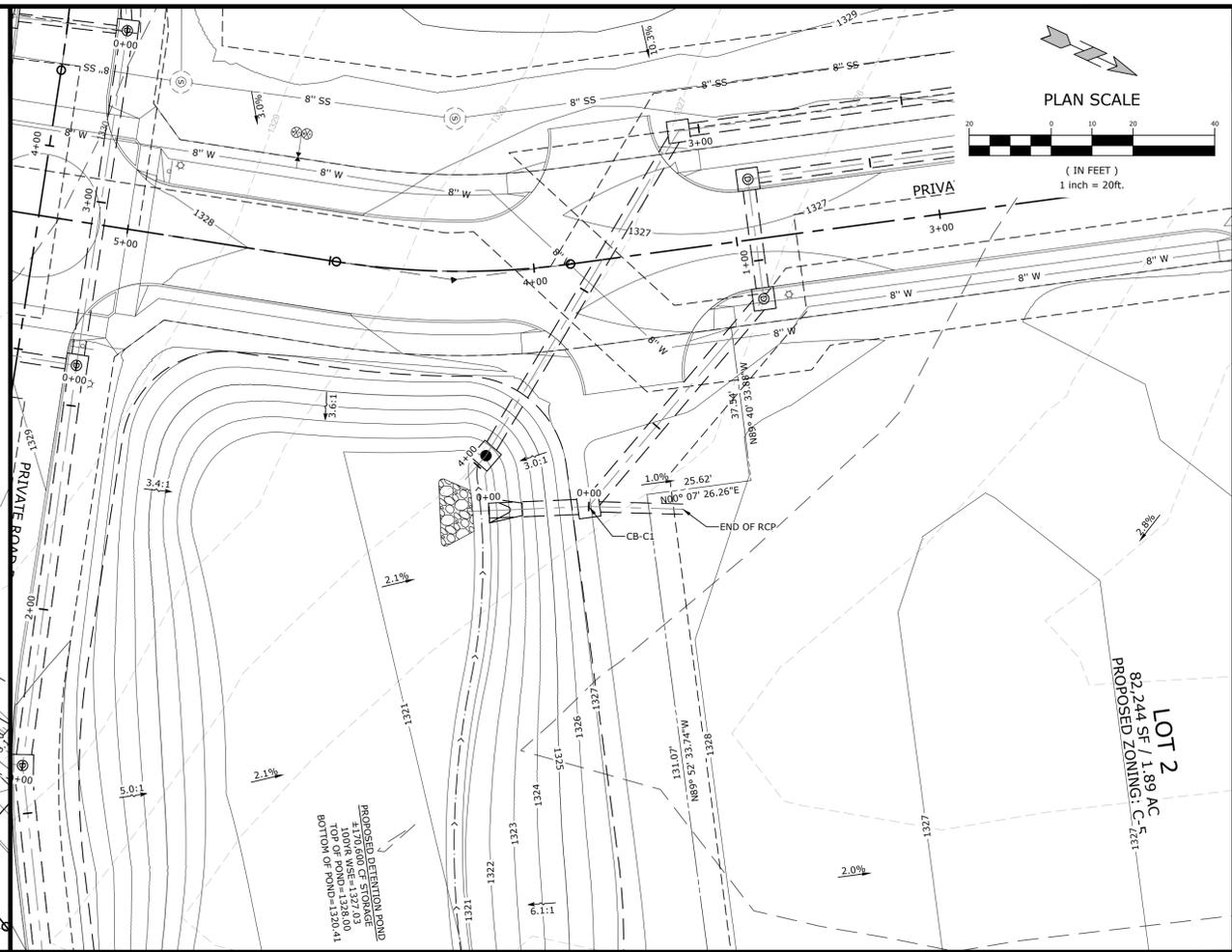
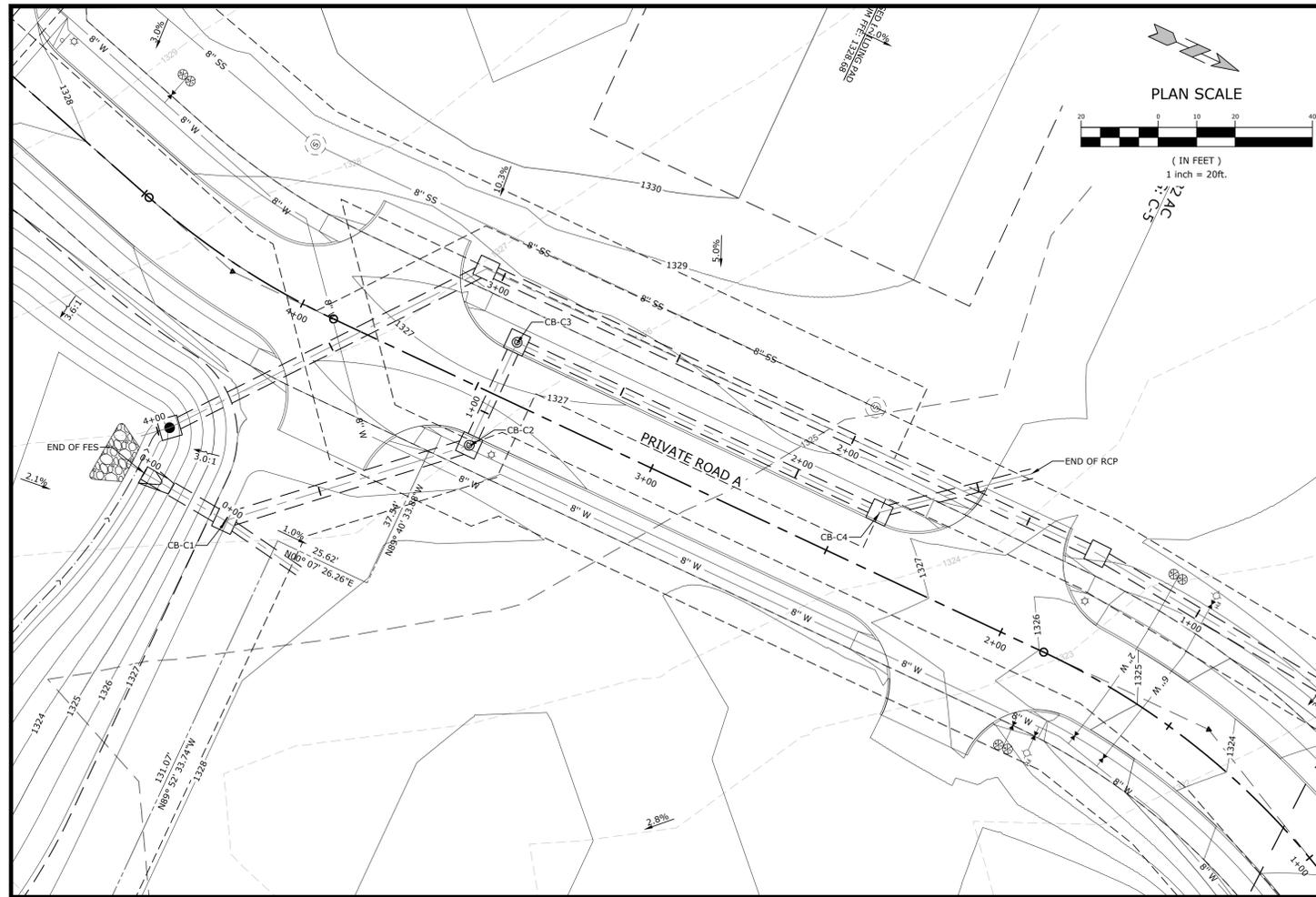
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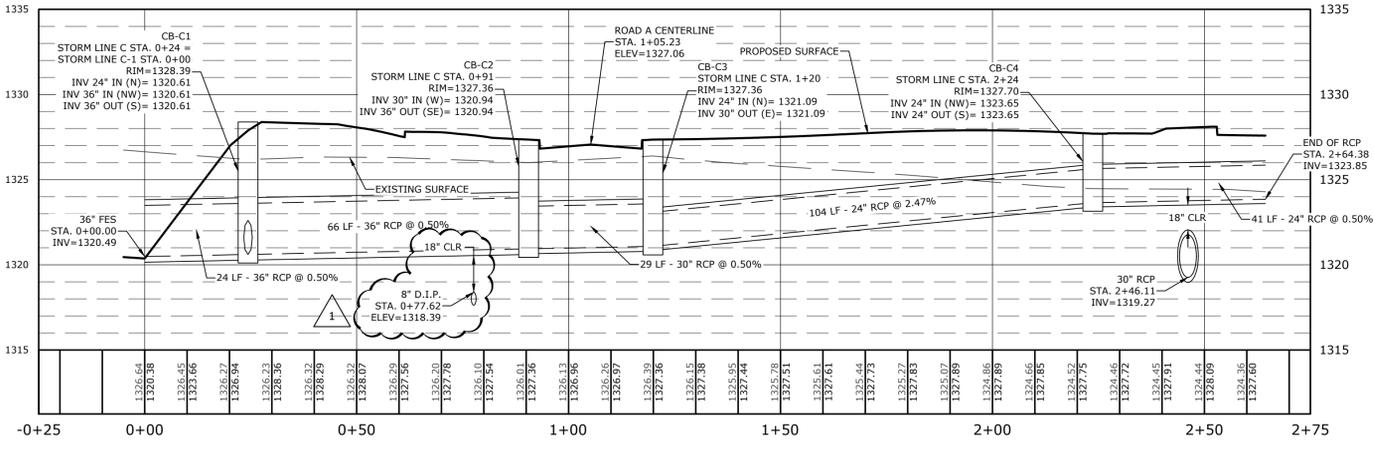
STORM LINE
 'B' P&P

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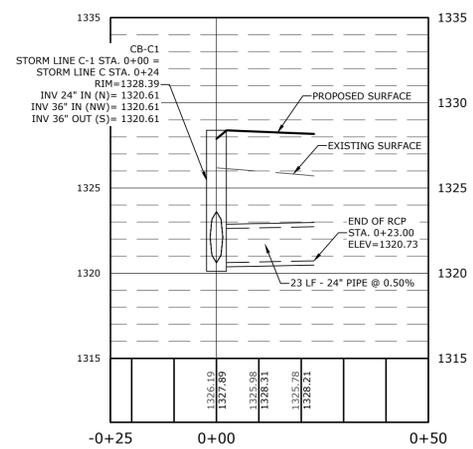
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STORM LINE C PROFILE
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VERTICAL SCALE: 1"=5'



STORM LINE C-1 PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



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STORM LINE
'C' & 'C-1' P&P

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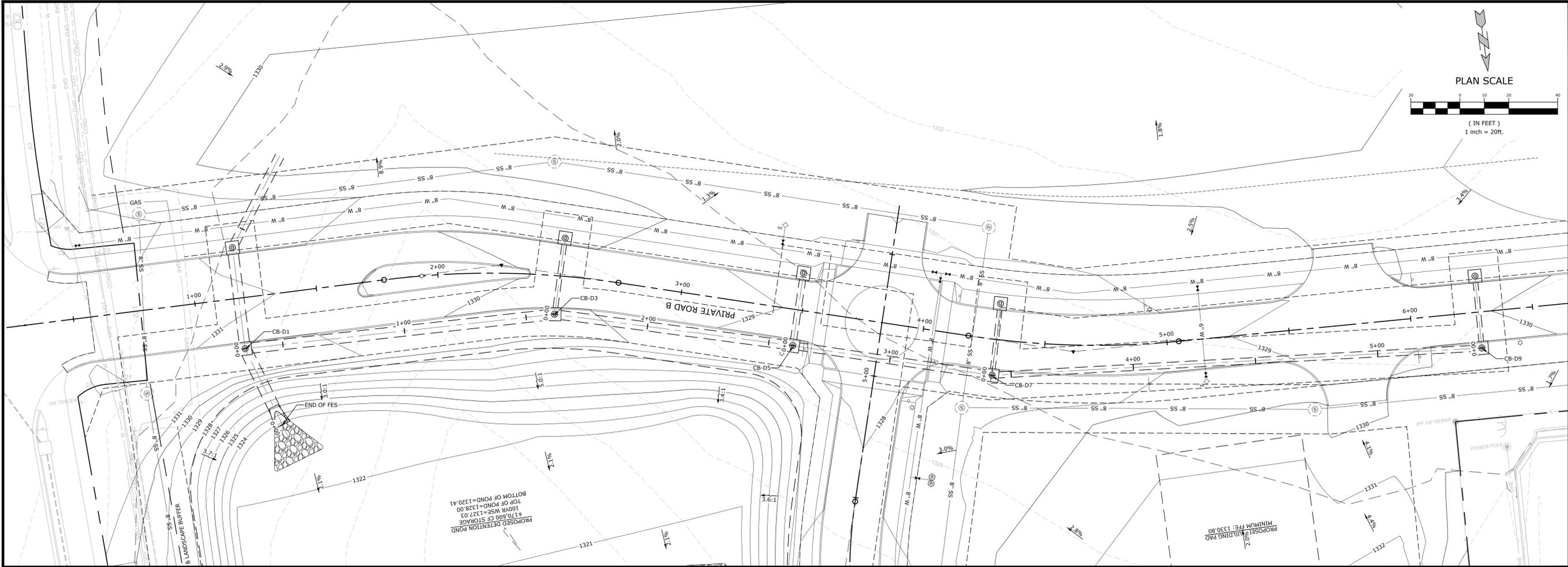
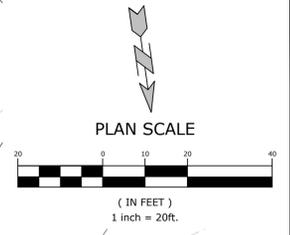
PP #20-03

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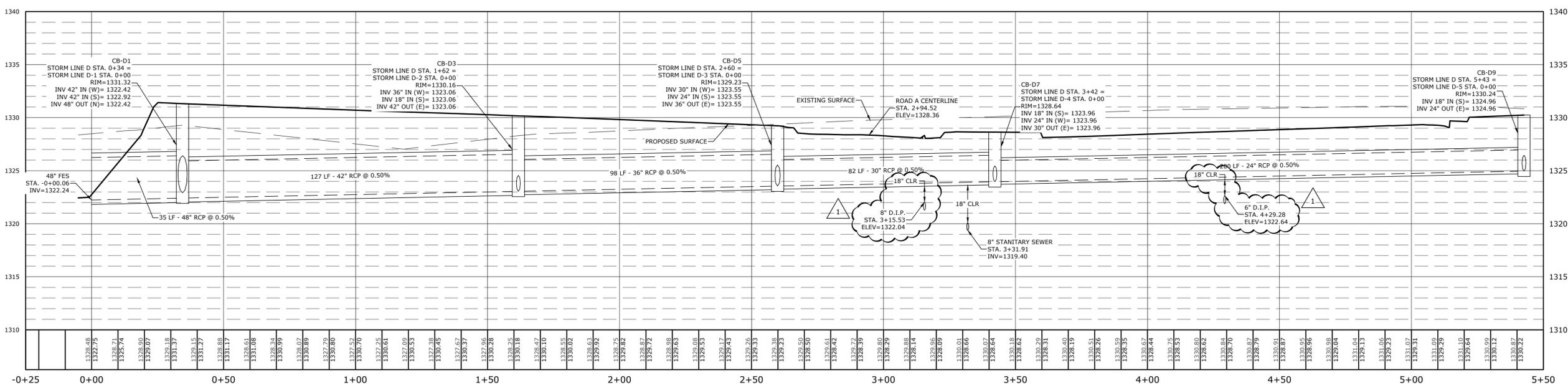
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STORM LINE D PROFILE
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 VERTICAL SCALE: 1"=5'



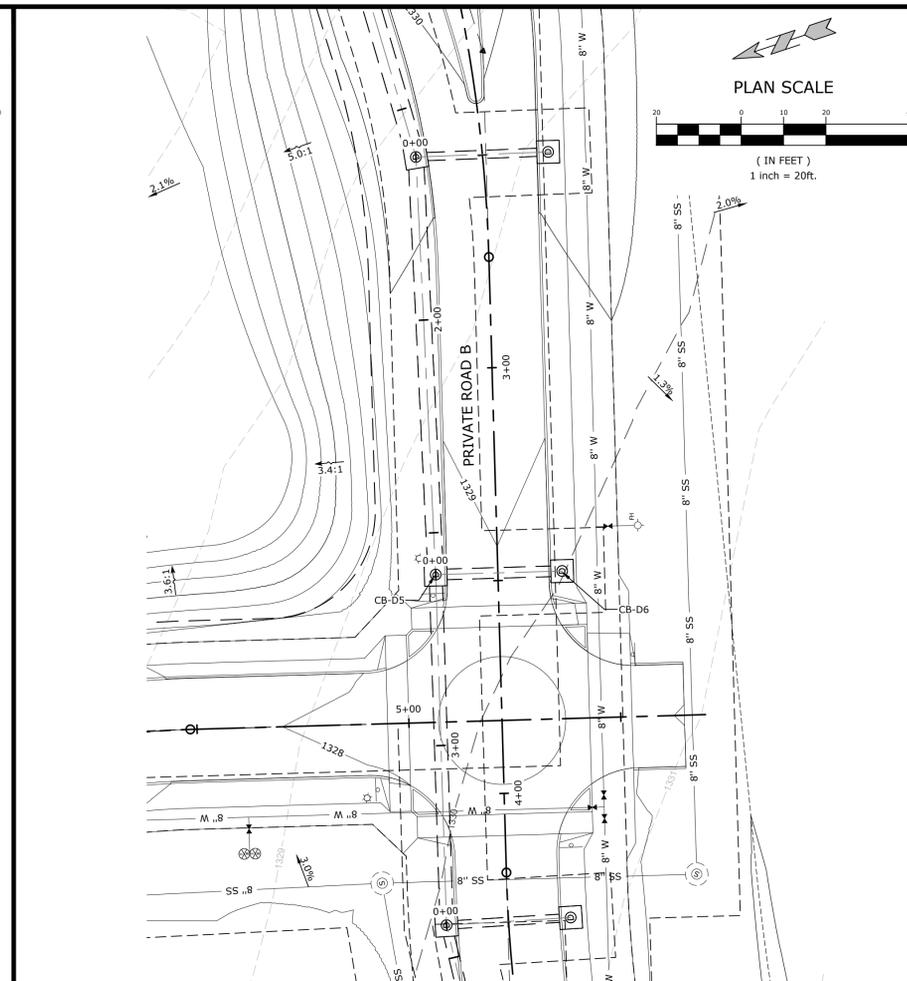
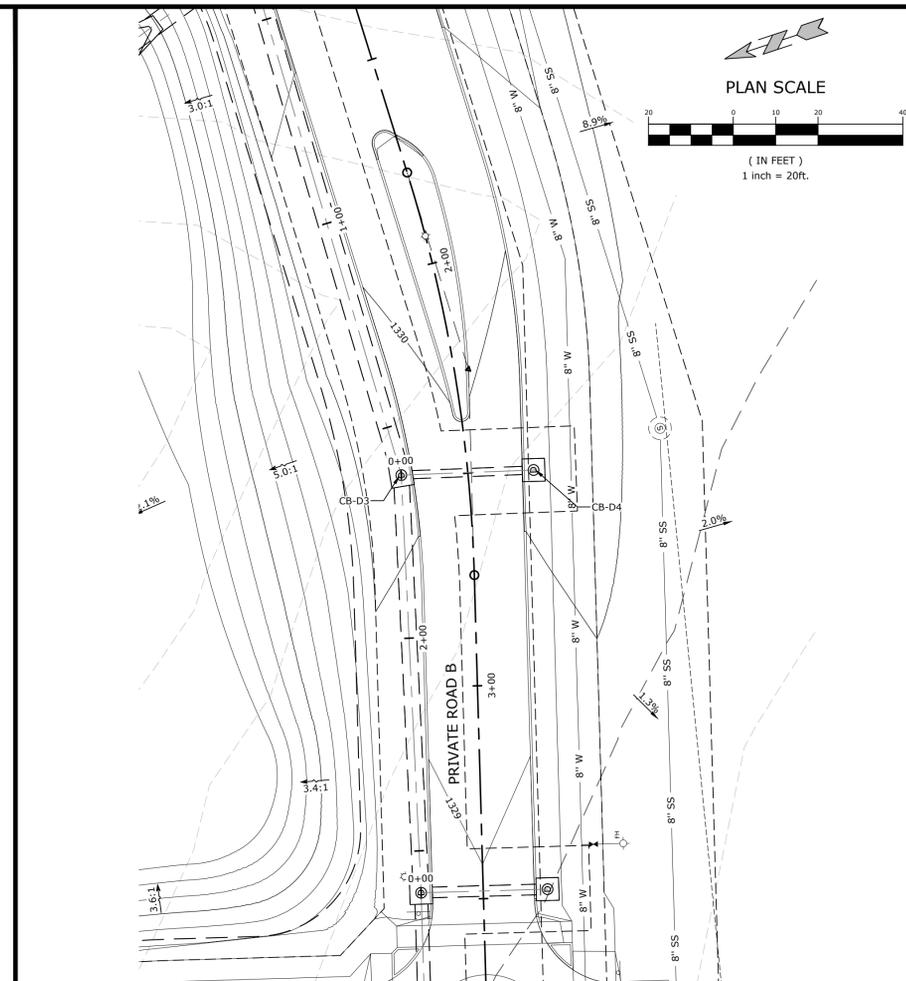
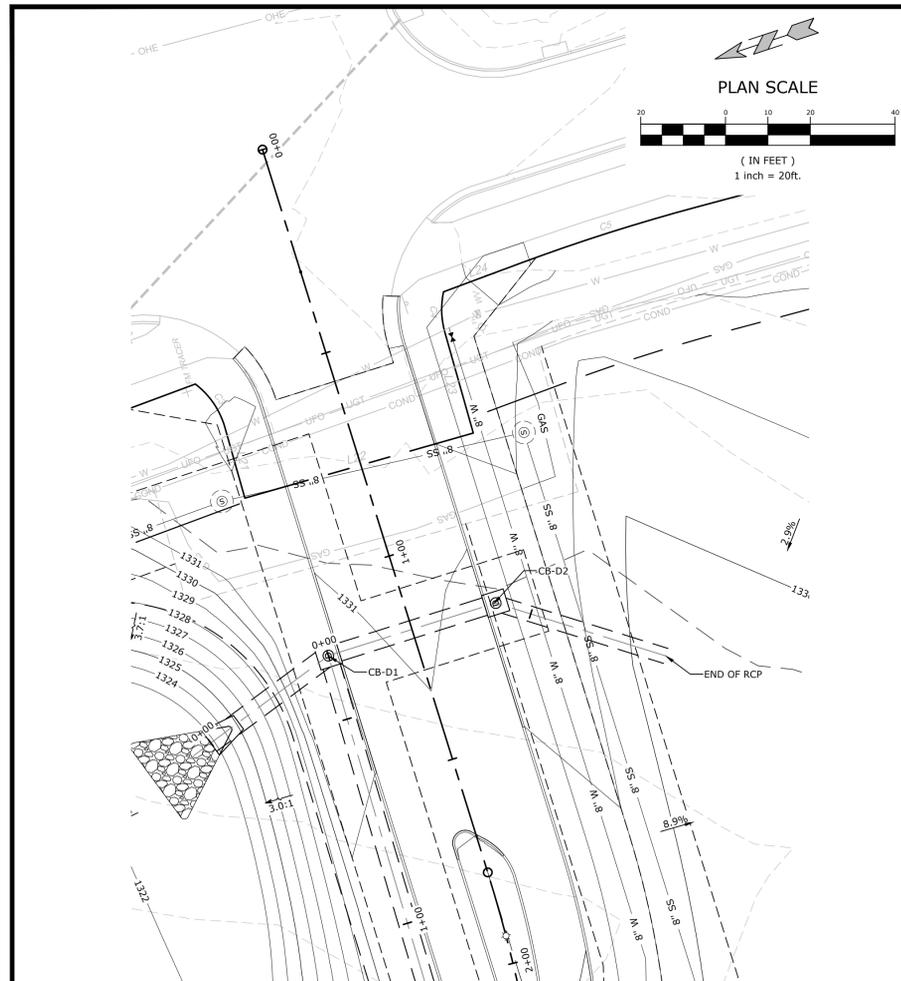
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STORM LINE 'D' P&P

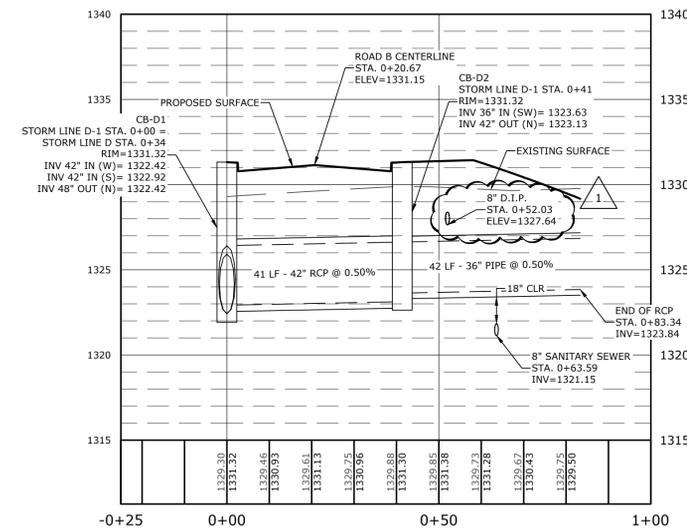
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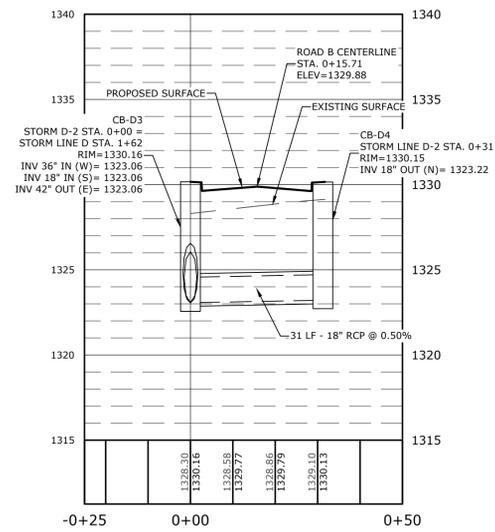
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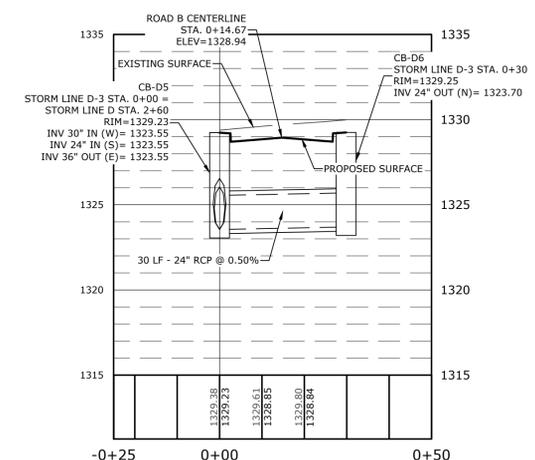
STORM LINE D-1 PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



STORM LINE D-2 PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



STORM LINE D-3 PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



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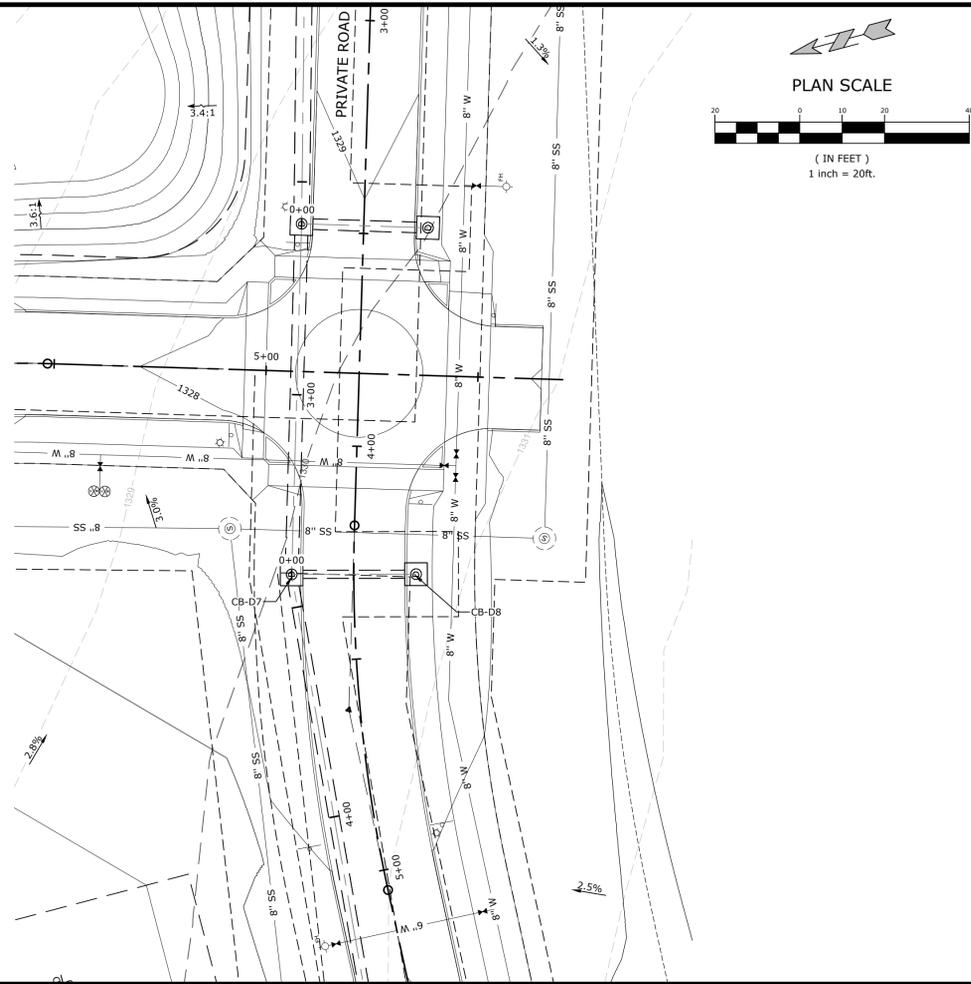
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STORM LINE
'D-1', 'D-2', &
'D-3' P&P

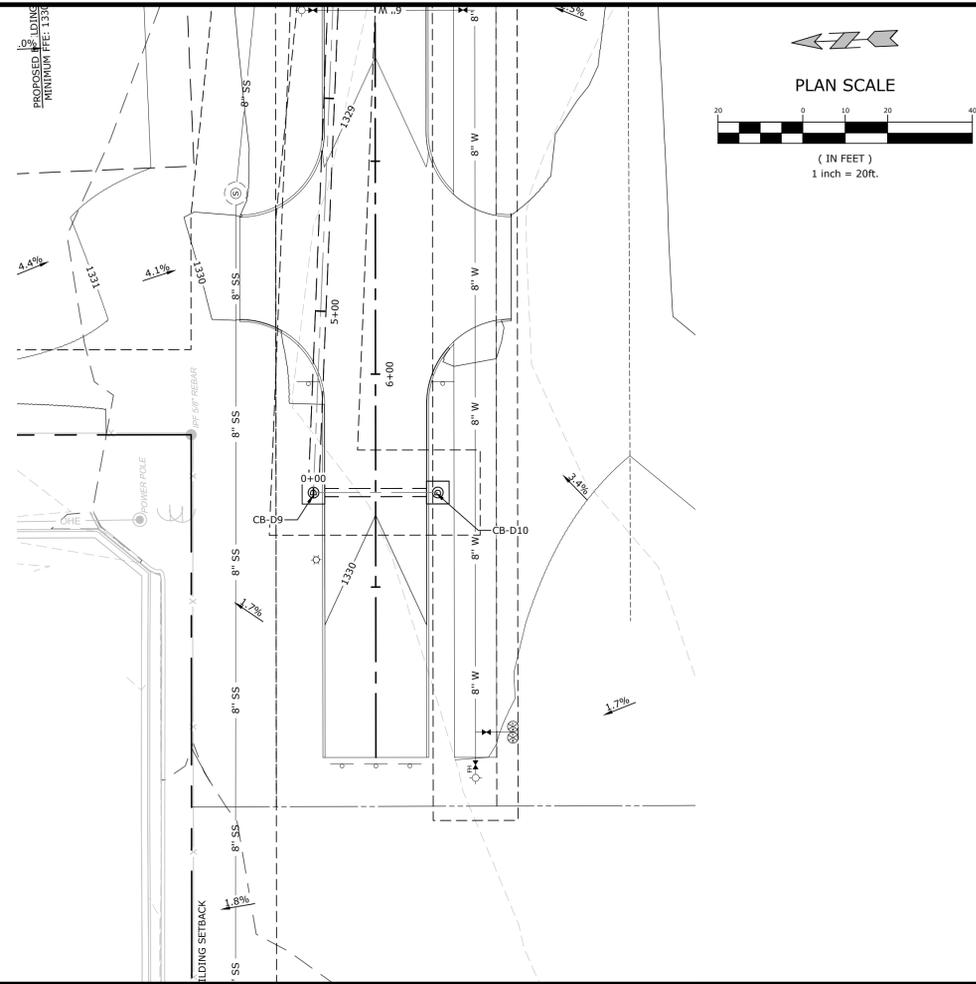
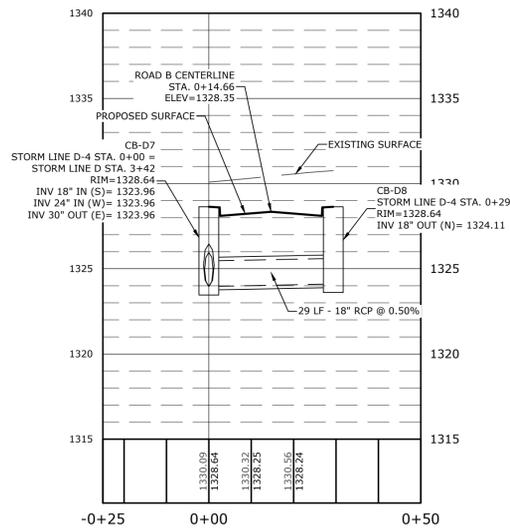
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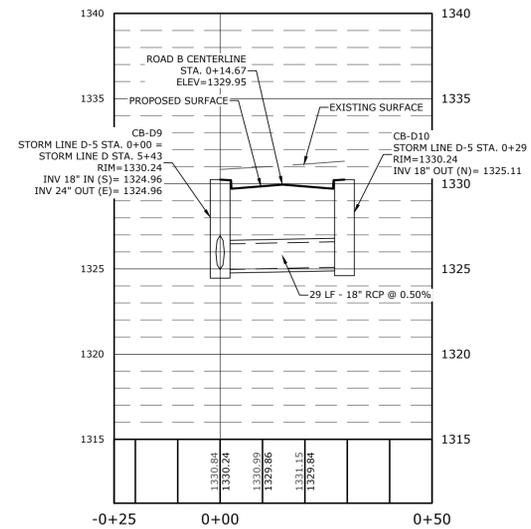
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STORM LINE D-4 PROFILE
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VERTICAL SCALE: 1"=5'



STORM LINE D-5 PROFILE
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'



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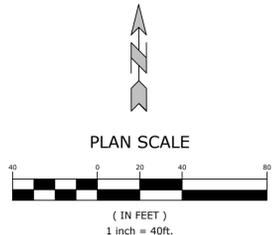
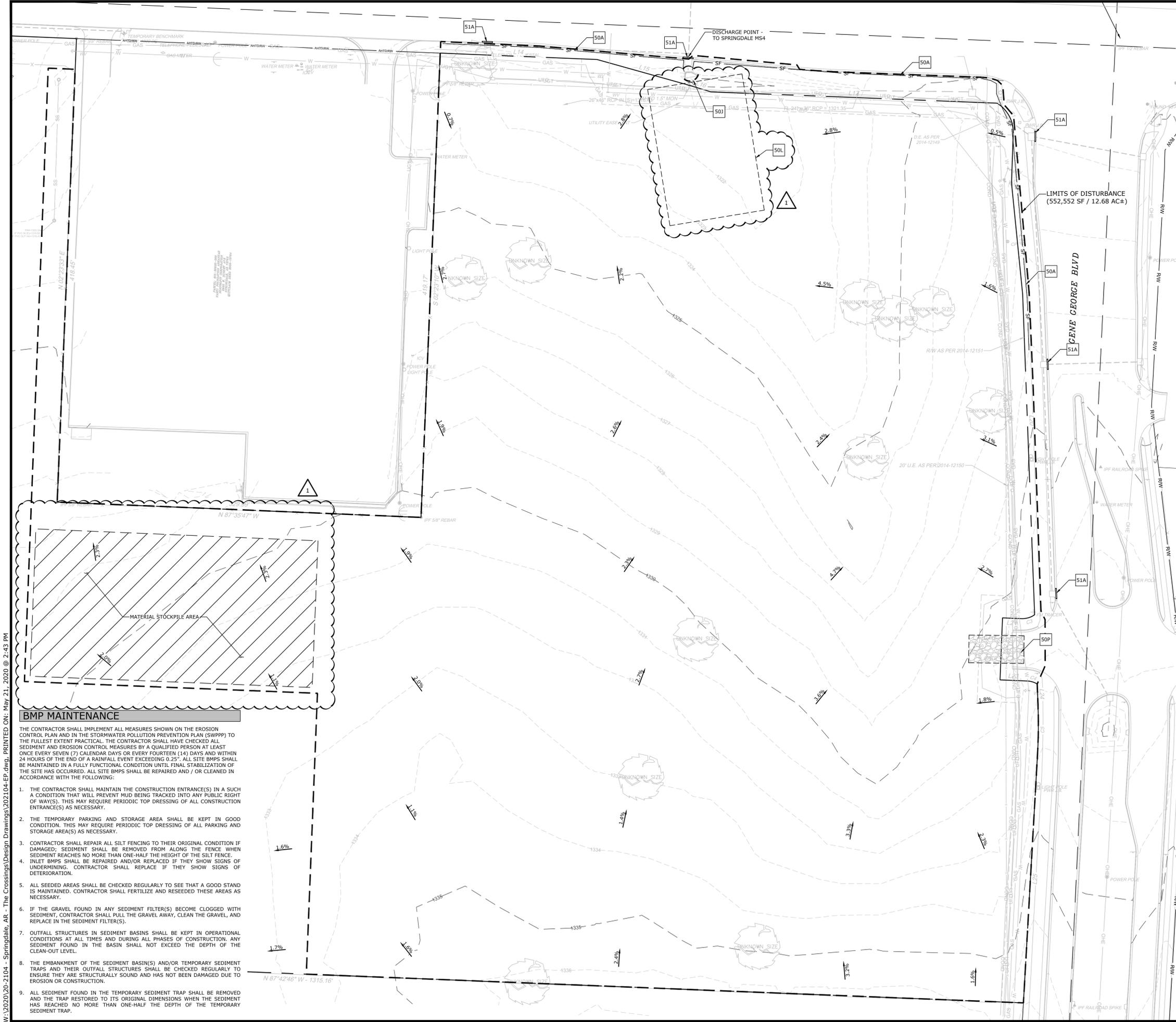


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STORM LINE 'D-4' & 'D-5' P&P

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EXISTING LEGEND

| | | | |
|-----|-----------------------------|---|----------------------|
| --- | PROPERTY LINE | ⊕ | WATER VALVE |
| --- | R/W RIGHT OF WAY | ⊕ | WATER FAUCET |
| --- | SS SANITARY SEWER LINE | ⊕ | SANITARY SEWER MH |
| --- | W WATER LINE | ⊕ | CLEAN-OUT |
| --- | G GAS LINE | ⊕ | DRAINAGE MH |
| --- | UT UNDERGROUND TELEPHONE | ⊕ | POWER POLE |
| --- | UE UNDERGROUND ELECTRIC | ⊕ | GUY WIRE WITH ANCHOR |
| --- | UTV UNDERGROUND TV | ⊕ | GAS METER |
| --- | UFO UNDERGROUND FIBER OPTIC | ⊕ | LIGHT POLE |
| --- | COX UNDERGROUND COX CABLE | ⊕ | GROUND LIGHTS |
| --- | OHD OVERHEAD UTILITIES | ⊕ | PEDESTAL (AS NOTED) |
| --- | X FENCE | ⊕ | SIGN (AS NOTED) |
| --- | DITCH FLOWLINE | ⊕ | POST (AS NOTED) |
| --- | FIRE HYDRANT | ⊕ | FOUND IRON PIN |
| --- | WATER METER | ⊕ | CONTROL POINT |

PROPOSED LEGEND

| | |
|-----|----------------------------|
| --- | GRADE BREAK |
| --- | FLOW LINE |
| --- | CONTOUR ELEVATION |
| --- | STORM DRAIN |
| ⊕ | CATCH BASIN |
| ⊕ | SANITARY SEWER MANHOLE |
| ⊕ | FLARED END SECTION |
| → | FLOW ARROW |
| --- | LIMITS OF DISTURBANCE |
| --- | CONSTRUCTION ROCK ENTRANCE |
| --- | SILT FENCE |
| --- | INLET PROTECTION |
| --- | SILT SOCK / BIG RED |

GENERAL EROSION CONTROL NOTES

- CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AND CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
- CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
- ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
- ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
- ALL BMP'S SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED BY A MINIMUM OF 80% GRASS COVERAGE.
- ALL DEWATERING ACTIVITIES SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. DISCHARGED WATER MUST BE PROPERLY TREATED BEFORE RELEASING FROM THE SITE.
- STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF THE CONSTRUCTION:
 - DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
 - THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
 - NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
 - NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
 - ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.

EROSION CONTROL DETAILS

- 50A SILT FENCE
- 50C TEMPORARY CURB & AREA INLET SEDIMENT FILTER
- 50D TEMPORARY GRATE INLET, JUNCTION BOX, & OPEN LID SEDIMENT FILTER
- 50E TEMPORARY OUTFALL PROTECTION SEDIMENT FILTER
- 50H TEMPORARY EMBANKMENT & DIVERSION DITCH
- 50J TEMPORARY ROCK CHECK DAM
- 50L TEMPORARY SEDIMENT BASIN w/ RIP-RAP OUTLET
- 50N TEMPORARY CONCRETE WASHOUT
- 50P TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- 50Q PERMANENT RIP-RAP PAD
- 51A SWP-CI (BIG RED)

BMP MAINTENANCE

THE CONTRACTOR SHALL IMPLEMENT ALL MEASURES SHOWN ON THE EROSION CONTROL PLAN AND IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE FULLEST EXTENT PRACTICAL. THE CONTRACTOR SHALL HAVE CHECKED ALL SEDIMENT AND EROSION CONTROL MEASURES BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS OR EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT EXCEEDING 0.25". ALL SITE BMP'S SHALL BE MAINTAINED IN A FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE HAS OCCURRED. ALL SITE BMP'S SHALL BE REPAIRED AND / OR CLEANED IN ACCORDANCE WITH THE FOLLOWING:

- THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE(S) IN A SUCH A CONDITION THAT WILL PREVENT MUD BEING TRACKED INTO ANY PUBLIC RIGHT OF WAY(S). THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL CONSTRUCTION ENTRANCE(S) AS NECESSARY.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL PARKING AND STORAGE AREA(S) AS NECESSARY.
- CONTRACTOR SHALL REPAIR ALL SILT FENCING TO THEIR ORIGINAL CONDITION IF DAMAGED; SEDIMENT SHALL BE REMOVED FROM ALONG THE FENCE WHEN SEDIMENT REACHES NO MORE THAN ONE-HALF THE HEIGHT OF THE SILT FENCE.
- INLET BMP'S SHALL BE REPAIRED AND/OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING. CONTRACTOR SHALL REPLACE IF THEY SHOW SIGNS OF DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. CONTRACTOR SHALL FERTILIZE AND RESEEDED THESE AREAS AS NECESSARY.
- IF THE GRAVEL FOUND IN ANY SEDIMENT FILTER(S) BECOME CLOGGED WITH SEDIMENT, CONTRACTOR SHALL PULL THE GRAVEL AWAY, CLEAN THE GRAVEL, AND REPLACE IN THE SEDIMENT FILTER(S).
- OUTFALL STRUCTURES IN SEDIMENT BASINS SHALL BE KEPT IN OPERATIONAL CONDITIONS AT ALL TIMES AND DURING ALL PHASES OF CONSTRUCTION. ANY SEDIMENT FOUND IN THE BASIN SHALL NOT EXCEED THE DEPTH OF THE CLEAN-OUT LEVEL.
- THE EMBANKMENT OF THE SEDIMENT BASIN(S) AND/OR TEMPORARY SEDIMENT TRAPS AND THEIR OUTFALL STRUCTURES SHALL BE CHECKED REGULARLY TO ENSURE THEY ARE STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED DUE TO EROSION OR CONSTRUCTION.
- ALL SEDIMENT FOUND IN THE TEMPORARY SEDIMENT TRAP SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS REACHED NO MORE THAN ONE-HALF THE DEPTH OF THE TEMPORARY SEDIMENT TRAP.

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| REV | DATE | DESCRIPTION |
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| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

PHASE I EROSION CONTROL PLAN

| | | | |
|--------------|-----------|-------------|---------|
| DESIGNED BY: | JAD | DRAWN BY: | JAD |
| DATE: | 5/21/2020 | REVISION: | REV-1 |
| SCALE: | AS NOTED | JOB NUMBER: | 20-2104 |

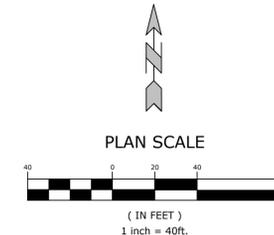
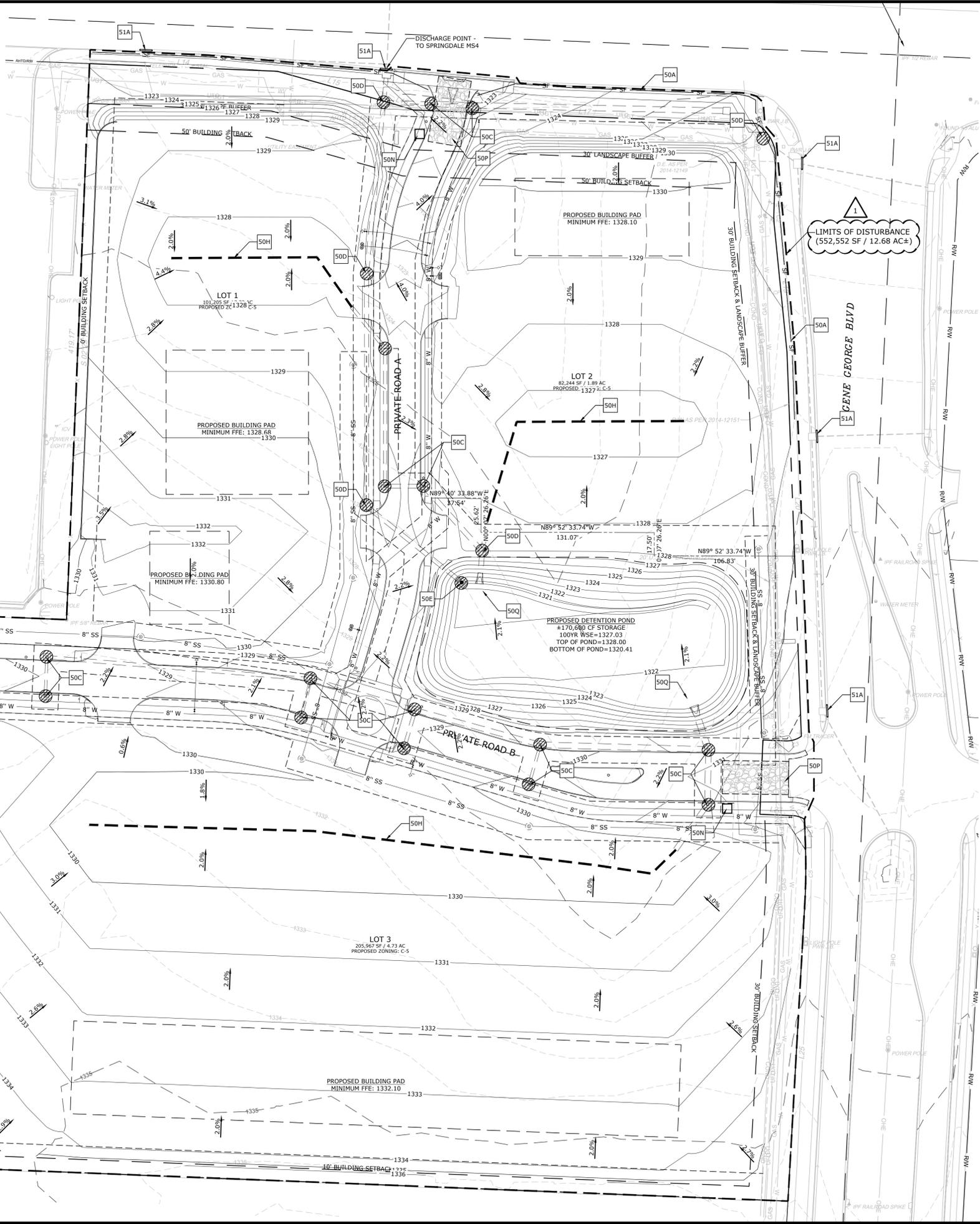
SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER EROSION CONTROL MEASURES AND TEMPORARY CONSTRUCTION ENTRANCES/CONCRETE WASHOUT.
2. EXCAVATION AND EMBANKMENT TO FORM THE PAVEMENT OR GRADED AREAS.
3. INSTALL STORM SEWER (ADJUST EXISTING SEDIMENT BARRIERS AS NECESSARY TO MAINTAIN SEDIMENT CONTROL).
4. INSTALL UNDERGROUND UTILITIES (ADJUST EXISTING SEDIMENT BARRIERS AS NECESSARY TO MAINTAIN SEDIMENT CONTROL); ADDITIONAL SEDIMENT BARRIERS SHALL BE UTILIZED AS REQUIRED TO BOUND THE DOWN SLOPE SIDE OF UTILITY CONSTRUCTION AND SOIL STOCKPILES.
5. FINAL GRADING (SEDIMENT BARRIERS SHALL BE MAINTAINED DOWN SLOPE FROM DISTURBED SOIL DURING THIS OPERATION).
6. INSTALL PAVING.
7. COMPLETION OF ONSITE STABILIZATION.
8. REMOVE PERIMETER EROSION CONTROL MEASURES.

BMP MAINTENANCE

THE CONTRACTOR SHALL IMPLEMENT ALL MEASURES SHOWN ON THE EROSION CONTROL PLAN AND IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO THE FULLEST EXTENT PRACTICAL. THE CONTRACTOR SHALL HAVE CHECKED ALL SEDIMENT AND EROSION CONTROL MEASURES BY A QUALIFIED PERSON AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS OR EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF THE END OF A RAINFALL EVENT EXCEEDING 0.25". ALL SITE BMPs SHALL BE MAINTAINED IN A FULLY FUNCTIONAL CONDITION UNTIL FINAL STABILIZATION OF THE SITE HAS OCCURRED. ALL SITE BMPs SHALL BE REPAIRED AND / OR CLEANED IN ACCORDANCE WITH THE FOLLOWING:

1. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION ENTRANCE(S) IN SUCH A CONDITION THAT WILL PREVENT MUD BEING TRACKED INTO ANY PUBLIC RIGHT OF WAY(S). THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL CONSTRUCTION ENTRANCE(S) AS NECESSARY.
2. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION. THIS MAY REQUIRE PERIODIC TOP DRESSING OF ALL PARKING AND STORAGE AREA(S) AS NECESSARY.
3. CONTRACTOR SHALL REPAIR ALL SILT FENCING TO THEIR ORIGINAL CONDITION IF DAMAGED; SEDIMENT SHALL BE REMOVED FROM ALONG THE FENCE WHEN SEDIMENT REACHES NO MORE THAN ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. INLET BMPs SHALL BE REPAIRED AND/OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING. CONTRACTOR SHALL REPLACE IF THEY SHOW SIGNS OF DETERIORATION.
5. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. CONTRACTOR SHALL FERTILIZE AND RESEED THESE AREAS AS NECESSARY.
6. IF THE GRAVEL FOUND IN ANY SEDIMENT FILTER(S) BECOME CLOGGED WITH SEDIMENT, CONTRACTOR SHALL PULL THE GRAVEL AWAY, CLEAN THE GRAVEL, AND REPLACE IN THE SEDIMENT FILTER(S).
7. OUTFALL STRUCTURES IN SEDIMENT BASINS SHALL BE KEPT IN OPERATIONAL CONDITIONS AT ALL TIMES AND DURING ALL PHASES OF CONSTRUCTION. ANY SEDIMENT FOUND IN THE BASIN SHALL NOT EXCEED THE DEPTH OF THE CLEAN-OUT LEVEL.
8. THE EMBANKMENT OF THE SEDIMENT BASIN(S) AND/OR TEMPORARY SEDIMENT TRAPS AND THEIR OUTFALL STRUCTURES SHALL BE CHECKED REGULARLY TO ENSURE THEY ARE STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED DUE TO EROSION OR CONSTRUCTION.
9. ALL SEDIMENT FOUND IN THE TEMPORARY SEDIMENT TRAP SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS REACHED NO MORE THAN ONE-HALF THE DEPTH OF THE TEMPORARY SEDIMENT TRAP.



EXISTING LEGEND

- PROPERTY LINE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- W WATER LINE
- G GAS LINE
- UT UNDERGROUND PHONE
- UTE UNDERGROUND ELECTRIC
- UTV UNDERGROUND TV
- UFO UNDERGROUND FIBER OPTIC
- COX UNDERGROUND COX CABLE
- OHD OVERHEAD UTILITIES
- X X FENCE
- DITCH FLOWLINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- SANITARY SEWER MH
- CLEAN-OUT
- DRAINAGE MH
- POWER POLE
- GUY WIRE WITH ANCHOR
- GAS METER
- LIGHT POLE
- GROUND LIGHTS
- PEDESTAL (AS NOTED)
- SIGN (AS NOTED)
- POST (AS NOTED)
- FOUND IRON PIN
- CONTROL POINT

PROPOSED LEGEND

- GRADE BREAK
- FLOW LINE
- XXX CONTOUR ELEVATION
- STORM DRAIN
- CATCH BASIN
- SANITARY SEWER MANHOLE
- FLARED END SECTION
- FLOW ARROW
- LIMITS OF DISTURBANCE
- CONSTRUCTION ROCK ENTRANCE
- SILT FENCE
- INLET PROTECTION
- SILT SOCK / BIG RED

GENERAL EROSION CONTROL NOTES

1. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AND CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DIRECTED BY PERMITTING AGENCY AND OWNER OR AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST TO OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
2. PERMIT FOR ANY CONSTRUCTION ACTIVITY MUST BE MAINTAINED ON SITE AT ALL TIMES.
3. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
4. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
5. ALL WASH WATER SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
6. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLotation BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
7. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
8. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
9. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS, SHALL BE TEMPORARILY SEED. THESE AREAS SHALL BE SEED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
10. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
11. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
12. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
13. CONTRACTOR SHALL DESIGNATE/IDENTIFY AREAS INSIDE THE LIMITS OF DISTURBANCE, FOR WASTE DISPOSAL AND DELIVERY AND MATERIAL STORAGE.
14. ALL BMPs SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED BY A MINIMUM OF 80% GRASS COVERAGE.
15. ALL DEWATERING ACTIVITIES SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. DISCHARGED WATER MUST BE PROPERLY TREATED BEFORE RELEASING FROM THE SITE.
16. STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT TO EXCEED (6) MONTHS. PRIOR TO A FINAL INSPECTION OF THE GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF THE CONSTRUCTION:
 - a. DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY THE PLANNING COMMISSION, AND
 - b. THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
 - c. NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
 - d. NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SIGNED BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
 - e. ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM THE CONSTRUCTION SITE.

EROSION CONTROL DETAILS

- 50A SILT FENCE
- 50C TEMPORARY CURB & AREA INLET SEDIMENT FILTER
- 50D TEMPORARY GRATE INLET, JUNCTION BOX, & OPEN LID SEDIMENT FILTER
- 50E TEMPORARY OUTFALL PROTECTION SEDIMENT FILTER
- 50H TEMPORARY EMBANKMENT & DIVERSION DITCH
- 50J TEMPORARY ROCK CHECK DAM
- 50I TEMPORARY SEDIMENT BASIN w/ RIP-RAP OUTFALL
- 50N TEMPORARY CONCRETE WASHOUT
- 50P TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
- 50Q PERMANENT RIP-RAP PAD
- 51A SWP-CI (BIG RED)

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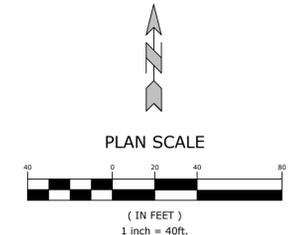
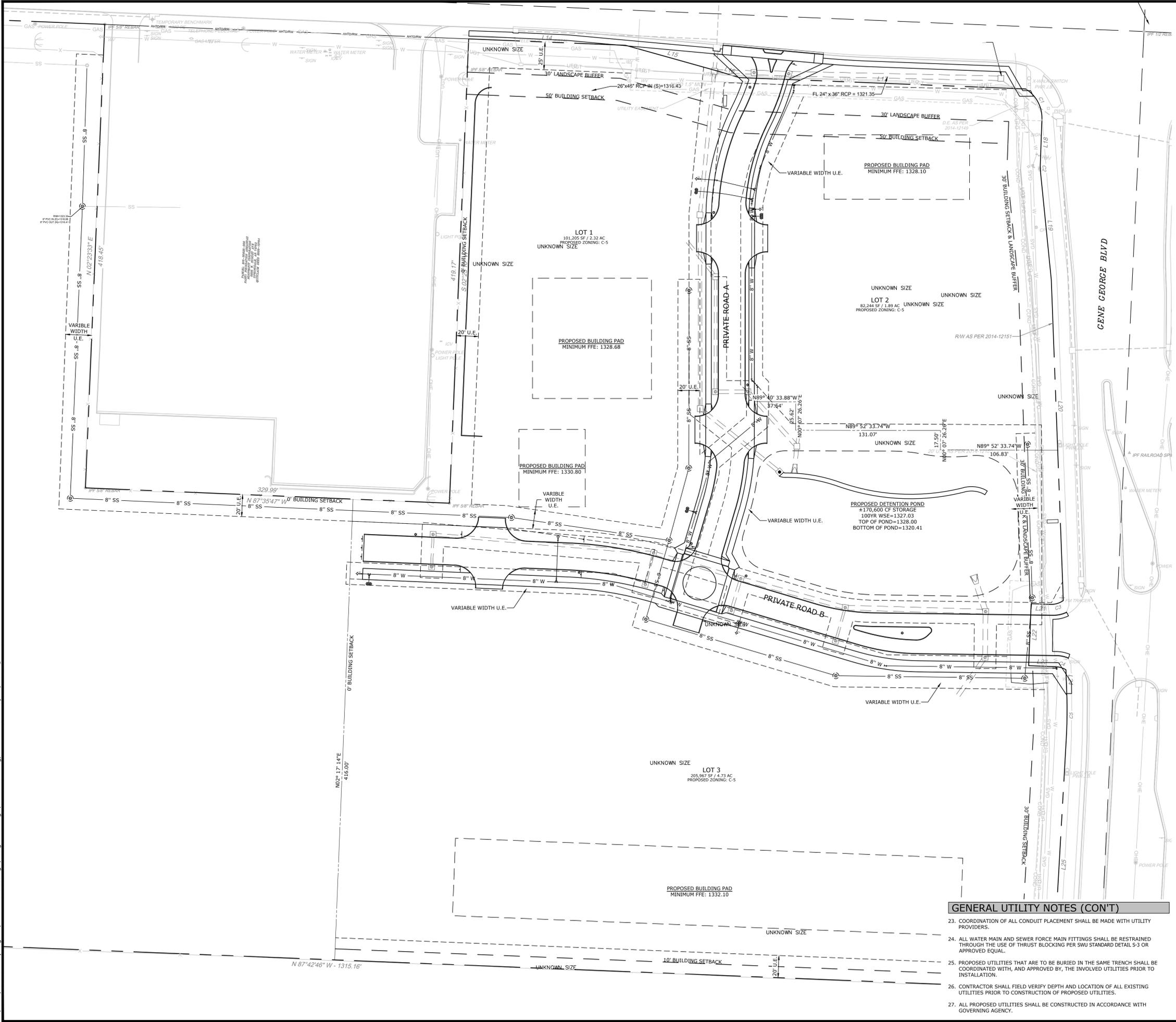
PHASE II EROSION CONTROL PLAN

| | | | |
|--------------|-----------|-------------|---------|
| DESIGNED BY: | JAD | DRAWN BY: | JAD |
| DATE: | 5/21/2020 | REVISION: | REV-1 |
| SCALE: | AS NOTED | JOB NUMBER: | 20-2104 |

PP #20-03

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EXISTING LEGEND

| | | | |
|-----|----------------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| --- | R/W RIGHT OF WAY | ⊙ | CLEAN-OUT |
| --- | SS SANITARY SEWER LINE | ⊙ | DRAINAGE MH |
| --- | W WATER LINE | ⊙ | POWER POLE |
| --- | GAS GAS LINE | ⊙ | GUY WIRE w/ ANCHOR |
| --- | UGT UNDERGROUND TELEPHONE | ⊙ | GAS METER |
| --- | UGT UNDERGROUND ELECTRIC | ⊙ | GAS RISER |
| --- | UGT UNDERGROUND TELEVISION | ⊙ | STREET LIGHT POLE |
| --- | LFO UNDERGROUND FIBER | ⊙ | TELEPHONE PEDESTAL |
| --- | OHE OVERHEAD ELECTRIC | ⊙ | CABLE TV PEDESTAL |
| --- | FENCE | ⊙ | SIGN (AS NOTED) |
| --- | ROAD CENTERLINE | ⊙ | POST (AS NOTED) |
| --- | DITCH FLOWLINE | ⊙ | BENCHMARK |
| --- | EASEMENT LINE | ⊙ | FOUND IRON PIN (AS NOTED) |
| --- | GRAVEL LINE | ⊙ | CONTROL POINT |
| --- | FIRE HYDRANT | ⊙ | RR SPIKE |
| --- | WATER METER | ⊙ | BUSH |
| --- | WATER VALVE | ⊙ | TREE |
| --- | WATER FAUCET | ⊙ | |

PROPOSED LEGEND

| | |
|-----|--------------------------|
| --- | STORM DRAIN |
| --- | GAS GAS LINE |
| --- | X"W WATER LINE |
| --- | ⊙ FIRE HYDRANT |
| --- | ⊙ WATER METER |
| --- | X"SS SANITARY SEWER LINE |
| --- | ⊙ SANITARY SEWER MANHOLE |
| --- | ⊙ LIGHT POLE |
| --- | ⊙ CATCH BASIN |

GENERAL UTILITY NOTES

- ALL WATER MAINS SHALL BE DUCTILE IRON (SPECIAL CLASS 50), UNLESS OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 36" OF COVER (MINIMUM).
- ALL SEWER MAINS SHALL BE PVC (SDR-26), UNLESS OTHERWISE SPECIFIED ON THE PLANS. SIZE AS NOTED ON THE PLANS AND TO MAINTAIN 48" OF COVER (MINIMUM).
- EXISTING UTILITIES SHOWN ON PLANS HAVE BEEN SHOWN IN THEIR APPROXIMATE LOCATIONS PER AVAILABLE INFORMATION.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND THE OWNER, AND THE CONTRACTOR HAS BEEN NOTIFIED BY MCCLELLAND CONSULTING ENGINEERS, INC.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. MCCLELLAND CONSULTING ENGINEERS, INC. AND THE OWNER ARE TO BE HELD HARMLESS.
- ALL TRENCHING, BACKFILLING AND PIPE LAYING IS TO MEET ALL OSHA REQUIREMENTS.
- THE LOCATION, DESCRIPTION AND SIZE OF ALL ABOVE-GROUND AND UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DETERMINED WITH DUE CARE AND DILIGENCE, USING CURRENT TECHNIQUES, EQUIPMENT AND PROPER ACCURACY. CONTROL PROCEDURES, HOWEVER, INFORMATION SHOWN HEREON IS NOT WARRANTED TO BE CORRECT IN EVERY DETAIL BECAUSE OF INACCURACIES IN OR LACK OF EXISTING DATA OR MAPS AND THE INABILITY TO VERIFY IN THE FIELD. PERSONS USING INFORMATION CONTAINED HEREON ARE HEREBY CAUTIONED ACCORDINGLY.
- REFER TO BUILDING PLANS FOR SITE LIGHTING ELECTRICAL PLANS.
- ALL WATER & SEWER DESIGNS ARE SUBJECT TO THE CITY'S LATEST DESIGN CRITERIA (SPRINGDALE WATER & SEWER SPECIFICATION REQUIREMENTS FOR THE CONSTRUCTION OF WATER & SEWER FACILITIES, AMENDED AUGUST 27TH, 2014 BY RESOLUTION NO. 15-14). REVIEW FOR PLAT APPROVAL IS NOT APPROVAL OF PUBLIC IMPROVEMENTS, AND ALL PROPOSED IMPROVEMENTS ARE SUBJECT TO FURTHER REVIEW AT THE TIME CONSTRUCTION PLANS ARE SUBMITTED.
- ANY DAMAGE TO THE EXISTING PUBLIC STREET DUE TO CONSTRUCTION SHALL BE REPAIRED / REPLACED AT THE OWNER'S / DEVELOPER'S EXPENSE.
- WATER AND SEWER IMPACT FEES WILL APPLY FOR THE ADDITIONAL IMPACT TO THE SYSTEM (IF APPLICABLE). THE FEES WILL BE BASED ON THE PROPOSED METER SIZE AND WILL BE CHARGED AT THE TIME OF METER SET (IF APPLICABLE).
- ALL UTILITY SERVICE LINES TO BE CONNECTED TO NEW MAINS OR RELOCATED AS NEEDED FOR INSTALLATION OF STORM SEWER SYSTEM.
- ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 24" OF COVER AT FINAL GRADE AND MARKED WITH POSTS TO IDENTIFY THE ENDS OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN ELECTRICAL CONDUITS AND CONDUITS FOR OTHER UTILITIES.
- SERVICE TAPS ON UTILITY MAINS (PROPOSED AND / OR EXISTING) SHALL BE MADE BY THE CITY, AND FEES PAID BY CONTRACTOR.
- ALL UNDERGROUND LINES SHALL BE INSPECTED BY THE ENGINEER, OR HIS REPRESENTATIVE, PRIOR TO BACK FILLING.
- SANITARY SEWER MAIN LINE TRENCHING AND BEDDING SHALL BE INSTALLED PER SWU STANDARD DETAILS S-17 & S-19.
- WATER MAIN LINE TRENCHING AND BEDDING SHALL BE INSTALLED PER SWU STANDARD DETAILS S-17 & S-18.
- ALL WATER LINE DIMENSIONS SHOWN ARE TO CENTER OF PIPE OR FITTING; ALL SEWER LINE DIMENSIONS ARE SHOWN TO CENTER OF MANHOLE OR CENTER OF PIPE.
- TESTING OF WATER AND SEWER LINES SHALL BE AT THE CONTRACTOR'S EXPENSE.
- TOPS OF EXISTING MANHOLES SHALL BE RAISED AS NECESSARY TO BE FLUSH WITH PROPOSED PAVEMENT ELEVATIONS, AND TOPS OF EXISTING MANHOLES IN UNPAVED AREAS ARE TO BE 1" ABOVE FINISHED GRADES.
- ALL UTILITIES UNDER PAVED AREAS SHALL RECEIVE CLASS 7 BASE BACKFILL FULL DEPTH.
- MAINTAIN MINIMUM HORIZONTAL SEPARATION OF 10' BETWEEN WATER AND SEWER MAINS AND 5' BETWEEN OTHER UNDERGROUND UTILITIES SUCH AS STORM SEWER, ELECTRICAL, GAS, DOMESTIC WATER / SEWER SERVICE LINES, AND CONDUITS.
- ALL EXISTING WATER, GAS AND / OR ELECTRICAL METERS AS NOTED TO BE ABANDONED AND / OR REMOVED PER THE DEMOLITION PLAN WITHIN THE PROJECT AREA ARE TO BE RETURNED TO THE APPROPRIATE AUTHORITY.

GENERAL UTILITY NOTES (CON'T)

- COORDINATION OF ALL CONDUIT PLACEMENT SHALL BE MADE WITH UTILITY PROVIDERS.
- ALL WATER MAIN AND SEWER FORCE MAIN FITTINGS SHALL BE RESTRAINED THROUGH THE USE OF THRUST BLOCKING PER SWU STANDARD DETAIL S-3 OR APPROVED EQUAL.
- PROPOSED UTILITIES THAT ARE TO BE BURIED IN THE SAME TRENCH SHALL BE COORDINATED WITH, AND APPROVED BY, THE INVOLVED UTILITIES PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FIELD VERIFY DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OF PROPOSED UTILITIES.
- ALL PROPOSED UTILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH GOVERNING AGENCY.

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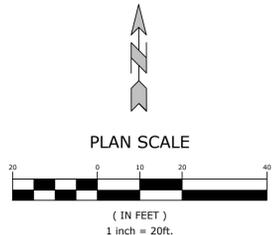
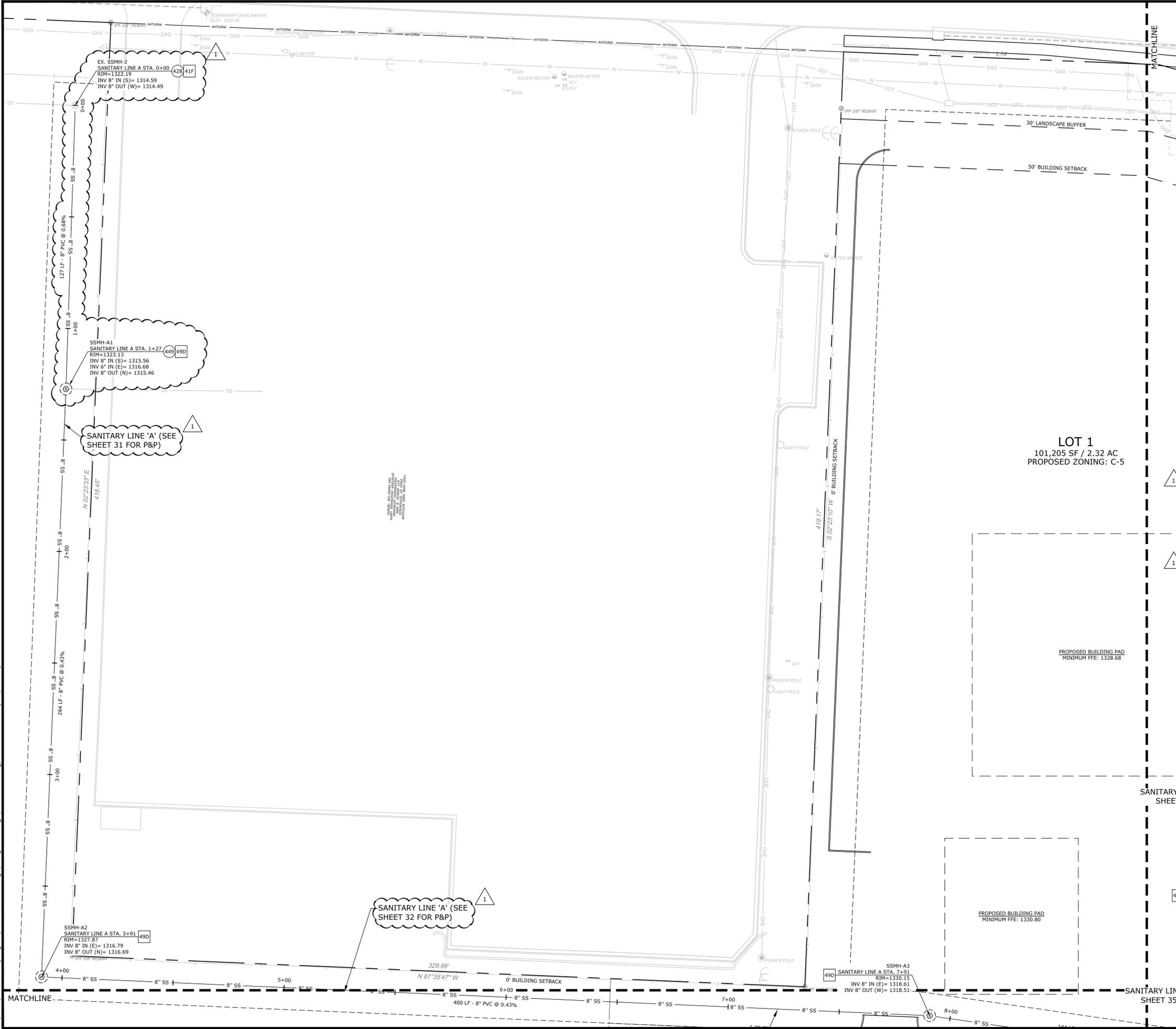


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OVERALL UTILITY PLAN

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
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EXISTING LEGEND

| | | | |
|------|------------------------|---|---------------------------|
| --- | PROPERTY LINE | ⊙ | SANITARY SEWER MH |
| R/W | RIGHT OF WAY | ⊙ | CLEAN-OUT |
| SS | SANITARY SEWER LINE | ⊙ | DRAINAGE MH |
| W | WATER LINE | ⊙ | POWER POLE |
| GAS | GAS LINE | ⊙ | GUY WIRE w/ ANCHOR |
| UGT | UNDERGROUND TELEPHONE | ⊙ | GAS METER |
| UGE | UNDERGROUND ELECTRIC | ⊙ | GAS RISER |
| UGTV | UNDERGROUND TELEVISION | ⊙ | STREET LIGHT POLE |
| UFO | UNDERGROUND FIBER | ⊙ | TELEPHONE PEDESTAL |
| OHE | OVERHEAD ELECTRIC | ⊙ | CABLE TV PEDESTAL |
| X | FENCE | ⊙ | SIGN (AS NOTED) |
| --- | ROAD CENTERLINE | ⊙ | POST (AS NOTED) |
| --- | DITCH FLOWLINE | ⊙ | BENCHMARK |
| --- | EASEMENT LINE | ⊙ | FOUND IRON PIN (AS NOTED) |
| --- | GRAVEL LINE | ⊙ | CONTROL POINT |
| ⊙ | FIRE HYDRANT | ⊙ | RR SPIKE |
| ⊙ | WATER METER | ⊙ | BUSH |
| ⊙ | WATER VALVE | ⊙ | TREE |
| ⊙ | WATER FAUCET | | |

PROPOSED LEGEND

| | | | |
|-----|--------------|---|------------------------|
| --- | STORM DRAIN | ⊙ | SANITARY SEWER LINE |
| --- | GAS LINE | ⊙ | SANITARY SEWER MANHOLE |
| --- | WATER LINE | ⊙ | LIGHT POLE |
| ⊙ | FIRE HYDRANT | ⊙ | CATCH BASIN |
| ⊙ | WATER METER | | |

UTILITY KEYNOTES

| | |
|-----|--|
| 400 | POINT OF CONNECTION - WATER SERVICE |
| 410 | GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZE AT SYMBOL) |
| 414 | TEE W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 417 | 45° BEND W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 418 | 22-1/2° BEND W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 419 | 11-1/4° BEND W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 428 | CONNECT TO EXISTING SANITARY SEWER MANHOLE |
| 445 | MAINTAIN 18" VERTICAL SEPARATION (MIN.) |
| 449 | CONTRACTOR SHALL RECONNECT EXISTING SERVICE LINE TO NEW MANHOLE |
| 450 | UTILITY TO BE RELOCATED BY OTHERS. CONTRACTOR SHALL COORDINATE RELOCATION W/ UTILITY PROVIDER. |

UTILITY DETAILS

| | |
|-----|---|
| 41F | SANITARY SEWER CONNECTION AT EXISTING MANHOLE |
| 49A | SWU FIRE HYDRANT STANDARD DETAIL (S-1) |
| 49B | SWU TAPPING SADDLE & VALVE STANDARD DETAIL (S-5) |
| 49C | SWU WATER & SEWER CROSSING STANDARD DETAIL (S-6) |
| 49D | SWU SANITARY SEWER MANHOLE STANDARD DETAIL (S-7, 8, 11) |
| 49E | SWU 1" WATER METER SETTINGS STANDARD DETAIL (S-24) |

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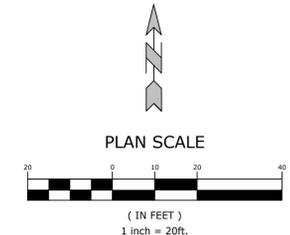
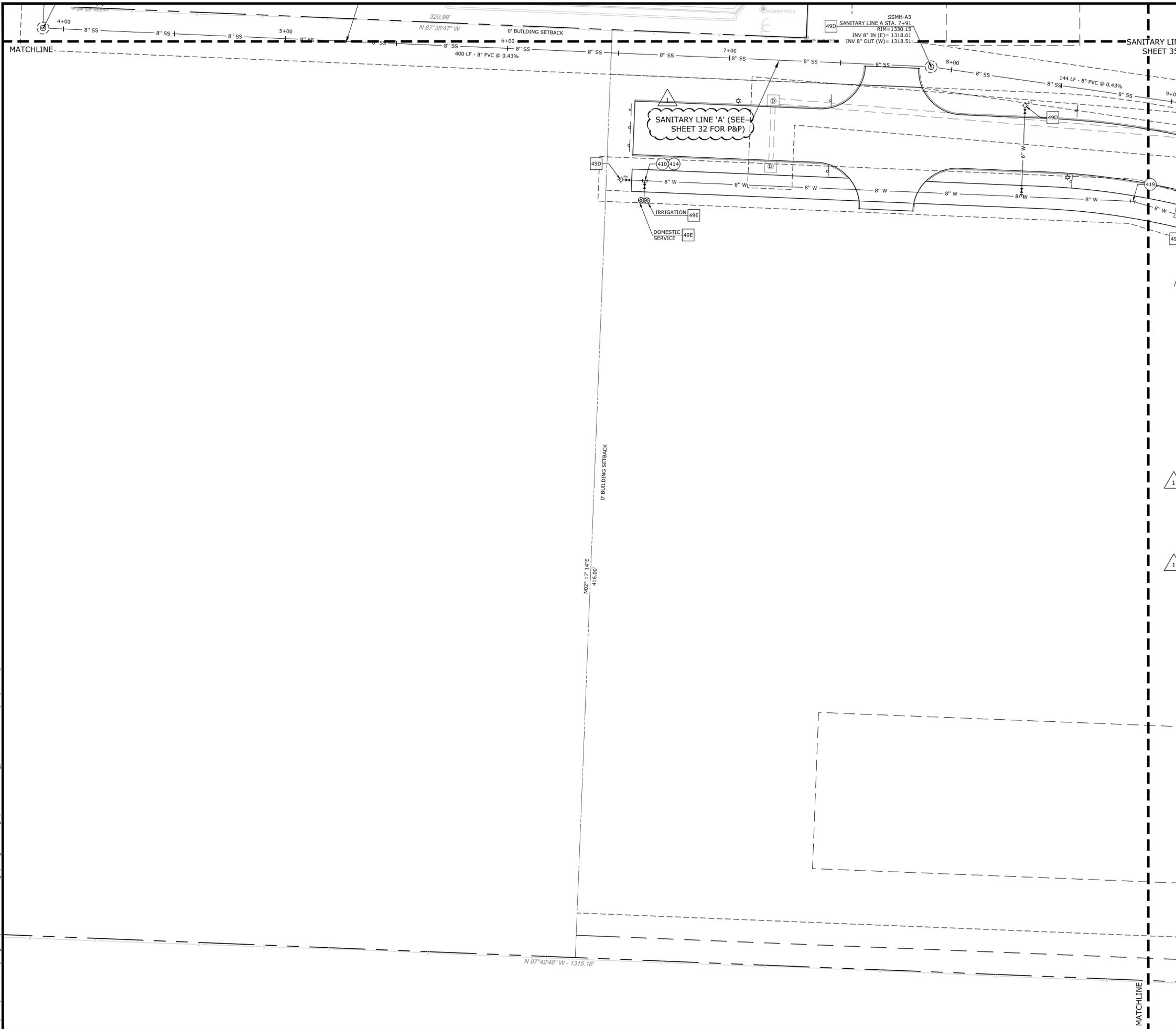
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UTILITY PLAN - NW

| | |
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| EXISTING LEGEND | |
|-----------------|---------------------------|
| --- | PROPERTY LINE |
| R/W | RIGHT OF WAY |
| SS | SANITARY SEWER LINE |
| W | WATER LINE |
| G | GAS LINE |
| UGT | UNDERGROUND TELEPHONE |
| UGE | UNDERGROUND ELECTRIC |
| UGTV | UNDERGROUND TELEVISION |
| UFO | UNDERGROUND FIBER |
| OHE | OVERHEAD ELECTRIC |
| X | FENCE |
| --- | ROAD CENTERLINE |
| --- | DITCH FLOWLINE |
| --- | EASEMENT LINE |
| --- | GRAVEL LINE |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER METER |
| ⊕ | WATER VALVE |
| ⊕ | WATER FAUCET |
| ⊕ | SANITARY SEWER MH |
| ⊕ | CLEAN-OUT |
| ⊕ | DRAINAGE MH |
| ⊕ | POWER POLE |
| ⊕ | GUY WIRE w/ ANCHOR |
| ⊕ | GAS METER |
| ⊕ | GAS RISER |
| ⊕ | STREET LIGHT POLE |
| ⊕ | TELEPHONE PEDESTAL |
| ⊕ | CABLE TV PEDESTAL |
| ⊕ | SIGN (AS NOTED) |
| ⊕ | POST (AS NOTED) |
| ⊕ | BENCHMARK |
| ⊕ | FOUND IRON PIN (AS NOTED) |
| ⊕ | CONTROL POINT |
| ⊕ | RR SPIKE |
| ⊕ | BUSH |
| ⊕ | TREE |

| PROPOSED LEGEND | |
|-----------------|------------------------|
| --- | STORM DRAIN |
| --- | GAS LINE |
| --- | WATER LINE |
| ⊕ | FIRE HYDRANT |
| ⊕ | WATER METER |
| --- | SANITARY SEWER LINE |
| ⊕ | SANITARY SEWER MANHOLE |
| ⊕ | LIGHT POLE |
| ⊕ | CATCH BASIN |

| UTILITY KEYNOTES | |
|------------------|---|
| 1 | 400 POINT OF CONNECTION - WATER SERVICE |
| 1 | 410 GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZE AT SYMBOL) |
| 1 | 414 TEE W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 1 | 417 45° BEND W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 1 | 418 22-1/2° BEND W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 1 | 419 11-1/4° BEND W/ THRUST BLOCKING (SEE SIZE AT SYMBOL) |
| 1 | 428 CONNECT TO EXISTING SANITARY SEWER MANHOLE |
| 1 | 445 MAINTAIN 18" VERTICAL SEPARATION (MIN.) |
| 1 | 449 CONTRACTOR SHALL RECONNECT EXISTING SERVICE LINE TO NEW MANHOLE |
| 1 | 450 UTILITY TO BE RELOCATED BY OTHERS. CONTRACTOR SHALL COORDINATE RELOCATION w/ UTILITY PROVIDER |

| UTILITY DETAILS | |
|-----------------|---|
| 1 | 41F SANITARY SEWER CONNECTION AT EXISTING MANHOLE |
| 1 | 49A SWU FIRE HYDRANT STANDARD DETAIL (S-1) |
| 1 | 49B SWU TAPPING SADDLE & VALVE STANDARD DETAIL (S-5) |
| 1 | 49C SWU WATER & SEWER CROSSING STANDARD DETAIL (S-6) |
| 1 | 49D SWU SANITARY SEWER MANHOLE STANDARD DETAIL (S-7, 8, 11) |
| 1 | 49E SWU 1" WATER METER SETTINGS STANDARD DETAIL (S-24) |

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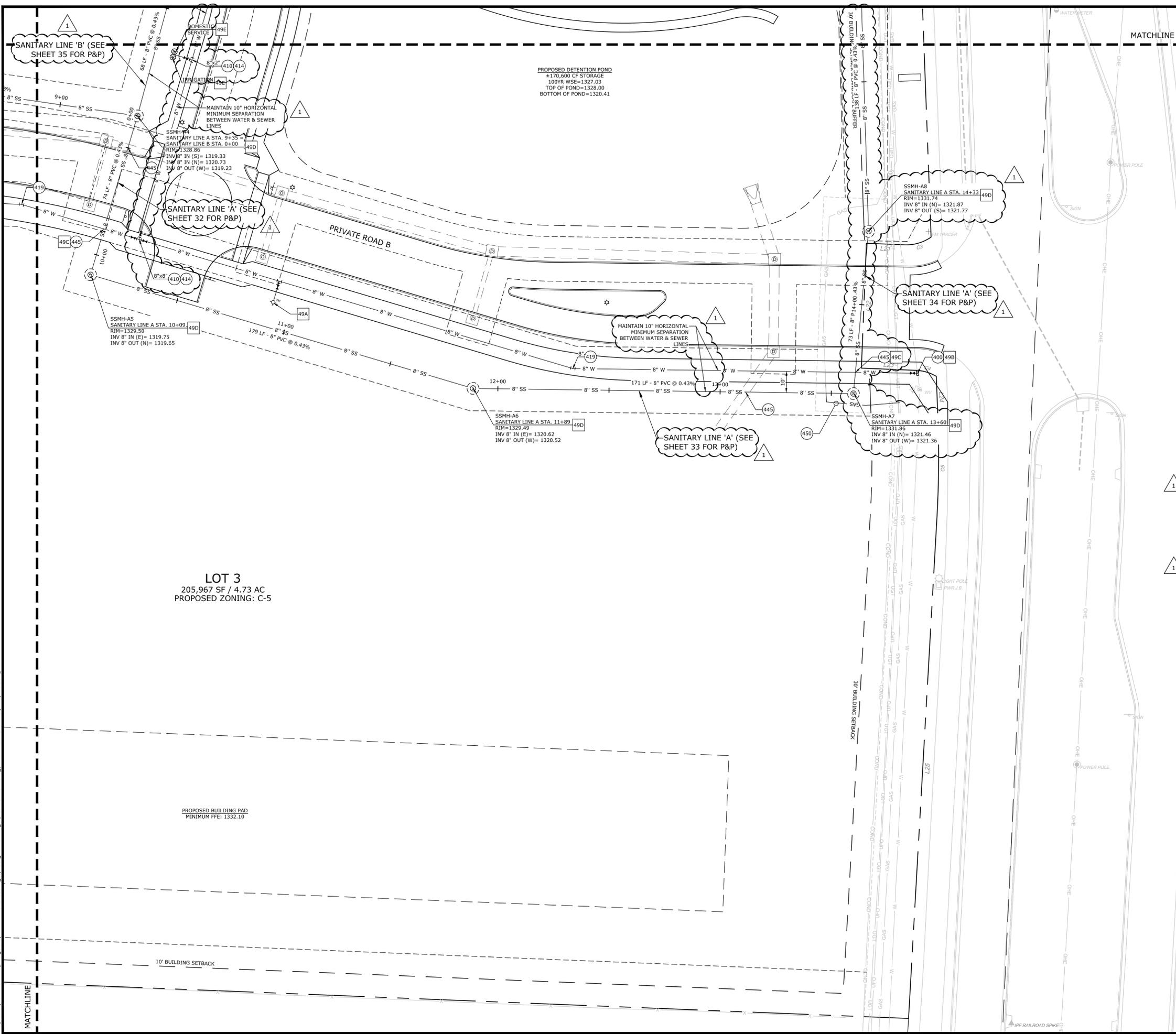


| REV | DATE | DESCRIPTION |
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| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

UTILITY PLAN - SW

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

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EXISTING LEGEND

- PROPERTY LINE
- R/W RIGHT OF WAY
- SS SANITARY SEWER LINE
- W WATER LINE
- GAS GAS LINE
- UGT UNDERGROUND TELEPHONE
- UGE UNDERGROUND ELECTRIC
- UFTV UNDERGROUND TELEVISION
- UFO UNDERGROUND FIBER
- OHE OVERHEAD ELECTRIC
- X FENCE
- ROAD CENTERLINE
- DITCH FLOWLINE
- EASEMENT LINE
- GRAVEL LINE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- WATER FAUCET
- SANITARY SEWER MH
- CLEAN-OUT
- DRAINAGE MH
- POWER POLE
- GUY WIRE w/ ANCHOR
- GAS METER
- GAS RISER
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- TELEPHONE PEDESTAL
- CABLE TV PEDESTAL
- SIGN (AS NOTED)
- POST (AS NOTED)
- BENCHMARK
- FOUND IRON PIN (AS NOTED)
- CONTROL POINT
- RR SPIKE
- BUSH
- TREE

PROPOSED LEGEND

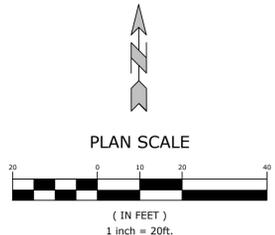
- STORM DRAIN
- GAS LINE
- X"W WATER LINE
- " FIRE HYDRANT
- " WATER METER
- X"SS SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- LIGHT POLE
- CATCH BASIN

UTILITY KEYNOTES

- 400 POINT OF CONNECTION - WATER SERVICE
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UTILITY DETAILS

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- 49E SWU 1" WATER METER SETTINGS STANDARD DETAIL (S-24)



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UTILITY PLAN - SE

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

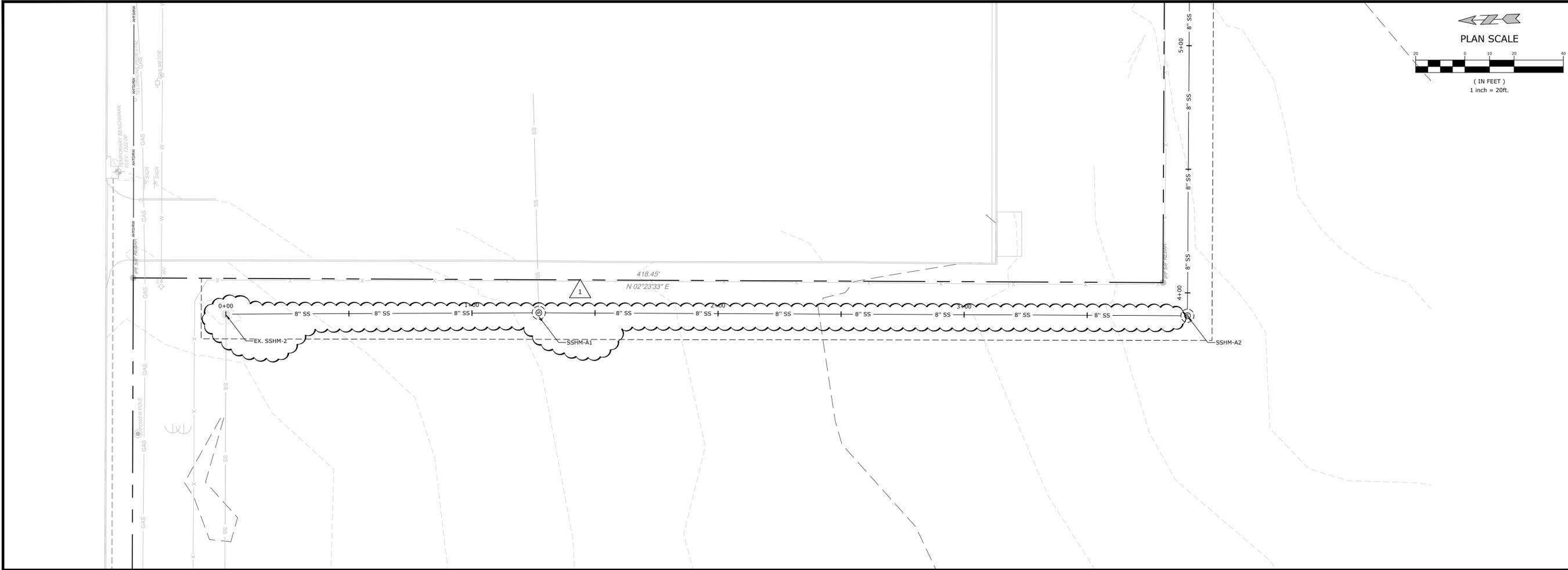
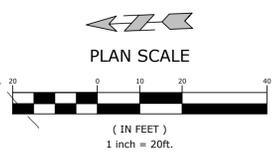
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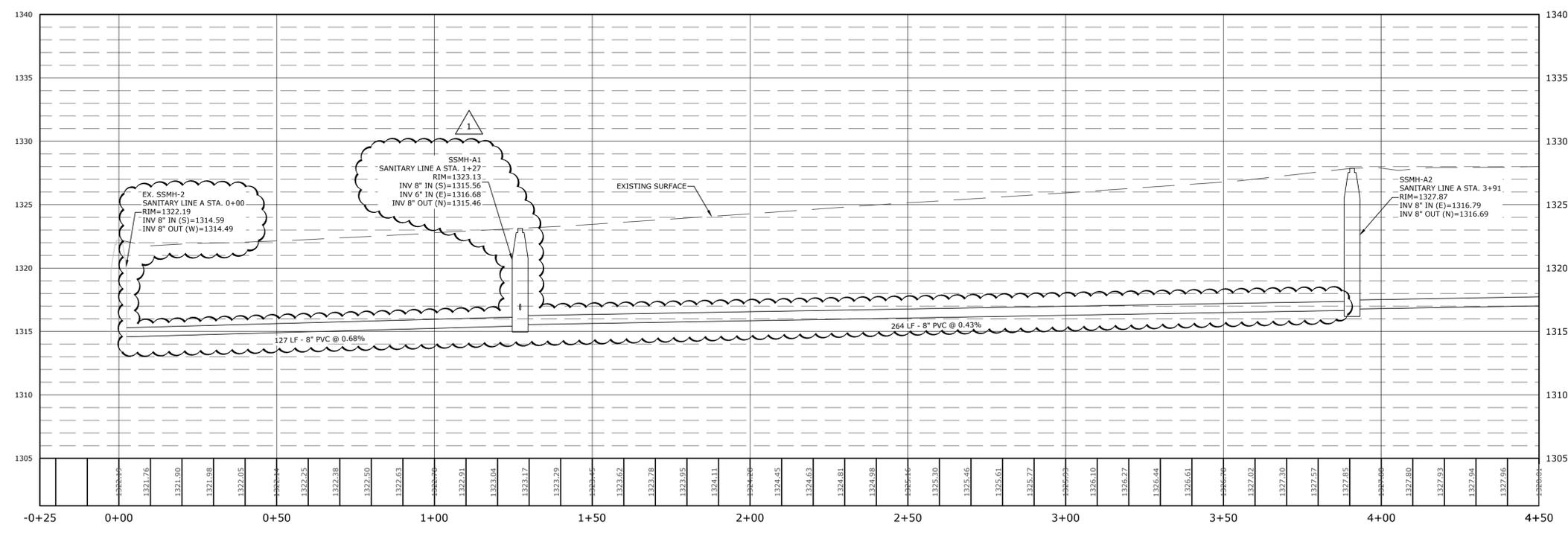
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SANITARY LINE A PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'

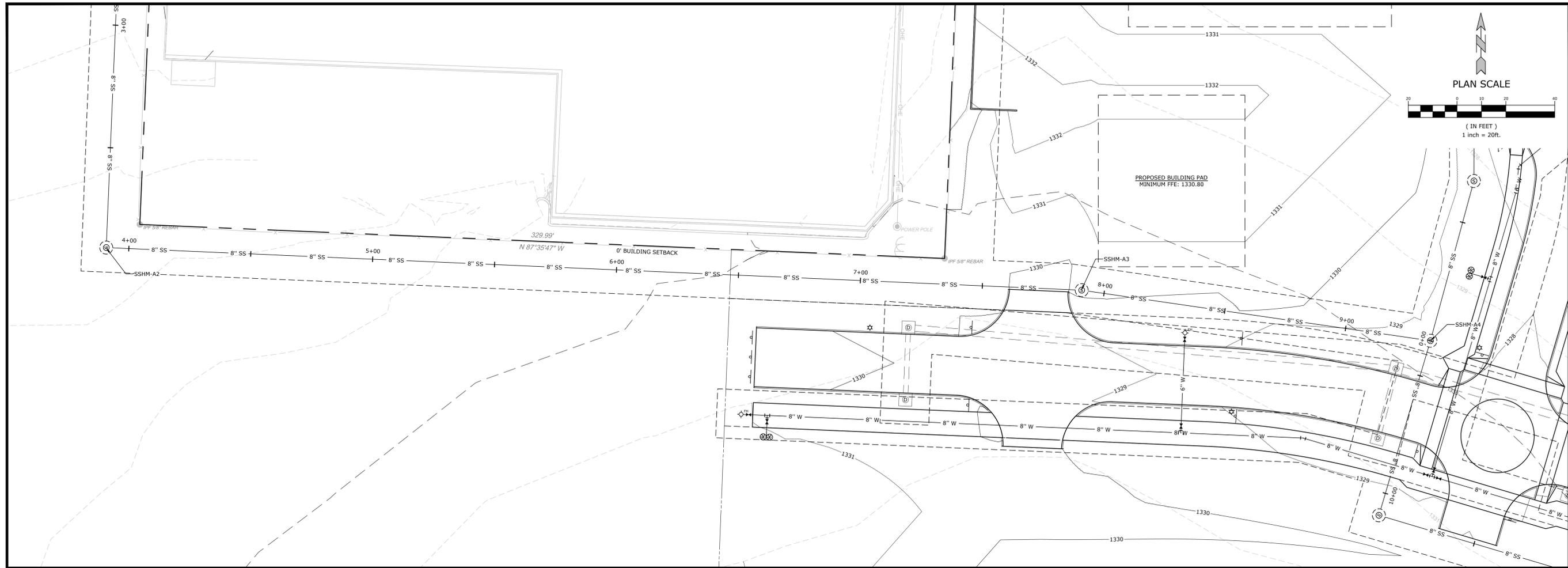


| REV | DATE | DESCRIPTION |
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SANITARY
 LINE A P&P
 STA. 0+00 TO
 STA. 3+91

| | |
|---------------------|------------------------|
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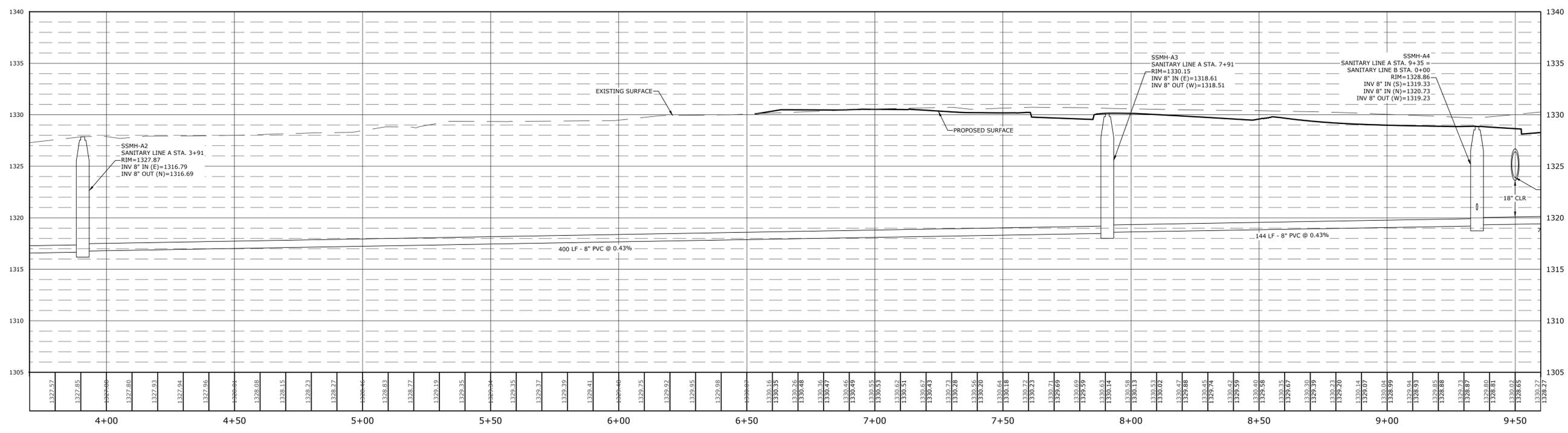
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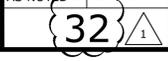
SANITARY LINE A PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



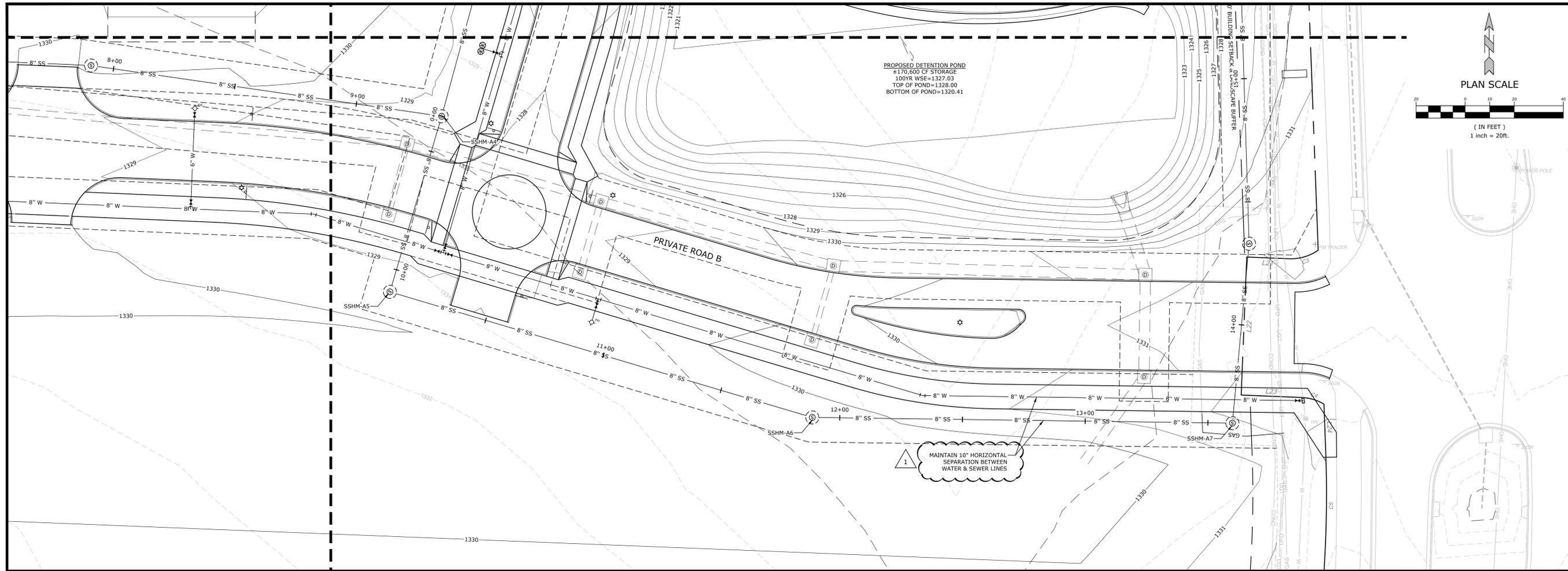
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|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

SANITARY
 LINE A P&P
 STA. 3+91 TO
 STA. 9+35

| | |
|---------------------|------------------------|
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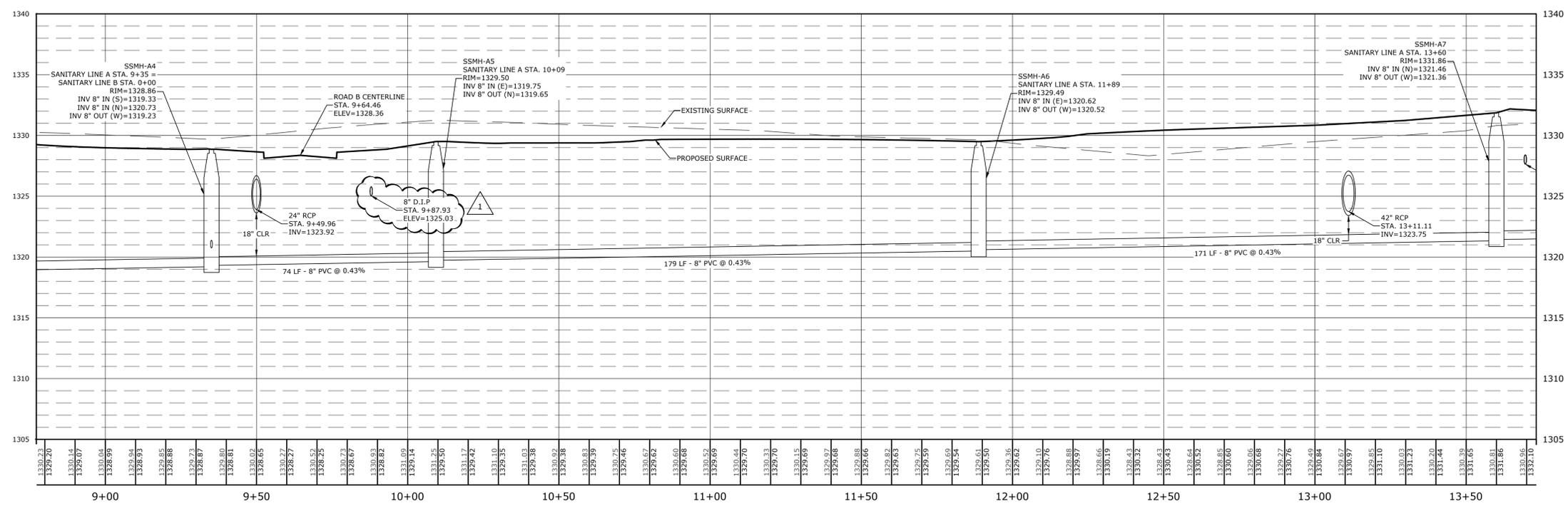
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SANITARY LINE A PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



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SANITARY LINE A P&P
 STA. 9+35 TO
 STA. 13+60

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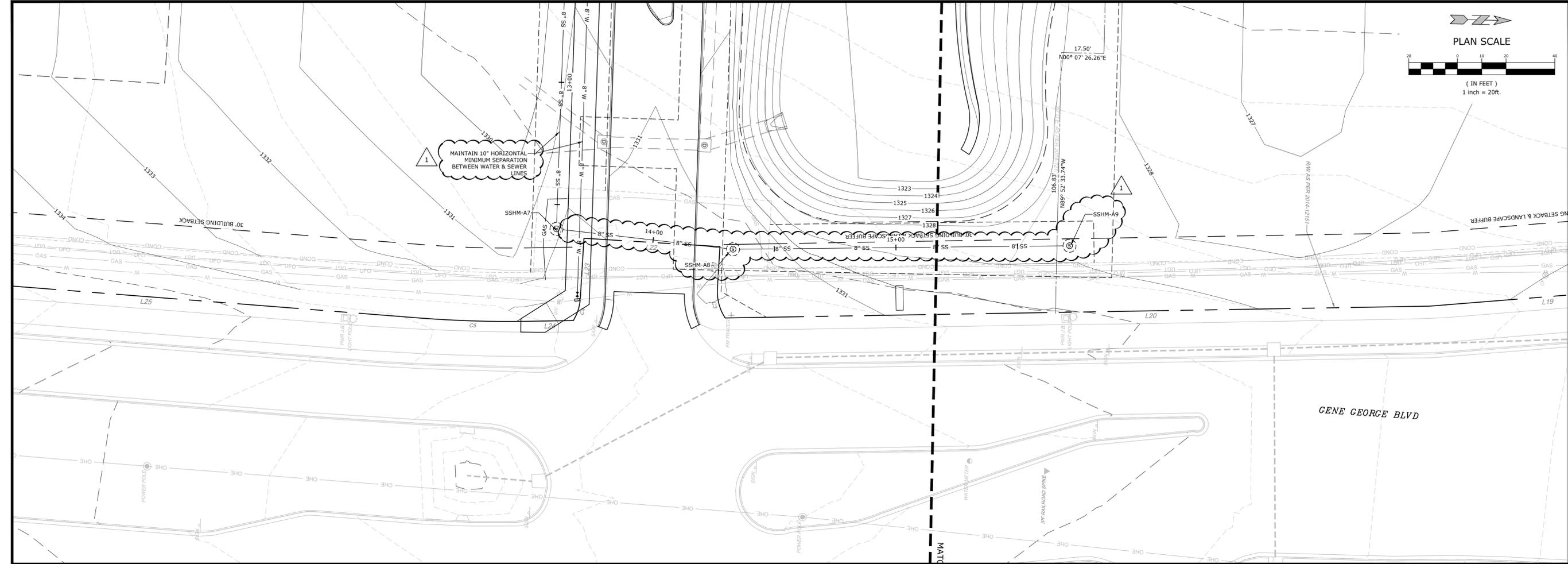
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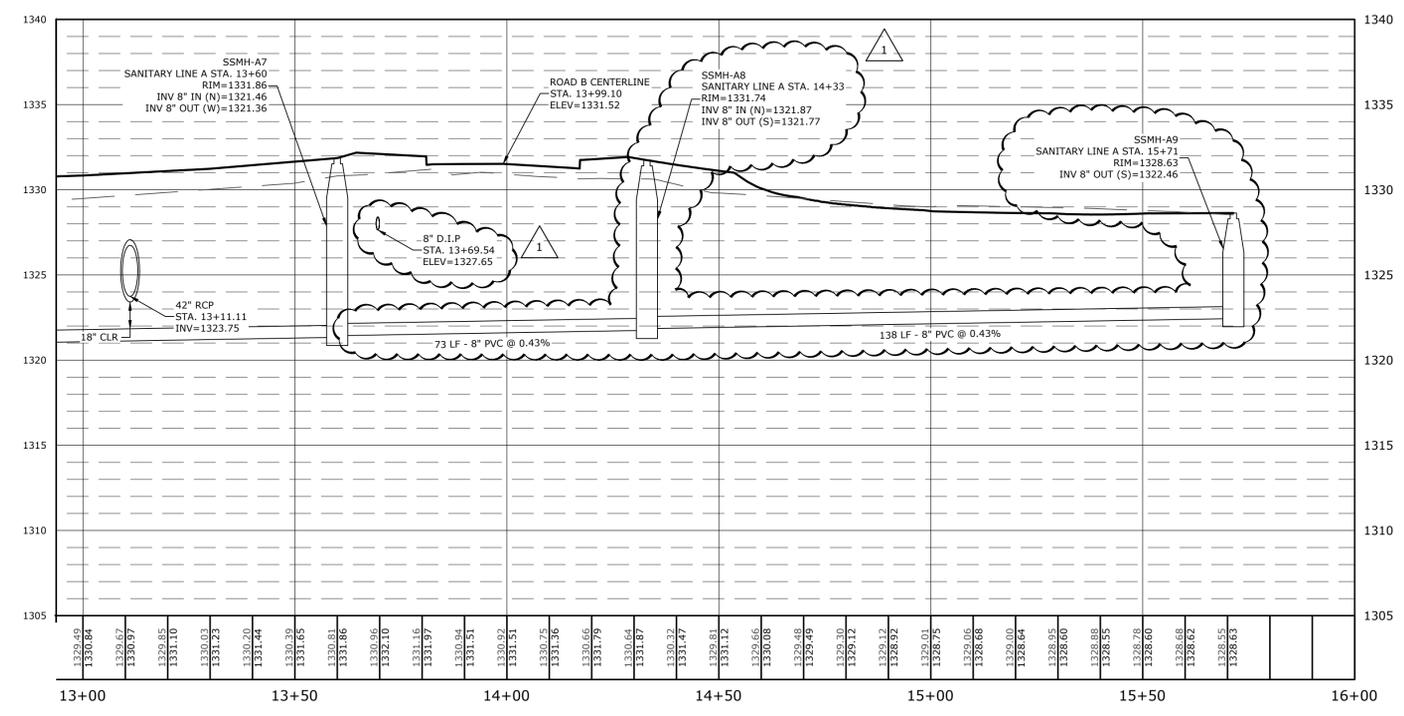
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SANITARY
 LINE A P&P
 STA. 13+60
 TO END

| | |
|---------------------|------------------------|
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| SCALE: AS NOTED | JOB NUMBER: 20-1104 |

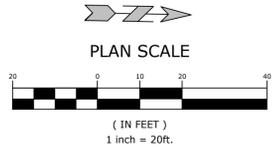
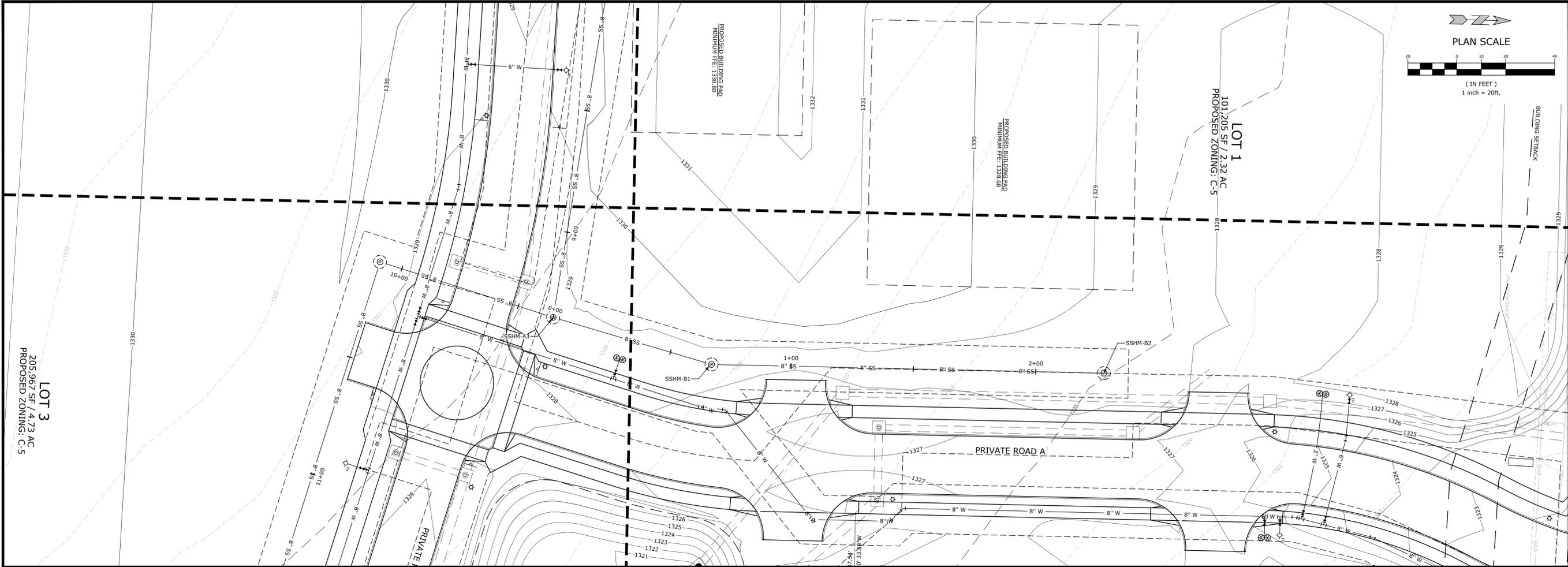


SANITARY LINE A PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



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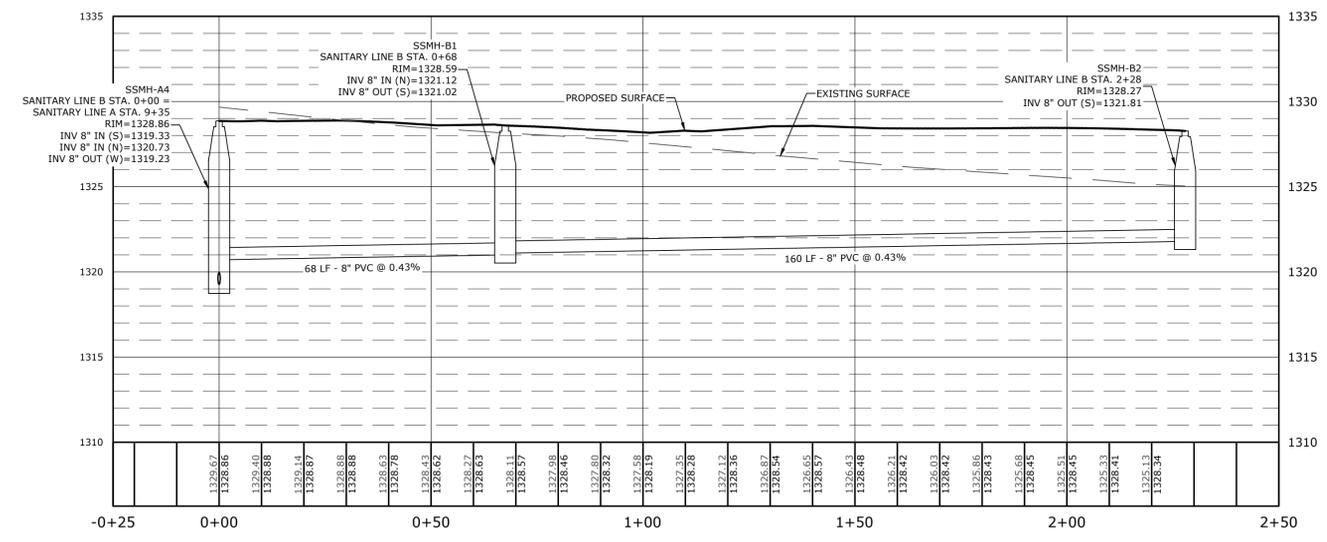
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SANITARY LINE B PROFILE
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=5'



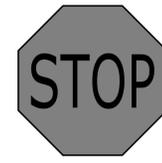
| REV | DATE | DESCRIPTION |
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| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

SANITARY LINE B P&P

| | |
|---------------------|------------------------|
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| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

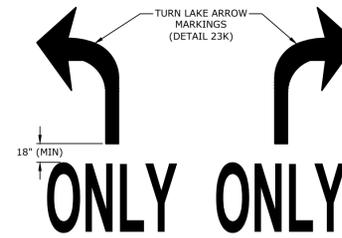


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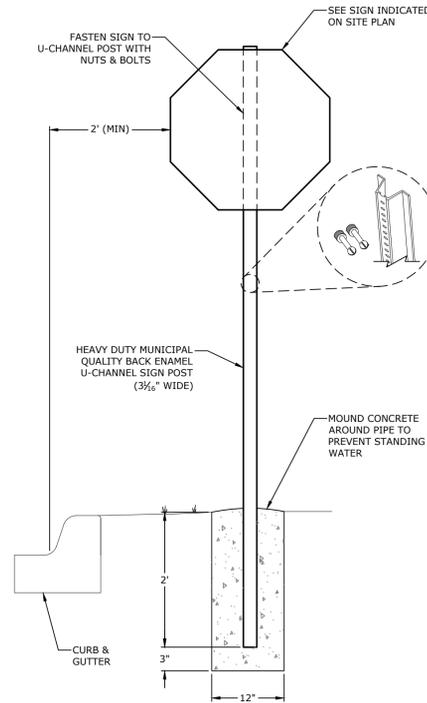
R1-1
SINGLE LANE ROAD: 30"x30"
MULTI-LANE ROAD: 36"x36"

24D 'STOP' SIGN
NTS

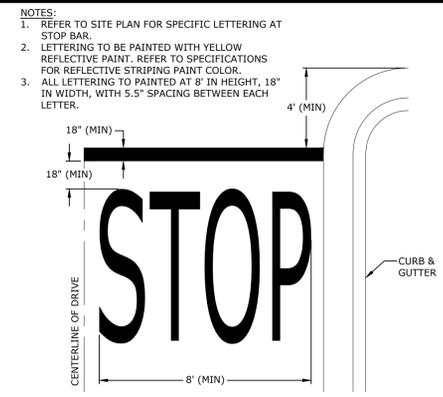


- NOTES:
- ARROWS FOR ROADS AND DRIVEWAYS SHALL BE APPLIED ACCORDING TO THE REQUIREMENTS AS OUTLINES IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SECTION 3B-20 FOR STREETS AND HIGHWAYS.
 - ARROWS ARE TO BE PAINTED WITH WHITE REFLECTIVE PAINT.
 - ALL LETTERING TO BE PAINTED AT 8" IN HEIGHT, 18" IN WIDTH, WITH 5.5" SPACING BETWEEN EACH LETTER.

23K TURN LANE 'ONLY' PAVEMENT MARKING
NTS

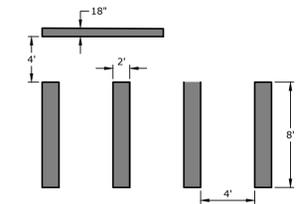


24B SIGN POST
NTS



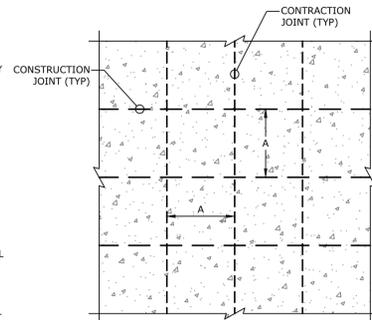
23E STOP BAR
NTS

- NOTES:
- ALL PAVEMENT MARKING SHALL BE OF THERMOPLASTIC MATERIAL (WHITE).
 - CROSSWALK SHALL BE CENTERED ON ADA RAMP AND RUN PERPENDICULAR TO THE STREET CENTERLINE.
 - ANY EXISTING LANE MARKINGS SHALL BE REMOVED WHERE THEY CONFLICT W/ THE NEW MARKINGS.



22H CROSSWALK STRIPING
NTS

- NOTES:
- DOWELS SHALL BE FULLY SHOP PAINTED WITH ONE COAT OF CORROSION INHIBITING PRIMER CONFORMING TO FEDERAL SPEC. TT-P-664D.
 - DOWELS SHALL BE SOLID SMOOTH STEEL BARS.
 - PRIOR TO INSTALLATION IN CONTRACTION JOINTS, DOWELS SHALL BE LIGHTLY GREASED WITH A THIN COAT OF HIGH MELTING POINT GREASE (OR APPROVED EQUAL) AS INDICATED. IN THE CONSTRUCTION JOINTS, ONLY THE FREE END SHALL BE GREASED, AND ONLY AFTER INSERTION AND GROUTING INTO PLACE.
 - ALL CONSTRUCTION JOINT DOWELS SHALL BE GANG-DRILLED AND EPOXY GROUTED. INSERTION EQUIPMENT WILL NOT BE ALLOWED.
 - DRILLING METHOD FOR DOWELS SHALL BE CAPABLE OF MAINTAINING DRILL HOLES PARALLEL TO THE CONCRETE SURFACE AND NORMAL TO THE JOINT LINES. DRILL HOLES SHALL BE ACCURATELY LAID OUT SO THAT THE MAXIMUM HORIZONTAL DEVIATION DOES NOT EXCEED 1". DRILL HOLE DIAMETER TO BE OF SUFFICIENT SIZE TO ACCEPT THE TYPE AND SIZE OF DOWEL REQUIRED.
 - AFTER DRILLING IS COMPLETE AND PRIOR TO THE INSTALLATION OF THE DOWELS, THE HOLES SHALL BE THOROUGHLY CLEANED TO REMOVE DRILLING DUST, CONCRETE CHIPS, AND / OR ANY OTHER MATERIAL DETRIMENTAL TO DEVELOPING BOND.
 - EPOXY GROUT SHALL BE INJECTED UNIFORMLY INTO THE DOWEL HOLE (CONTRACTOR SHALL NOT DIP AND INSERT DOWEL) AND SUFFICIENT MATERIAL SHALL BE PLACED IN THE HOLE SO THAT A SLIGHT AMOUNT WILL BE FORCED OUT FROM AROUND THE DOWEL WHEN THE DOWEL IS INSERTED AND TAPPED TO THE CORRECT POSITION (SMALL WEDGES MAY BE USED TO SUPPORT THE DOWEL IN CORRECT ALIGNMENT UNTIL THE MATERIAL HARDENS). THE TOLERANCE FOR DOWEL ALIGNMENT IN EITHER THE HORIZONTAL OR VERTICAL PLANE IS 1/4" PER 1' OF DOWEL BAR.
 - ALL LONGITUDINAL AND TRANSVERSE CONTRACTION JOINT TIE BARS AND DOWELS SHALL BE INSTALLED USING AN ENGINEER-APPROVED WELDED BASKET ASSEMBLY ANCHORED TO THE BASE WITH A MINIMUM OF 4 GALVANIZED STRAPS AND NAILS (PER ASSEMBLY); POSITION ANCHOR STRAPS ON ALTERNATING SIDES OF THE BASKET ASSEMBLY.
 - A TRANSVERSE CONSTRUCTION JOINT SHALL BE INSTALLED AT A PLANNED JOINT WHEN PAVING OPERATIONS ARE INTERRUPTED FOR MORE THAN 30 MINUTES. IF THE INTERRUPTION OCCURS BETWEEN PLANNED JOINTS, THE FRESH CONCRETE SHALL BE REMOVED BACK TO THE PREVIOUSLY INSTALLED JOINT. UNLESS OTHERWISE APPROVED, NO JOINTS WILL BE ALLOWED BETWEEN THE JOINTS SHOWN ON THE JOINTING PLAN.
 - EDGES OF CONCRETE SLABS SHALL BE COVERED WITH AN APPROVED CURING MATERIAL AT THE SAME TIME AS THE SURFACE IS CURING. AT FORMED LOCATIONS, SLAB SIDES SHALL BE CURED WHEN FORMS ARE REMOVED.
 - IN THICKENED EDGE AREAS WHERE DOWELS OR REINFORCING STEEL IS REQUIRED, PROVIDE ADDITIONAL SUPPORT (AS APPROVED BY THE ENGINEER) TO MAINTAIN THE SAME DEPTH FROM THE SURFACE AS FOR TYPICAL 6" CONCRETE PAVEMENT.
 - CONCRETE IN REINFORCED PANELS SHALL BE PLACED IN ONE COURSE. ALL WELDED WIRE FABRIC (WWF) SHALL BE INSTALLED USING ENGINEER APPROVED HI-CHAIRS ANCHORED TO THE CRUSHED AGGREGATE BASE COURSE (3" ON CENTER MAX). THE WWF SHALL RETAIN ITS SPECIFIED POSITION DURING CONCRETE PLACEMENT. WWF VIBRATED DOWN FROM THE TOP AFTER CONCRETE IS PLACED WILL NOT BE ALLOWED.
 - SEALANT RESERVOIR SHAPE FACTOR ('W' & 'D'), SHALL BE PER THE MANUFACTURER'S RECOMMENDATIONS.
 - ALL JOINT SEALANT RESERVOIRS SHOWN ON THIS SHEET SHALL BE VERIFIED BY THE SEALANT MANUFACTURER PRIOR TO CONSTRUCTION (REFER TO SECTION P-605 OF THE SPECIFICATIONS FOR FURTHER INFORMATION).
 - THE PRE-FORMED JOINT SEAL IN CONTRACTION JOINTS SHALL BE INSTALLED IN ONE CONTINUOUS PIECE ACROSS THE PAVEMENT. THE CONSTRUCTION JOINT SEALANT SHALL BE INTERRUPTED AT EVERY TRANSVERSE JOINT.
 - ALL WORK AND MATERIALS REQUIRED FOR JOINTS IS INCIDENTAL TO PAVEMENT PAY ITEMS.
 - THE CONTRACTOR HAS THE OPTION TO POUR A MONOLITHIC SLAB IN WHICH ALL JOINTS WILL BE CONTRACTION JOINTS.

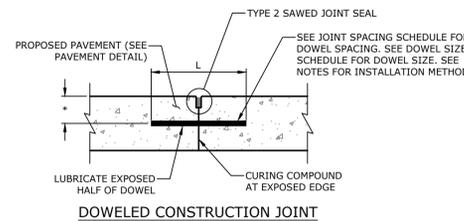


TYPICAL JOINT SPACING

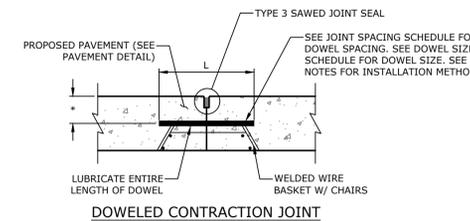
| JOINT SPACING SCHEDULE | |
|------------------------|--------|
| PAVEMENT THICKNESS 'D' | 'A' |
| ≤ 3.5" | 8'-6" |
| 4" - 4.5" | 10' |
| 5" - 5.5" | 12'-6" |
| 6" OR GREATER | 15' |

| DOWEL SIZE SCHEDULE* | | | |
|------------------------|-------------------|-----------------|------------------|
| PAVEMENT THICKNESS 'D' | SIZE OF DOWEL 'Ø' | DOWEL EMBEDMENT | DOWEL LENGTH 'L' |
| ≤ 5" | 3/8" Ø | 5" | 12" |
| 6" - 8" | 3/8" Ø | 6" | 14" |
| 9" | 3/8" Ø | 7" | 16" |

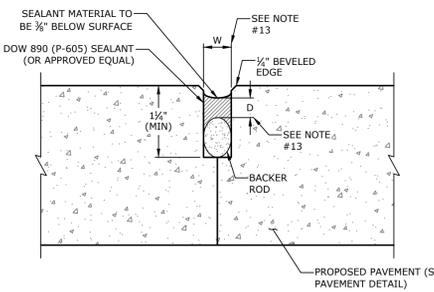
*DOWELS TO BE SPACED AT 18" O.C. (UNLESS OTHERWISE NOTED) IF NO REBAR IS USED



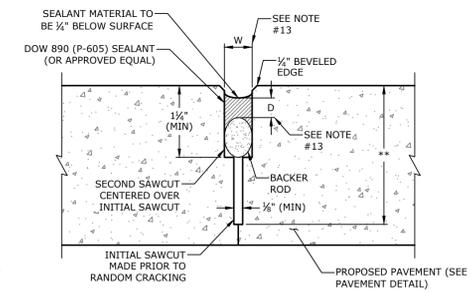
SAWED CONSTRUCTION JOINT SEAL - TYPE 2



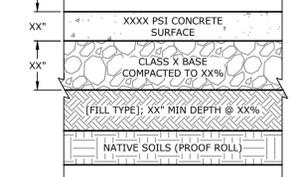
SAWED CONSTRUCTION JOINT SEAL - TYPE 3



21H CONCRETE PAVEMENT DOWEL & JOINTING
NTS

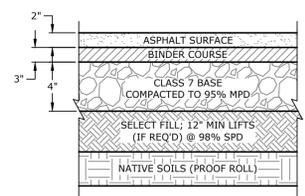


* - 0.5 x PAVEMENT THICKNESS (1/2" ±)
** - 1/2 PAVEMENT THICKNESS (1/2" ±)



- NOTES:
- MATERIALS TO BE COMPACTED AT OPTIMAL MOISTURE CONTENT BASED UPON GEOTECHNICAL RECOMMENDATIONS.
 - BASE COURSE SHALL ADHERE TO SECTION 303, AHTD STANDARD SPECIFICATIONS, 2014 EDITION.
 - REFER TO GEOTECHNICAL REPORT PROJECT NO. [PROJECT #] PREPARED BY [GEOTECH COMPANY NAME] DATED [REPORT DATE].

21D HEAVY DUTY CONCRETE PAVING
NTS



- NOTES:
- MATERIALS TO BE COMPACTED AT OPTIMAL MOISTURE CONTENT BASED UPON GEOTECHNICAL RECOMMENDATIONS.
 - ACHM SURFACE COURSE SHALL ADHERE TO SECTION 407, TABLE 407-1 (TYPE II), AHTD STANDARD SPECIFICATIONS, 1996 EDITION.
 - ACHM BINDER COURSE SHALL ADHERE TO SECTION 406, TABLE 406-1, AHTD STANDARD SPECIFICATIONS, 2014 EDITION.
 - BASE COURSE SHALL ADHERE TO SECTION 303, AHTD STANDARD SPECIFICATIONS, 2014 EDITION.
 - REFER TO GEOTECHNICAL REPORT PROJECT NO. [PROJECT #] PREPARED BY [GEOTECH COMPANY NAME] DATED [REPORT DATE].

21B HEAVY DUTY ASPHALT PAVING
NTS

PP #20-03

MCE McCLELLAND CONSULTING ENGINEERS, INC.
DESIGNED TO SERVE
1810 N COLLEGE AVE
FAYETTEVILLE, ARKANSAS 72703
(479) 443-2377
HTTP://WWW.MCE.US

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ORIGINAL SIGNATURE ON FILE

THE CROSSINGS
COMMERCIAL DEVELOPMENT
U.S. HWY. 412 & GENE GEORGE BLVD.
SPRINGDALE, AR



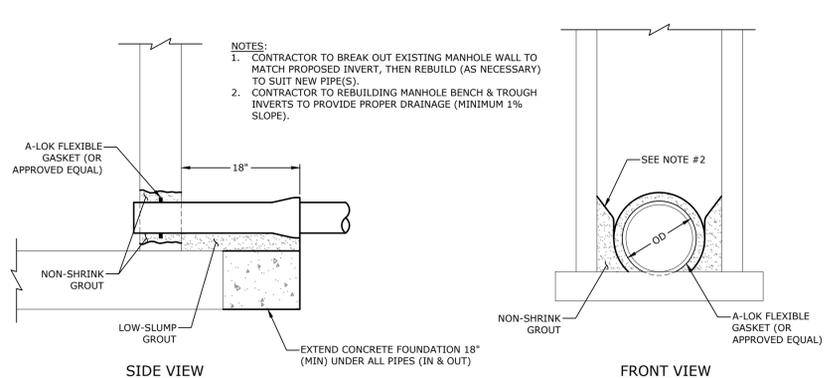
Know what's below.
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| REV | DATE | DESCRIPTION | ADDRESSING CITY TECHPLAT COMMENTS |
|-----|-----------|-------------|-----------------------------------|
| 1 | 5/21/2020 | | |

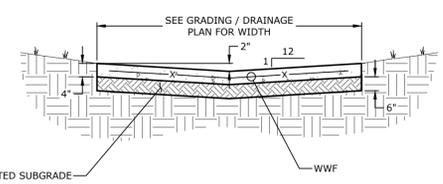
DETAIL SHEET I

| | | | |
|--------------|-----------|-------------|---------|
| DESIGNED BY: | JAD | DRAWN BY: | JAD |
| DATE: | 5/21/2020 | REVISION: | REV-1 |
| SCALE: | | JOB NUMBER: | 20-2104 |
| AS NOTED | | | |

36



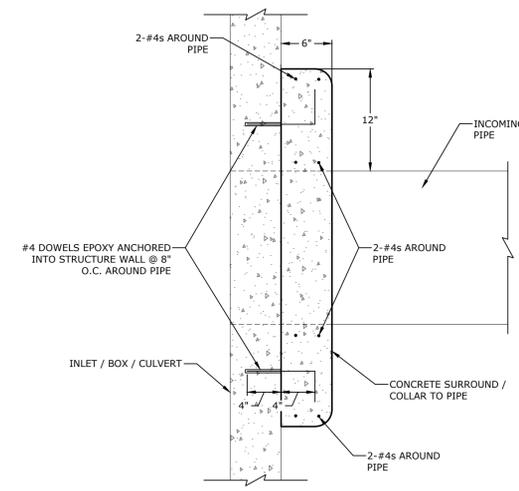
41F SANITARY SEWER CONNECTION AT EXISTING MANHOLE
NTS



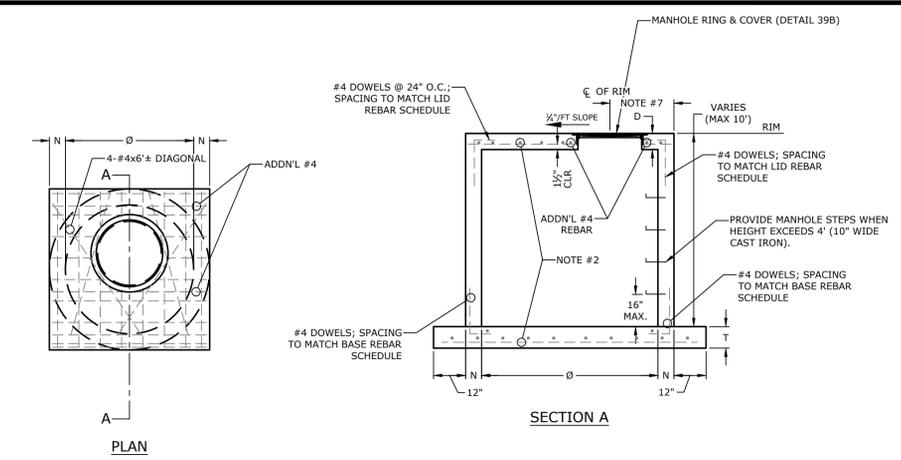
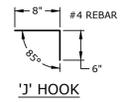
- NOTES:**
 1. CONTRACTOR TO SMOOTH FINISH CONCRETE SWALE.
 2. CONCRETE FOR SWALE TO BE CLASS A WITH A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS (MIN) W/ 4%-7% AIR ENTRAINMENT.
 3. CONCRETE SWALE SHALL BE REINFORCED W/ WELDED WIRE FABRIC (WWF) (6x6), 2" FROM BOTTOM.
 4. CONTROL JOINTS SHALL BE LOCATED EVERY 15' O.C. AND SEALED (SEE SPECIFICATIONS FOR APPROVED SEALERS).
 5. SUBGRADE SHALL BE COMPACTED TO 95% STANDARD PROCTOR.

32A CONCRETE SWALE
NTS

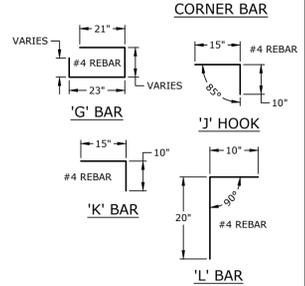
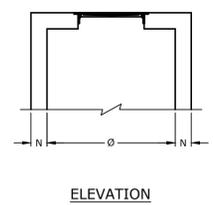
- NOTES:**
 1. DETAIL MAY BE OMITTED IF INCOMING PIPES ARE INCORPORATED WITHIN CAST-IN-PLACE WALL POUR



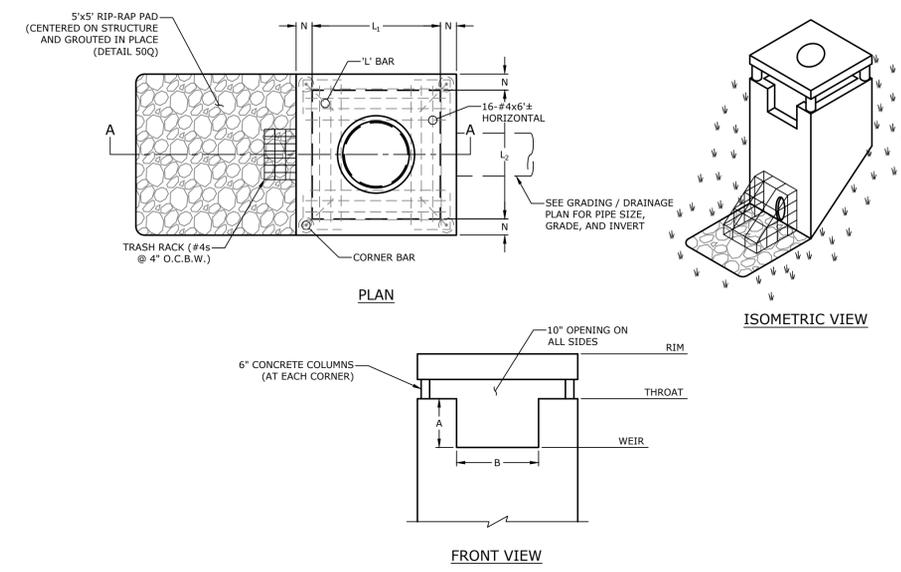
33H STORM PIPE BOX / INLET CONNECTION COLLAR
NTS



- NOTES:**
 1. ALL EXPOSED CORNERS SHALL HAVE 3/4" CHAMFER.
 2. ALL REBAR SHALL BE GRADE 60 AND HAVE A MINIMUM 13/16" COVER, UNLESS OTHERWISE NOTED - REFER TO DRAINAGE STRUCTURE REBAR AND DIMENSION SCHEDULE (DETAIL 30A).
 3. PIPES MAY ENTER INLET FROM ANY DIRECTION OR ELEVATION AS DIRECTED BY THE ENGINEER.
 4. EXPANSION JOINT SHALL HAVE A THICKNESS OF 1/2" AND CONFORM TO AASHTO SPECIFICATIONS M213.
 5. CONCRETE FOR INLET TO BE CLASS A WITH A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS (MIN) W/ 4%-7% AIR ENTRAINMENT.
 6. REFER TO STORM PIPE BOX / INLET CONNECTION (DETAIL 33H) FOR PIPE CONNECTION TO INLET (IF APPLICABLE).
 7. CENTER OF MANHOLE LID SHALL BE PLACED NO MORE THAN 2" (MAX) OFFSET FROM THE EXTERIOR OF THE STRUCTURE WALL FOR ALL STRUCTURES TALLER AND / OR WIDER THAN 4' TO ALLOW ACCESS FOR STEPS.



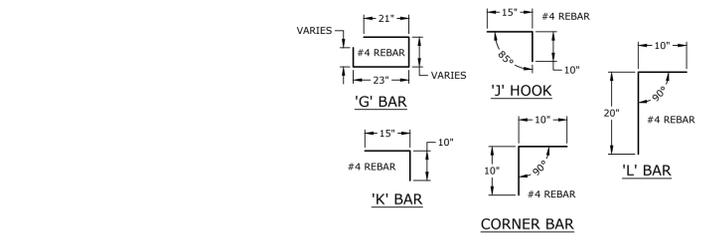
31C CIRCULAR JUNCTION BOX
NTS



OUTFALL CONTROL STRUCTURE TABLE

| | 'A' | 'B' | TRASH RACK | RIM ELEVATION | THROAT ELEVATION | WEIR ELEVATION | ORIFICE ELEVATION | ORIFICE Ø | 'L ₁ ' | 'L ₂ ' |
|-------|-------------------------|-----|----------------|--------------------|------------------|----------------|-------------------|-----------|-------------------|-------------------|
| OCS 1 | THROAT - WEIR ELEVATION | 36" | ORIFICE Ø + 3" | 10" + 'D' + THROAT | 1326.80 | 1325.00 | 1320.41 | 18" | 5' | 5' |

34A OUTFALL CONTROL STRUCTURE
NTS



BASE REBAR SCHEDULE

| SECTION | REBAR |
|---------|-------------------|
| 'A' | #4s @ 6" O.C.B.W. |
| 'B' | #4s @ 6" O.C.B.W. |

LID REBAR SCHEDULE

| DIMENSIONS | REBAR | PATTERN |
|---------------------|-------------------|------------------|
| W ₁ ≤ 7' | #4s @ 8" O.C.B.W. | DIAGONAL @ COVER |
| W ₂ ≤ 7' | #4s @ 8" O.C.B.W. | DIAGONAL @ COVER |
| W ₁ ≤ 7' | #4s @ 8" O.C.B.W. | DIAGONAL @ COVER |
| W ₂ ≥ 7' | #4s @ 6" O.C.B.W. | DIAGONAL @ COVER |
| W ₁ ≥ 7' | #4s @ 6" O.C.B.W. | DIAGONAL @ COVER |
| W ₂ ≥ 7' | #4s @ 6" O.C.B.W. | DIAGONAL @ COVER |

WALL REBAR SCHEDULE

| SECTION | W' (W ₁ & W ₂) | REBAR (HORIZONTAL) | REBAR (VERTICAL) |
|---------|---------------------------------------|--------------------|------------------|
| 'A' | 4'-0" - 7'-0" | #4s @ 9" O.C. | #4s @ 10" O.C. |
| | 4'-0" - 7'-0" | #6s @ 9" O.C. | #4s @ 10" O.C. |
| | > 7'-0" | #5s @ 4 1/2" O.C. | #4s @ 10" O.C. |
| 'B' | 4'-0" | #4s @ 6" O.C. | #4s @ 10" O.C. |
| | 4'-0" - 7'-0" | #6s @ 6" O.C. | #4s @ 10" O.C. |

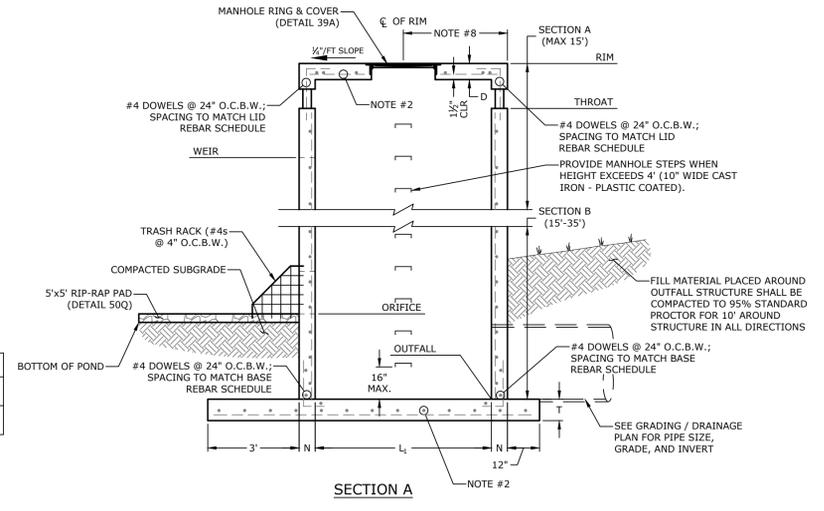
'T', 'N', AND 'D' REBAR SCHEDULE

| SECTION | W' (W ₁ & W ₂) | 'T' | 'N' | 'D' |
|---------|---------------------------------------|----------------|-----|-----|
| 'A' | 4'-0" - 7'-0" | 6" + PIPE WALL | 8" | 6" |
| | > 7'-0" | 6" + PIPE WALL | 8" | 8" |
| 'B' | 4'-0" | 8" + PIPE WALL | 8" | 8" |
| | 4'-0" - 7'-0" | 8" + PIPE WALL | 10" | 8" |

'Ø' AND 'W' DIMENSION

| PIPE SIZE | CIRCULAR STRUCTURE Ø | RECTANGULAR STRUCTURE PIPE SKEW | | |
|----------------------|----------------------|---------------------------------|---------|---------|
| | | STRAIGHT | 30° | 45° |
| ≤ 24" | 48" | 4'-0" | 4'-0" | 4'-10" |
| 30" | 60" | 4'-0" | 4'-7" | 5'-8" |
| 36" | 60" | 4'-0" | 5'-3" | 6'-5" |
| 42" | 60" | 5'-3" | 5'-11" | 7'-3" |
| 48" | 72" | 5'-10" | 6'-7" | 8'-0" |
| 60" | - | 7'-0" | 7'-10" | 9'-8" |
| DOUBLE | | | | |
| FOR 'A' SECTION ONLY | | | | |
| 24" | - | 7'-0" | 7'-10" | 9'-5" |
| 30" | - | 8'-2" | 9'-2" | 11'-0" |
| 36" | - | 9'-4" | 10'-6" | 12'-6" |
| 42" | - | 10'-6" | 11'-10" | 14'-2" |
| 48" | - | 11'-8" | 13'-2" | 15'-10" |

*FOR ALL PIPE LARGER THAN 48", USE RECTANGULAR STRUCTURE



- NOTES:**
 1. ALL EXPOSED CORNERS TO HAVE 3/4" CHAMFER.
 2. ALL REBAR SHALL BE GRADE 60 AND HAVE A MINIMUM 13/16" COVER, UNLESS OTHERWISE NOTED - REFER TO DRAINAGE STRUCTURE REBAR AND DIMENSION SCHEDULE (DETAIL 30A).
 3. PIPES MAY ENTER INLET FROM ANY DIRECTION OR ELEVATION AS DIRECTED BY THE ENGINEER.
 4. CONCRETE FOR INLET TO BE CLASS A WITH A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS (MIN) W/ 4%-7% AIR ENTRAINMENT.
 5. REFER TO OUTFALL PROTECTION TEMPORARY SEDIMENT FILTER (DETAIL 50E) FOR SEDIMENT CONTROL.
 6. TRASH RACK TO BE GROUTED INTO BOTH THE FACE OF STRUCTURE AND INTO RIP-RAP PAD.
 7. REFER TO STORM PIPE BOX / INLET CONNECTION (DETAIL 33H) FOR PIPE CONNECTION TO INLET (IF APPLICABLE).
 8. CENTER OF MANHOLE LID SHALL BE PLACED NO MORE THAN 2" (MAX) OFFSET FROM THE EXTERIOR OF THE STRUCTURE WALL FOR ALL STRUCTURES TALLER AND / OR WIDER THAN 4' TO ALLOW ACCESS FOR STEPS.

30A DRAINAGE STRUCTURE REBAR & DIMENSION SCHEDULE
NTS

MCE McCLELLAND CONSULTING ENGINEERS, INC.
 1810 N COLLEGE AVE
 FAYETTEVILLE, ARKANSAS 72703
 (479) 443-2377
 HTTP://WWW.MCE.US.COM

PRELIMINARY NOT FOR CONSTRUCTION

ORIGINAL SIGNATURE ON FILE

THE CROSSINGS COMMERCIAL DEVELOPMENT
 U.S. HWY. 412 & GENE GEORGE BLVD.
 SPRINGDALE, AR

811
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REVISIONS

| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

DETAIL SHEET II

DESIGNED BY: JAD
 DATE: 5/21/2020
 SCALE: AS NOTED

DRAWN BY: JAD
 REVISION: REV-1
 JOB NUMBER: 20-2104

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 CONSTRUCTION

ORIGINAL SIGNATURE ON FILE

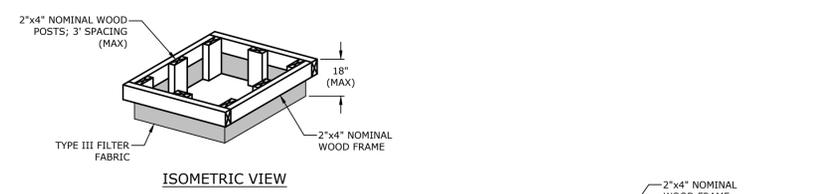
THE CROSSINGS
 COMMERCIAL DEVELOPMENT
 U.S. HWY. 412 & GENE GEORGE BLVD.
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 Know what's below.
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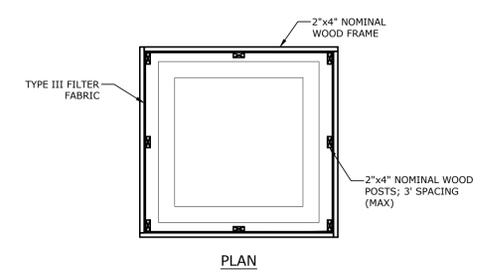
| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

DETAIL SHEET
 III

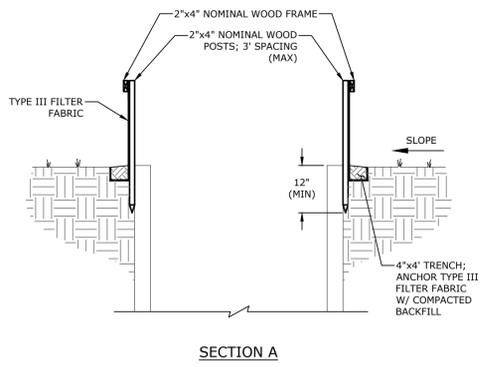
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|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-1104 |



ISOMETRIC VIEW

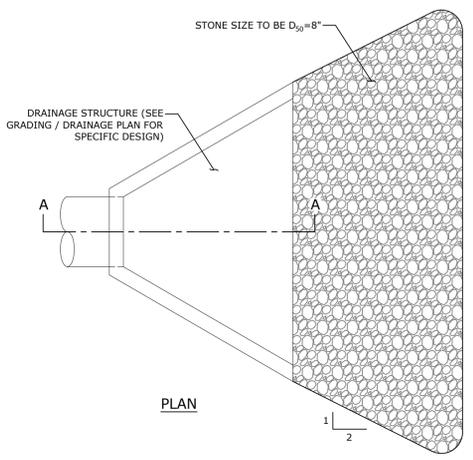


PLAN

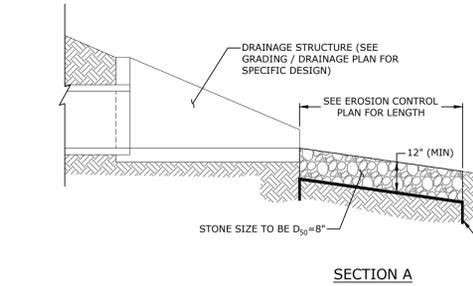


SECTION A

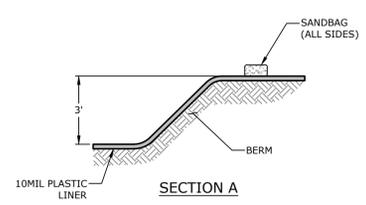
- NOTES:
- PRIOR TO LAYING RIP-RAP & FILTER FABRIC, PREPARE THE SUBGRADE TO THE GRADES SHOWN ON THE GRADING PLAN. COMPACT ANY FILL REQUIRED IN THE SUBGRADE TO A DENSITY APPROXIMATING THAT OF THE SURROUNDING UNDISTURBED MATERIAL.
 - OVERFILL DEPRESSIONS W/ RIP-RAP.
 - REMOVE ANY BRUSH, TREES, STUMPS, AND OTHER OBJECTIONABLE MATERIAL. CUT THE SUBGRADE SUFFICIENTLY DEEP SO THAT THE FINISHED GRADE OF THE RIP-RAP SHALL BE THE ELEVATION OF THE SURROUNDING AREA.
 - CHANNELS SHALL BE EXCAVATED SUFFICIENTLY TO ALLOW PLACEMENT OF RIP-RAP IN SUCH A MANNER SO THE FINISHED INSIDE DIMENSIONS AND GRADE OF THE RIP-RAP MEET DESIGN SPECIFICATIONS.
 - PLACE A SAND AND FILTER BLANKET DOWN IMMEDIATELY AFTER GRAVEL FOUNDATION IS PREPARED. FOR GRAVEL, SPREAD FILTER STONE IN A UNIFORM LAYER W/ A MINIMUM THICKNESS OF 6". WHERE MORE THAN ONE LAYER OF FILTER MATERIAL IS USED, SPREAD THE LAYERS W/ MINIMAL MIXING.
 - PLACE THE FILTER FABRIC DIRECTLY ON THE PREPARED FOUNDATION, OVERLAPPING THE EDGES BY AT LEAST 12", AND SPACE ANCHOR PINS EVERY 3' ALONG THE OVERLAP. BURY THE UPPER AND LOWER ENDS OF THE CLOTH 12" MINIMUM INTO THE GROUND.
 - TAKE CARE TO NOT DAMAGE CLOTH DURING PLACEMENT OF RIP-RAP.
 - WHERE LARGE STONES ARE USED OR MACHINE PLACEMENT IS DIFFICULT, Q 4" LAYER OF FINE GRAVEL OR SAND MAY BE NEEDED TO PROTECT THE FILTER FABRIC.
 - PLACEMENT OF RIP-RAP SHOULD IMMEDIATELY FOLLOW AFTER PLACEMENT OF THE FILTER.
 - DO NOT PLACE RIP-RAP BY DUMPING THROUGH CHUTES OR OTHER METHODS THAT CAUSE SEGREGATION OF STONE SIZES.
 - TAKE CARE TO NOT DISLODGE THE UNDERLYING BASE OR FILTER WHEN PLACING RIP-RAP STONES.
 - FINISHED SLOPE SHALL BE FREE OF POCKETS OF SMALL STONES OR CLUSTERS OF LARGE STONES.
 - RIP-RAP SHALL BE INSPECTED PERIODICALLY FOR SCOUR OR DISLODGED STONES. CONTROL OF WEED AND BRUSH GROWTH MAY BE NEEDED IN SOME LOCATIONS.



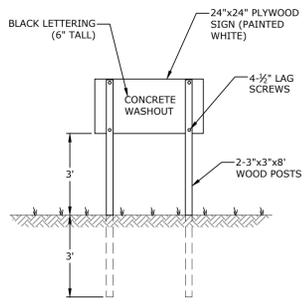
PLAN



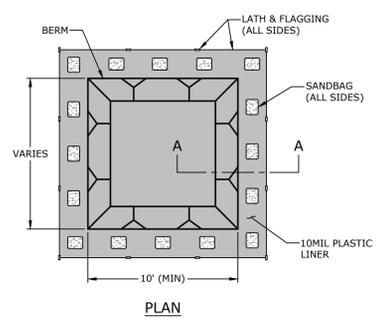
SECTION A



SECTION A



SIGN DETAIL



PLAN

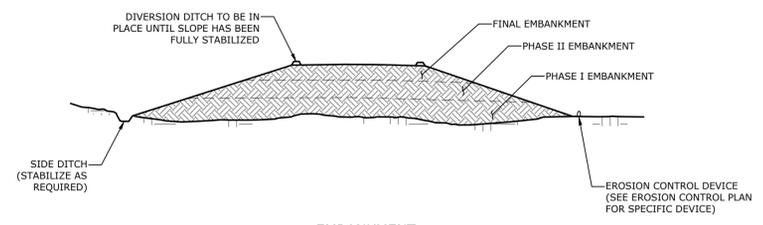
- NOTES:
- NO WASHING OUT OF CONCRETE TRUCKS OR WASHING OF SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS IS ALLOWED.
 - EXCESS CONCRETE IS NOT ALLOWED TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED TEMPORARY CONCRETE WASHOUT PIT AREAS.
 - ON-SITE TEMPORARY CONCRETE WASHOUT AREAS WILL BE LOCATED AT LEAST 50 FEET FROM STORM DRAINS, OPEN DITCHES, OR WATER BODIES AS DETERMINED IN THE FIELD.
 - THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
 - TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE CONSTRUCTED AND MAINTAINED IN SUFFICIENT QUANTITY AND SIZE TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS.
 - WASHOUT FACILITIES WILL BE CLEANED OUT ONCE THE WASHOUT IS 75% FULL.
 - PLASTIC LINING MATERIAL WILL BE MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS.
 - WHEN WASHOUT FACILITIES ARE NO LONGER REQUIRED FOR WORK, THE HARDENED CONCRETE WILL BE REMOVED AND DISPOSED OF. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES WILL BE REMOVED FROM THE SITE AND DISPOSED OF.

50N TEMPORARY CONCRETE WASHOUT
 NTS

50Q PERMANENT RIP-RAP PAD
 NTS

50D TEMPORARY GRATE INLET, JUNCTION BOX, & OPEN LID SEDIMENT FILTER
 NTS

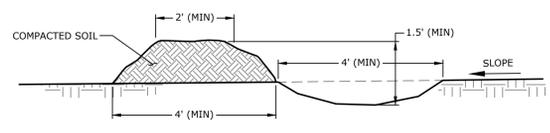
- NOTES:
- NUMBER OF PHASES WILL VARY. THREE PHASES SHOWN FOR ILLUSTRATION PURPOSES ONLY. REFER TO EROSION CONTROL PLAN FOR NUMBER OF PHASES.



EMBANKMENT

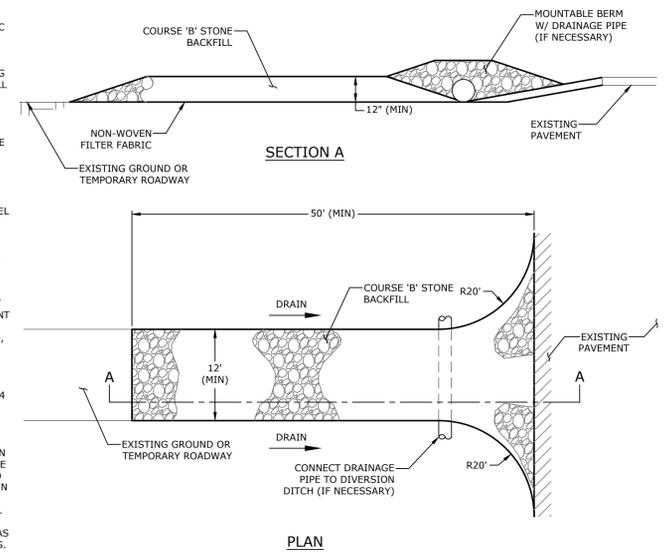
- NOTES:
- ALL EMBANKMENT SLOPES SHALL BE DRESSED, PREPARED, SEEDED, AND MULCHED AS THE WORK PROGRESSES. SLOPES SHALL BE CONSTRUCTED AND STABILIZED IN EQUAL INCREMENTS (NOT TO EXCEED 25 FEET) MEASURED VERTICALLY.

- CONSTRUCTION SEQUENCE:
- CONSTRUCT DIVERSION DITCHES, DITCH CHECKS, SEDIMENT BASINS, SILT FENCES, OR OTHER EROSION CONTROL DEVICES AS SPECIFIED.
 - PLACE PHASE I EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PROVIDE DIVERSION DITCHES AND SLOPE DRAINS IF EMBANKMENT CONSTRUCTION IS TO BE TEMPORARILY ABANDONED FOR A PERIOD OF GREATER THAN 21 DAYS.
 - PLACE PHASE 2 EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PROVIDE DIVERSION DITCHES AND SLOPE DRAINS IF EMBANKMENT CONSTRUCTION IS TO BE TEMPORARILY ABANDONED FOR A PERIOD OF GREATER THAN 21 DAYS.
 - PLACE FINAL PHASE OF EMBANKMENT WITH PERMANENT OR TEMPORARY SEEDING. PLACE DIVERSION DITCHES AND SLOPE DRAINS AND MAINTAIN UNTIL ENTIRE SLOPE IS STABILIZED.

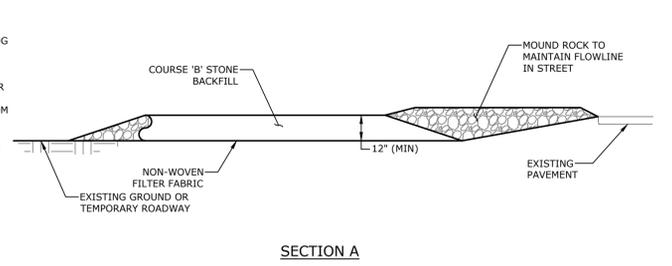


DIVERSION DITCH

50H TEMPORARY EMBANKMENT & DIVERSION DITCH
 NTS



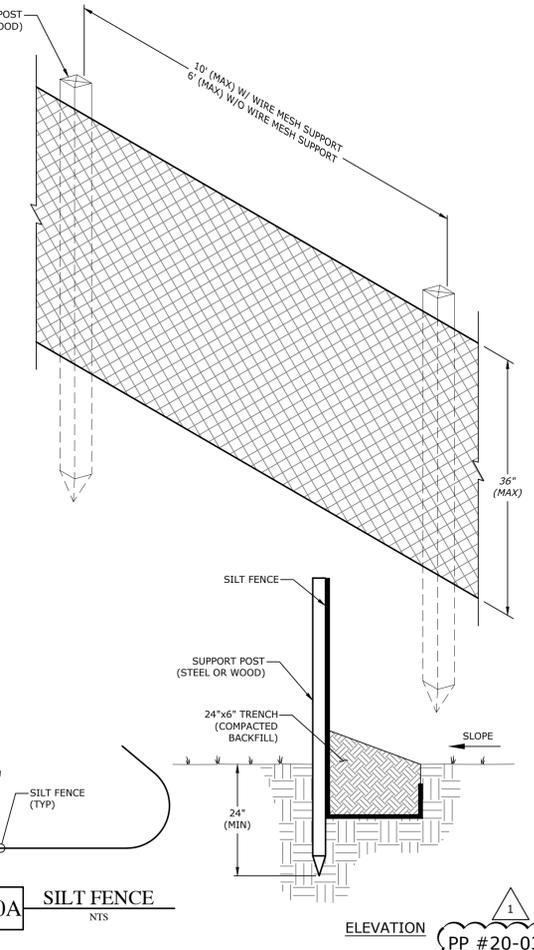
PLAN



SECTION A

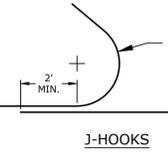
50P TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
 NTS

- NOTES:
- THE SILT FENCE SHALL BE NO GREATER THAN 36" IN HEIGHT.
 - THE SEDIMENT STORAGE SHALL BE NO GREATER THAN 18" IN HEIGHT.
 - SILT FENCE SHALL NOT BE STAPLED OR TIED TO EXISTING TREES.
 - SILT FENCE SHALL PARALLEL THE CONTOUR AS CLOSELY AS POSSIBLE.
 - WHEN USING STANDARD STRENGTH GEOTEXTILE FABRIC FOR SILT FENCING, WIRE MESH SUPPORT WILL BE REQUIRED. MESH SUPPORT SHALL BE FASTENED TO THE UP-SLOPE SIDE OF THE SUPPORT POSTS USING 1" HEAVY DUTY WIRE STAPLES OR TIE WIRES. THE WIRE MESH SHALL EXTEND INTO THE TRENCH THE FULL 6" DEPTH, AND SHALL EXTEND ABOVE THE TRENCH NO GREATER THAN 36" IN HEIGHT.
 - WHEN USING EXTRA STRENGTH GEOTEXTILE FABRIC FOR SILT FENCING WITHOUT WIRE MESH SUPPORT, THE FABRIC SHALL BE STAPLED OR WIRE TIED DIRECTLY TO THE SUPPORT POSTS. THE GEOTEXTILE FABRIC SHALL EXTEND INTO THE TRENCH THE FULL 6" DEPTH, AND SHALL EXTEND ABOVE THE TRENCH NO GREATER THAN 36" IN HEIGHT.
 - WHEN POSSIBLE, SILT FENCE SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID JOINTS. HOWEVER, WHEN JOINTING BECOMES NECESSARY, THE FENCE SHALL BE SPLICED TOGETHER AT A SUPPORT POST ONLY, WITH A 6" MINIMUM OVERLAP OF THE PREVIOUS FENCE AND NEW FENCE. BOTH ENDS OF FENCE SHALL BE ATTACHED SECURELY TO THE SUPPORT POST.
 - SUPPORT POSTS SHALL BE EVENLY SPACED W/ A MAXIMUM DISTANCE OF 10' BETWEEN EACH SUPPORT POST WHEN USING WIRE MESH SUPPORT; WHEN WIRE MESH SUPPORT IS NOT USED, SUPPORT POSTS SHALL BE NO MORE THAN 6' APART. EACH SUPPORT POST SHALL BE STAKED DOWN INTO THE GROUND A MINIMUM OF 24".
 - AT THE END OF EACH ROW OF SILT FENCE, THE ENDS OF THE FENCE SHALL BE TURNED UPHILL A 24" WIDE X 6" DEEP TRENCH SHALL BE EXCAVATED UP-SLOPE OF THE FENCE, ALONG THE LENGTH OF THE FENCE.
 - TRENCH SHALL BE BACKFILLED AND SOIL COMPACTED OVER THE SILT FENCE.
 - WHEN A SILT FENCE IS NEAR THE TOE OF A SLOPE, FENCE MUST BE SET 6' FROM SAID TOE.
 - SILT FENCING MAY BE REMOVED ONCE IT IS NO LONGER NEEDED FOR EROSION CONTROL PURPOSES. HOWEVER, UP-SLOPE SOILS MUST BE PERMANENTLY STABILIZED PRIOR TO BEING REMOVED, AND ANY ACCUMULATED SEDIMENT HAS BEEN REMOVED.
 - SILT FENCES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINSTORM EVENT FOR ANY DAMAGE DONE TO THE SILT FENCE. ALL SEDIMENT SHALL BE REMOVED FROM THE FENCE WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE, OR 9" MAXIMUM. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 - WHEN 'J' HOOKS ARE EMPLOYED, THERE SHALL BE AN OVERLAP OF 2" MIN. BETWEEN UPSLOPE 'J' HOOK AND THE BEGINNING OF THE DOWNSLOPE 'J' HOOK. EACH HOOK SHALL HAVE A RADIUS OF 3" MIN.



ELEVATION

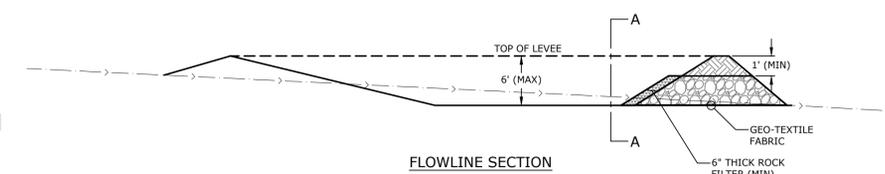
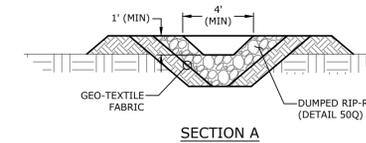
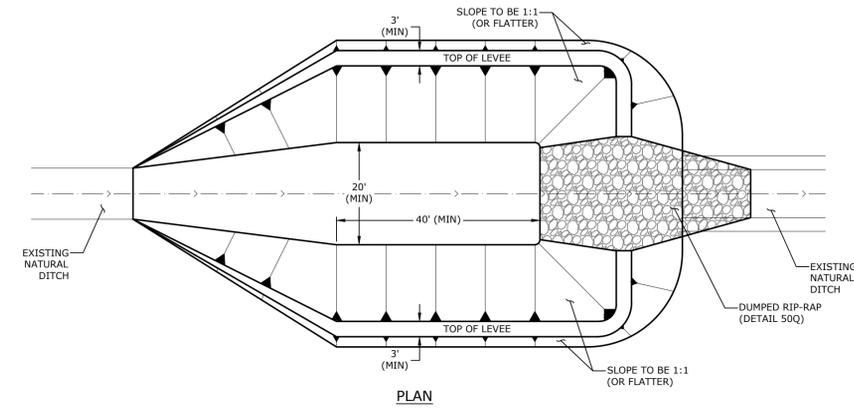
50A SILT FENCE
 NTS



J-HOOKS

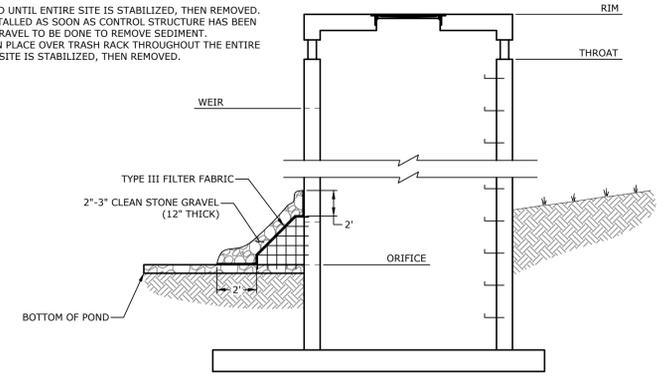
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NOTES:
 SIZE OF BASIN SHALL BE DETERMINED BY VOLUME
 REQUIRED; HOWEVER, A MINIMUM LENGTH-TO-WIDTH
 RATIO OF 2:1 SHALL BE USED.



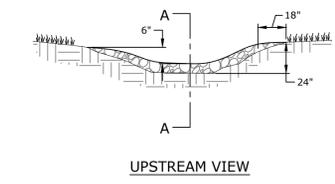
50L TEMPORARY SEDIMENT BASIN W/ RIP-RAP OUTLET NTS

NOTES:
 1. ORIFICE TO BE COVERED AND PLUGGED UNTIL ENTIRE SITE IS STABILIZED, THEN REMOVED.
 2. GRAVEL AND FILTER FABRIC TO BE INSTALLED AS SOON AS CONTROL STRUCTURE HAS BEEN COMPLETED. PERIODIC CLEANING OF GRAVEL TO BE DONE TO REMOVE SEDIMENT.
 3. GRAVEL AND FILTER FABRIC TO STAY IN PLACE OVER TRASH RACK THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD UNTIL ENTIRE SITE IS STABILIZED, THEN REMOVED.

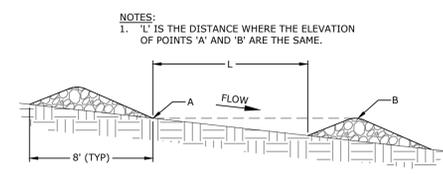


50E TEMPORARY OUTFALL PROTECTION SEDIMENT FILTER NTS

NOTES:
 1. CHECK DAM(S) SHALL BE CONSTRUCTED W/ ROCK SIZES BETWEEN 3\"/>



MAINTENANCE & INSPECTIONS:
 1. REMOVE ALL SEDIMENT FROM BEHIND ANY CHECK DAM(S) WHEN IT REACHES 3/4 THE HEIGHT OF DAM(S), OR AS NEEDED. ALL REMOVED SEDIMENT SHALL BE LOCATED TO AN AREA THAT WILL NOT CONTRIBUTE TO SEDIMENT RUNOFF TO ANY OFFSITE AREA AND CAN BE PERMANENTLY STABILIZED.
 2. ALL CHECK DAM(S) SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AFTER ALL SIGNIFICANT STORM EVENTS (>1\"/>



50J TEMPORARY ROCK CHECK DAM NTS

51A SWP-CI "BIG RED" Curb Inlet Protector Product Reference

ASIP ENTERPRISES
 Quick Supply
 The Midwest's Most Trusted Site Solutions Provider

GEO SOURCE

Product

The SWP-CI "Big Red" Filter is a REUSABLE inlet protector that keeps out sediment throughout the entire construction project. There are no pockets to fill, no velcro bags, no assembly etc. Simply place in front of the inlet, make sure it lays in the contour, and you are DONE!

"Big Red" CI Protector Advantages:

- Easy to Install
- Versatile for a variety of curb inlets
- Reusable and Extremely easy to clean
- Made from 90% Inert Recycled Materials

Fabric Properties

| Property | Test | Units | Value |
|-----------------------|------------|----------------------|-------|
| Weight | ASTM D5261 | oz/sq yd | 9.3 |
| Grab Tensile Strength | ASTM D4632 | lb warp 250 fill 290 | |
| Tear Strength | ASTM D4533 | lb warp 60 fill 50 | |
| Burst | ASTM D3786 | psi | 440 |

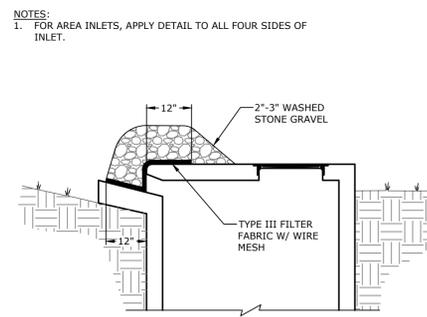
Installation

Simple installation also translates into simple removal, cleanup and re-use at the next project or phase. Maintenance is simple as well by lifting the unit from the inlet, shaking the mud off of it, removing the sediment on the concrete, and placing the unit back. If it is severely filled with sediment, wash it out in a vegetated area and it is as good as new.

All of these features and benefits combine to make the SWP-CI "Big Red" curb inlet protector the perfect choice for all curb inlet applications. It comes in 54" long for single curb inlets and 104" lengths for double curb inlets. Custom sizes are also available depending on quantity.

product reference

800.362.2245 www.quicksupplydm.com 800.869.9600 www.aspent.com



50C TEMPORARY CURB & AREA INLET SEDIMENT FILTER NTS

NOTES:
 1. 'L' IS THE DISTANCE WHERE THE ELEVATION OF POINTS 'A' AND 'B' ARE THE SAME.

MCE McCLELLAND CONSULTING ENGINEERS, INC.
 1810 N COLLEGE AVE
 FAYETTEVILLE, ARKANSAS 72703
 (479) 443-2377
 HTTP://WWW.MCE.US.COM

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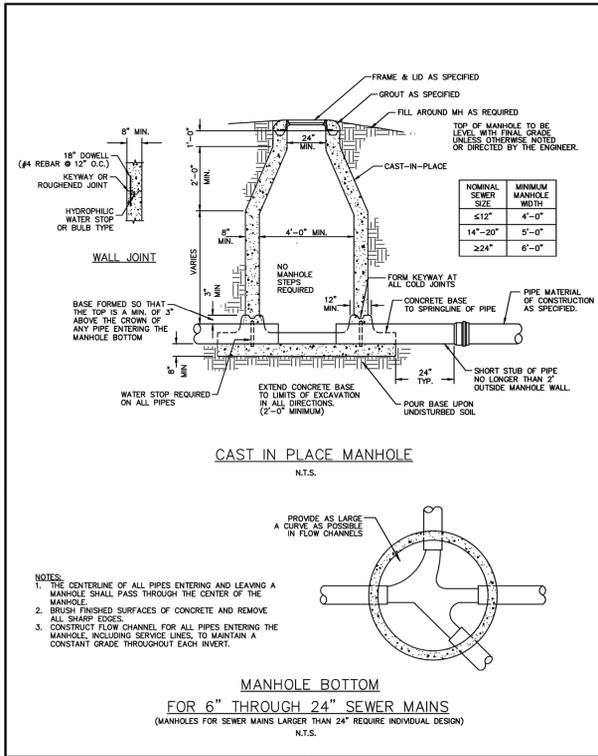
811
 Know what's below.
 Call before you dig.

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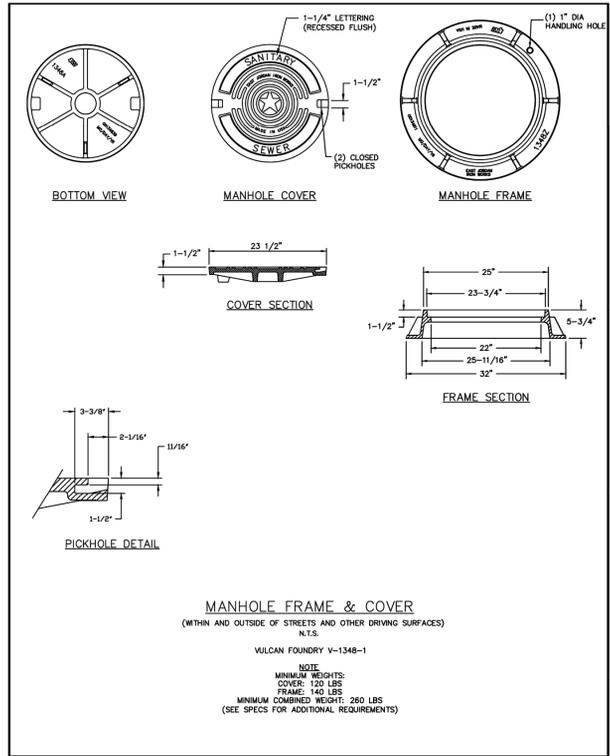
DETAIL SHEET IV

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 SCALE: AS NOTED

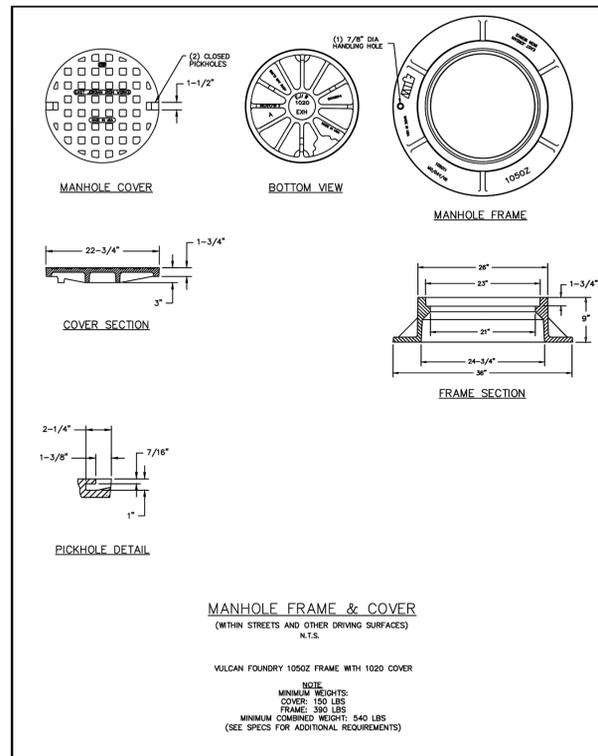
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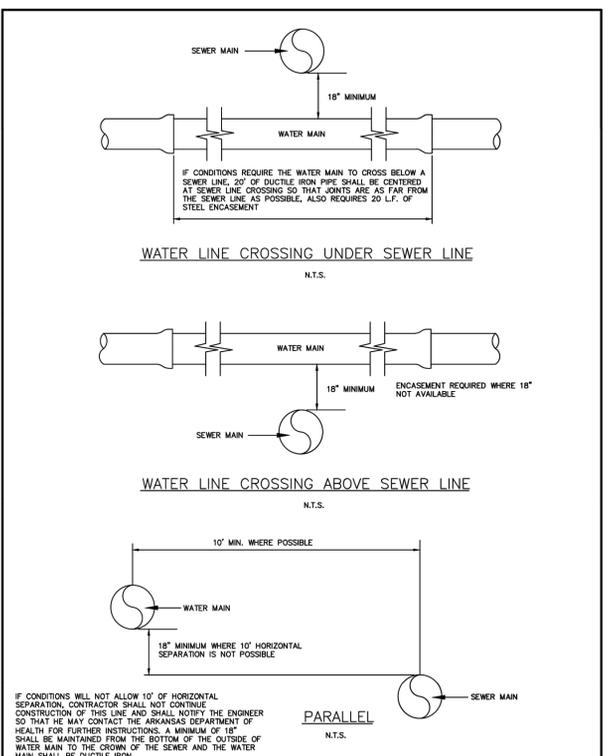
SPRINGDALE WATER UTILITIES
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49D
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DRAWN BY: TLS DRAWING NO: S-11 DATE: MARCH 2008



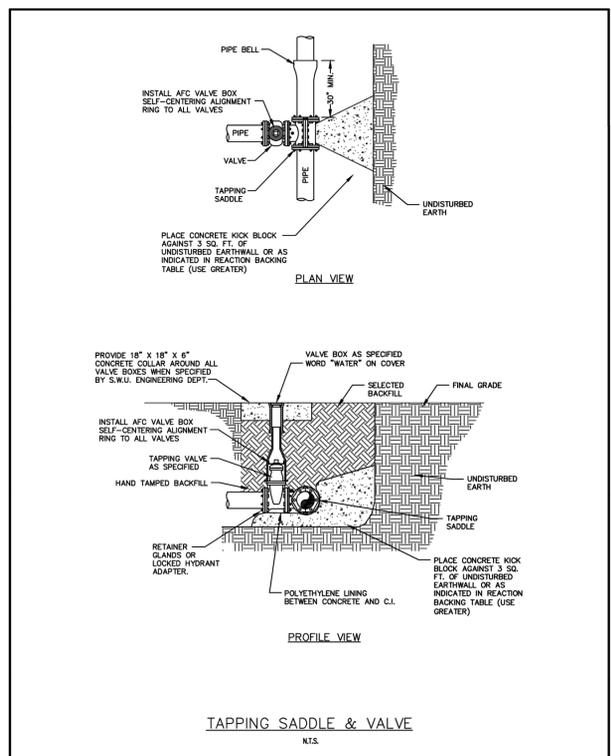
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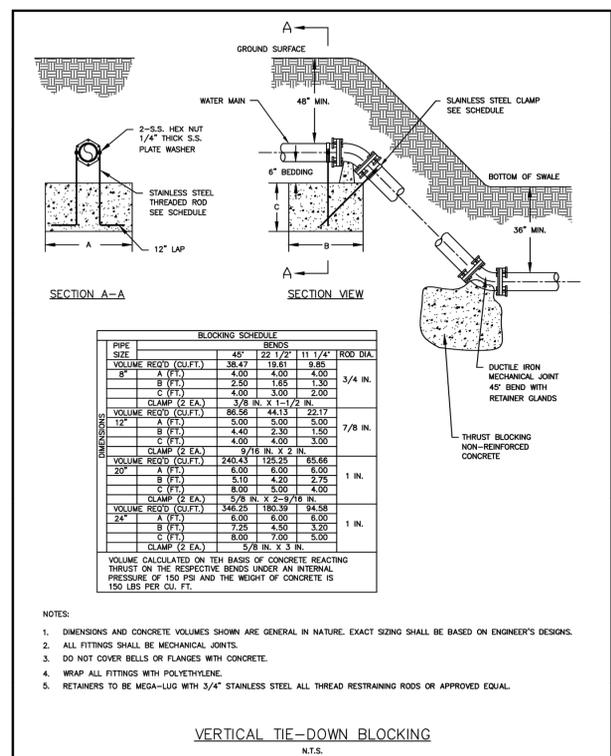
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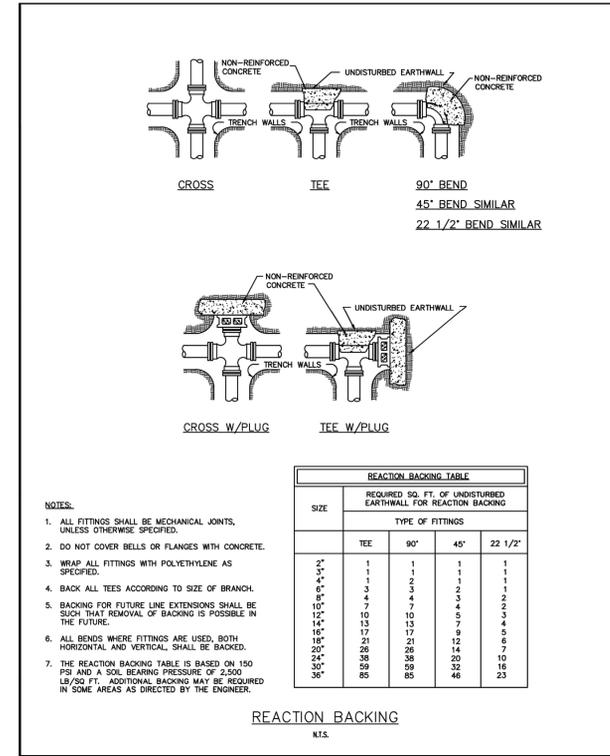
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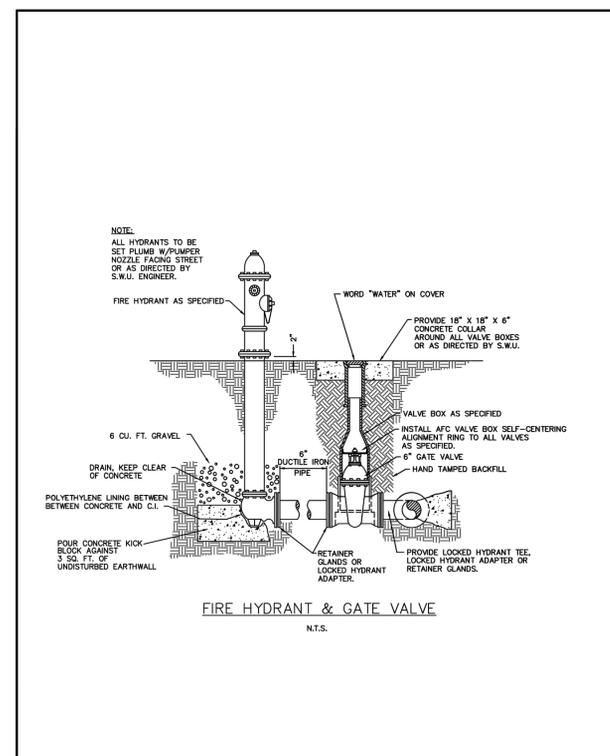
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|--------------|-------------|
| JAD | JAD |
| DATE: | REVISION: |
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| | 20-1104 |
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SWU DETAILS II

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| DATE: | 5/21/2020 | REVISION: | REV-1 |
| SCALE: | AS NOTED | JOB NUMBER: | 20-2104 |

41

D.I./PVC GRAVITY SEWER PIPE TRENCH
 (STANDARD LAYING CONDITION "TYPE 5")
 N.T.S.

BACKFILL AS SPECIFIED

PIPE PROTECTION COVER (MIN. 12 INCHES, HAND PLACED AND HAND TAMPED, IF MATERIAL IS FREE FROM ROCK GREATER THAN 1-1/2" MECHANICAL METHODS MAY BE APPROVED) SELECT MATERIAL - CLASS I, II, OR III*

BEDDING AND INITIAL BACKFILL (MIN. 4 INCHES BELOW PIPE TO MIN. 4 INCHES ABOVE PIPE, HAND PLACED AND CONSOLIDATED BY HAND OR APPROVED MECHANICAL METHODS) COARSE AGGREGATE STANDARD SIZE NO. 67**

PE/PVC PRESSURE SEWER PIPE TRENCH
 (STANDARD LAYING CONDITION "TYPE 5")
 N.T.S.

CONTINUOUS 14 GAUGE SOLID COPPER TRACER WIRE

PIPE PROTECTION COVER (MIN. 12 INCHES, HAND PLACED AND HAND TAMPED, IF MATERIAL IS FREE FROM ROCK GREATER THAN 1-1/2" MECHANICAL METHODS MAY BE APPROVED) SELECT MATERIAL - CLASS I, II, OR III*

BEDDING AND INITIAL BACKFILL (MIN. 4 INCHES BELOW PIPE TO MIN. 4 INCHES ABOVE PIPE, HAND PLACED AND CONSOLIDATED BY HAND OR APPROVED MECHANICAL METHODS) COARSE AGGREGATE STANDARD SIZE NO. 67**

NOTE: SEE STANDARD DETAIL M-1, "TRACER WIRE CONNECTION PORT" FOR TRACER WIRE PORT SPACING

* CLASS I, II, AND III AS DEFINED IN ASTM D2487 AND THE PIPE BACKFILL MATERIAL AND AGGREGATE BASE COURSE FILL SECTION OF THE SPECIFICATIONS

** STANDARD SIZE NO. 67 AS DEFINED IN ASTM D448

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STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION
 DRAWN BY: TLS DRAWING NO: S-19 DATE: AUGUST 2014

| NOMINAL PIPE DIAMETER | "B" |
|-----------------------|--------|
| 3" AND 4" | 2'-4" |
| 6" | 2'-6" |
| 8" | 2'-8" |
| 10" | 2'-10" |
| 12" | 3'-0" |
| 14" | 3'-2" |
| 16" | 3'-4" |
| 18" | 3'-6" |
| 20" | 3'-8" |
| 24" | 4'-0" |
| 27" | 4'-4" |
| 30" | 4'-8" |
| 36" | 5'-0" |
| 42" | 5'-6" |
| 48" | 6'-0" |

TRENCH WIDTH SCHEDULE

NOTES:
 TRENCH WIDTH SHALL BE AS SET FORTH IN ANSI/AWWA 500 INCLUDED AS THE TABLE ON THIS SHEET. LARGER TRENCH WIDTHS MAY BE NECESSARY FOR THE PLACEMENT OF A TRENCH SUPPORT SYSTEM OR AS OTHERWISE REQUIRED

TYPICAL PIPE TRENCH
 N.T.S.

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D.I. PRESSURE WATER PIPE TRENCH
 (STANDARD LAYING CONDITION "TYPE 2")
 N.T.S.

BACKFILL AS SPECIFIED

PIPE PROTECTION COVER (HAND PLACED) SELECT MATERIAL - INITIAL BACKFILL (HAND PLACED AND CONSOLIDATED BY HAND OR APPROVED MECHANICAL METHODS) SELECT MATERIAL - CLASS I, II, OR III*

BEDDING (MIN. 4 INCHES BELOW PIPE) CLASS I OR II*

SPRING LINE OF PIPE

CONTINUOUS 14 GAUGE SOLID COPPER TRACER WIRE

PIPE PROTECTION COVER (MIN. 12 INCHES, HAND PLACED AND HAND TAMPED, IF MATERIAL IS FREE FROM ROCK GREATER THAN 1-1/2" MECHANICAL METHODS MAY BE APPROVED) SELECT MATERIAL - CLASS I, II, OR III*

BEDDING (MIN. 4 INCHES BELOW PIPE) CLASS I OR II*

NOTE: SEE STANDARD DETAIL M-1, "TRACER WIRE CONNECTION PORT" FOR TRACER WIRE PORT SPACING

* CLASS I, II, AND III AS DEFINED IN ASTM D2487 AND THE PIPE BACKFILL MATERIAL AND AGGREGATE BASE COURSE FILL SECTION OF THE SPECIFICATIONS

** STANDARD SIZE NO. 67 AS DEFINED IN ASTM D448

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STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION
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MATERIAL LIST

| QTY | DESCRIPTION | EGS | MUELLER | AY-McDONALD |
|-----|------------------------|---------------------|----------|---------------|
| 1 | INLET CONNECTION | L84-44-NL | P-155314 | 747730-22 |
| 1 | YOKE ANGLE KEY VALVE | AW91-444-NL | H-14276N | 74654Y 1X04 |
| 1 | YOKE BAR | Y504 | H-5040 | 14-1 |
| 1 | YOKE ANGLE CHECK VALVE | HA91-444-NL | H-14248N | 702-4YE 44 |
| 1 | OUTLET CONNECTION | L88-44-NL SPECIAL | H-15538N | 710JPP 4X9X08 |
| 1 | METER BOX ASSEMBLY | 34P-18X24X24D W/LID | | |

TYPICAL 1" METER SETTING
 YOE ASSEMBLY, 1" METER
 1" COPPER OR PE P.J. TO 1" CTS PLASTIC OR MIP
 N.T.S.

NOTES:
 ALL MATERIALS INSTALLED IN POTABLE WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF "LEAD FREE" CONTAINED IN PUBLIC LAW 111-380.
 *METER AND EXPANSION CONNECTION EC-4-NL ARE PROVIDED BY THE DEPARTMENT.

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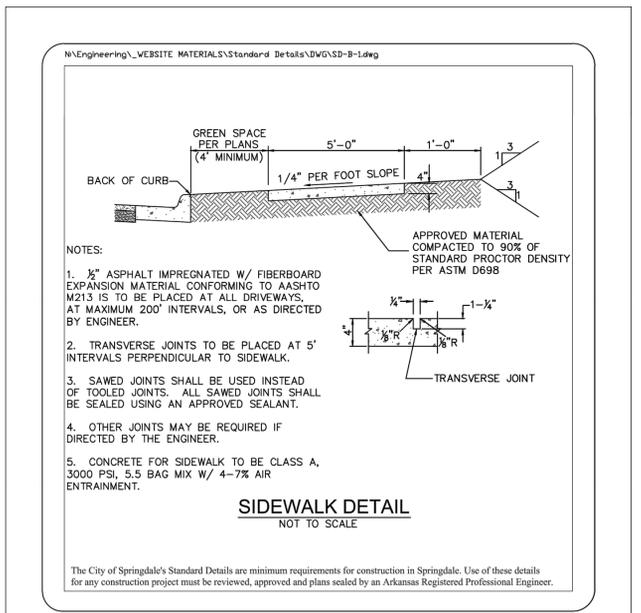
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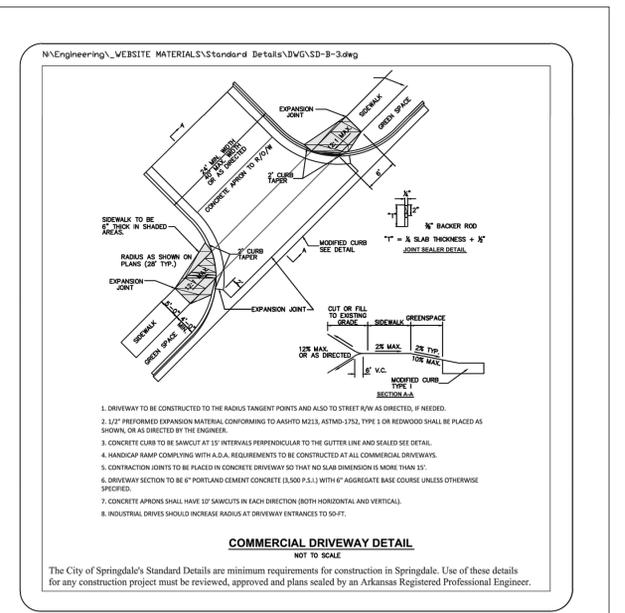
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| | | | |
|--------------|-----------|-------------|---------|
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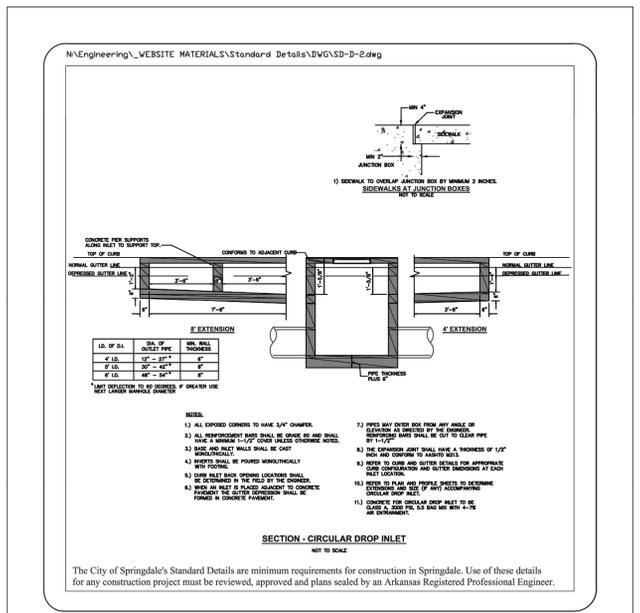
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| STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION | DATE: OCTOBER 2018 DESIGNED BY: STAFF DRAWN BY: STAFF | |
| SECTION B TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS | FILE NO. SD-B-1 | SPRINGDALE WE'RE MAKING IT HAPPEN |

29D



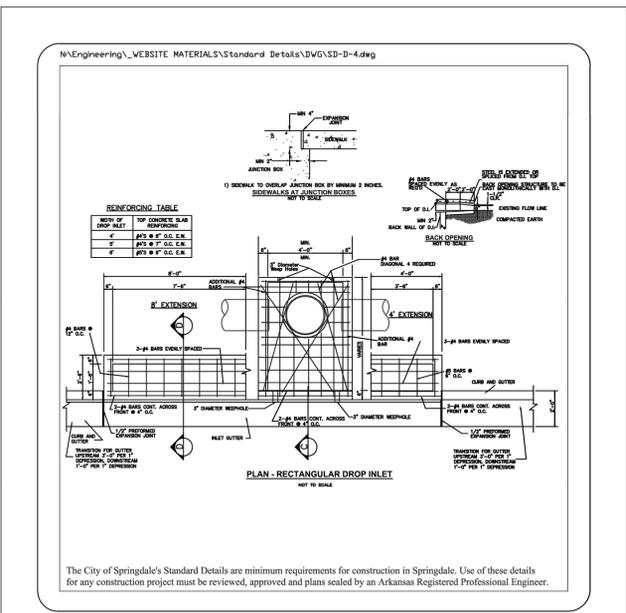
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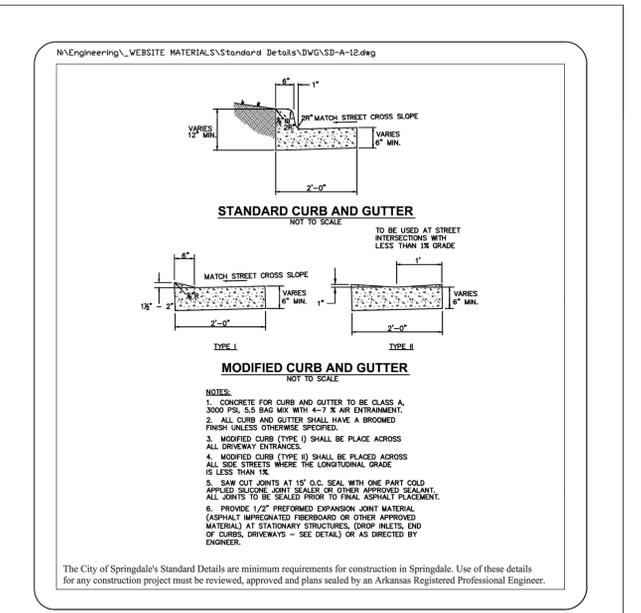
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| STANDARD DETAILS FOR STREET & DRAINAGE CONSTRUCTION | DATE: OCTOBER 2018 DESIGNED BY: STAFF DRAWN BY: STAFF | |
| SECTION D DROP INLET DETAILS | FILE NO. SD-D-2 | SPRINGDALE WE'RE MAKING IT HAPPEN |

39A



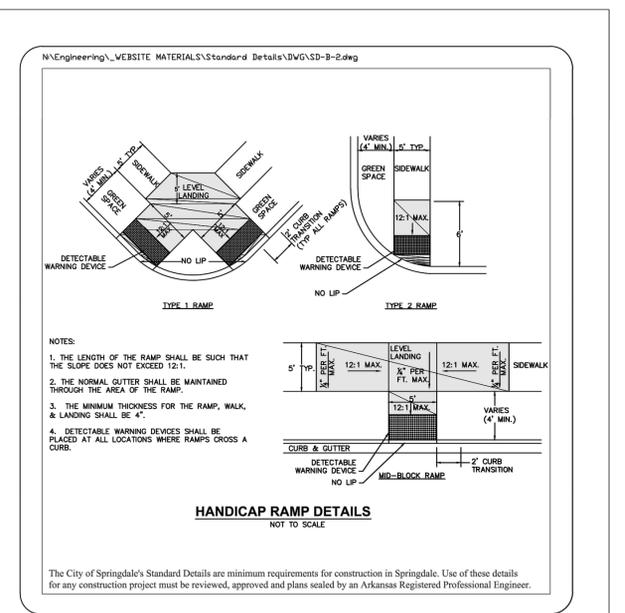
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39B



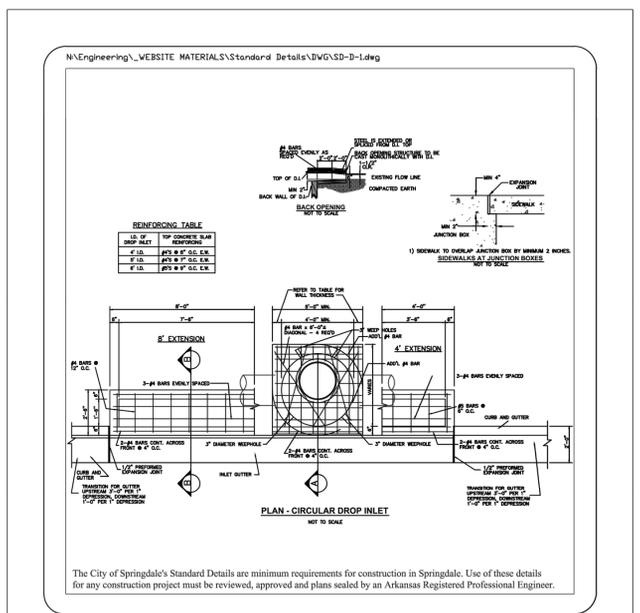
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| SECTION A TYPICAL STREET SECTIONS & DETAILS | FILE NO. SD-A-12 | SPRINGDALE WE'RE MAKING IT HAPPEN |

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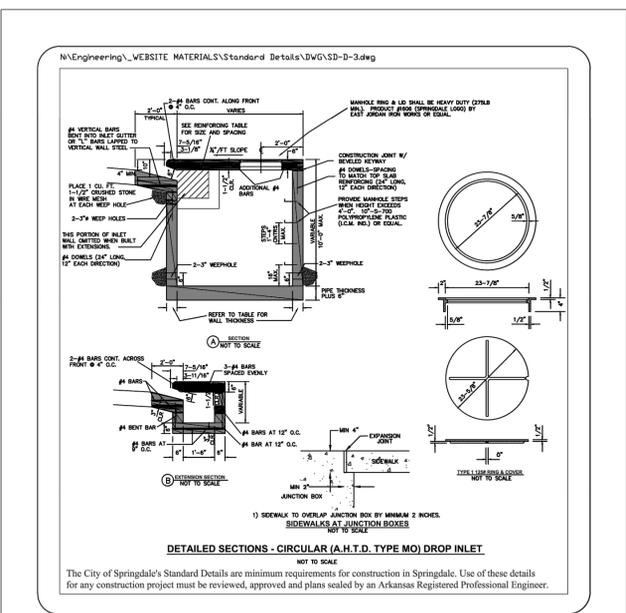
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| SECTION B TYPICAL STREET, DRIVEWAY & SIDEWALK DETAILS | FILE NO. SD-B-2 | SPRINGDALE WE'RE MAKING IT HAPPEN |

29E



| | | |
|---|---|--------------------------------------|
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| SECTION D DROP INLET DETAILS | FILE NO. SD-D-1 | SPRINGDALE WE'RE MAKING IT HAPPEN |

39A

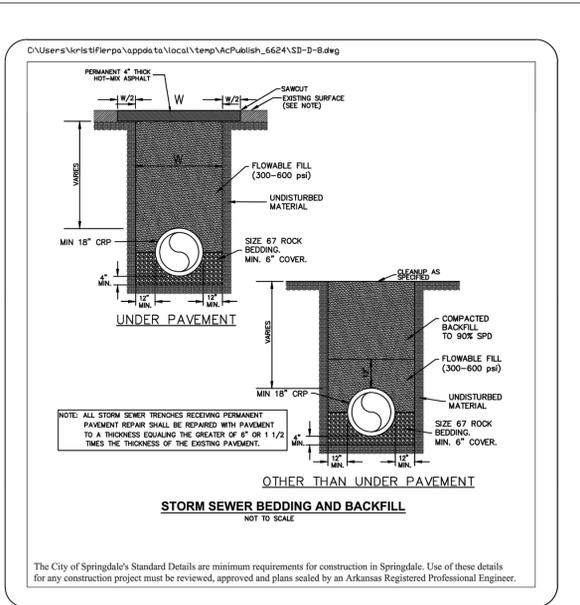


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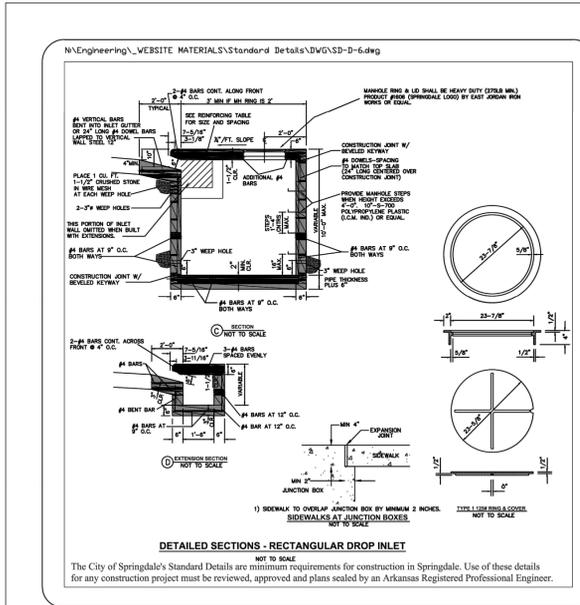
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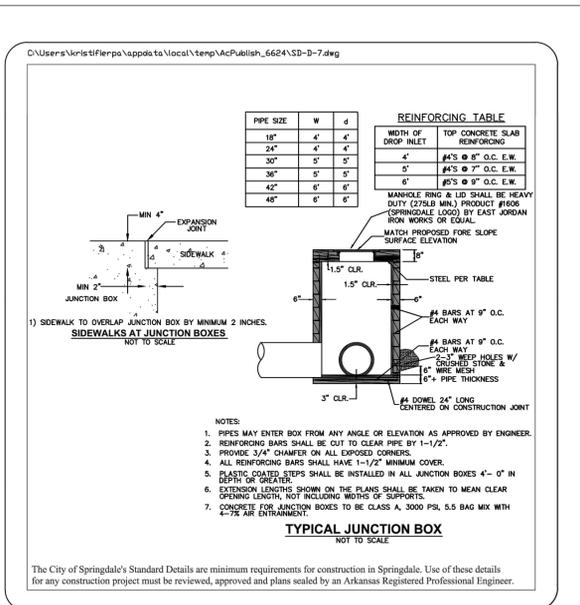


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 FILE NO. SD-D-8



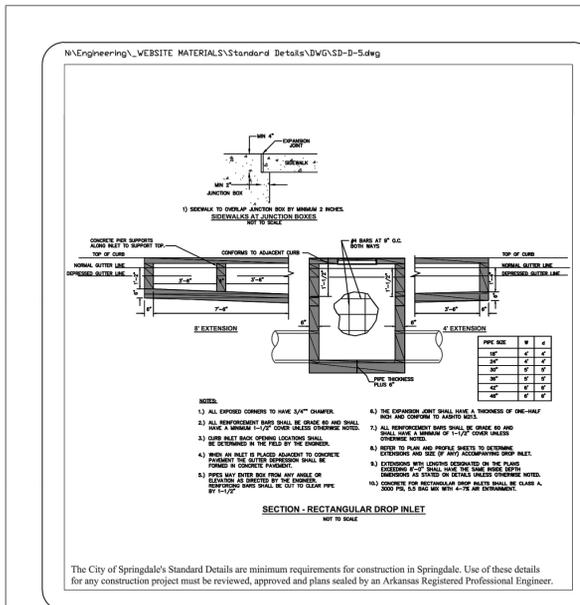
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 FILE NO. SD-D-6

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ORIGINAL SIGNATURE ON FILE

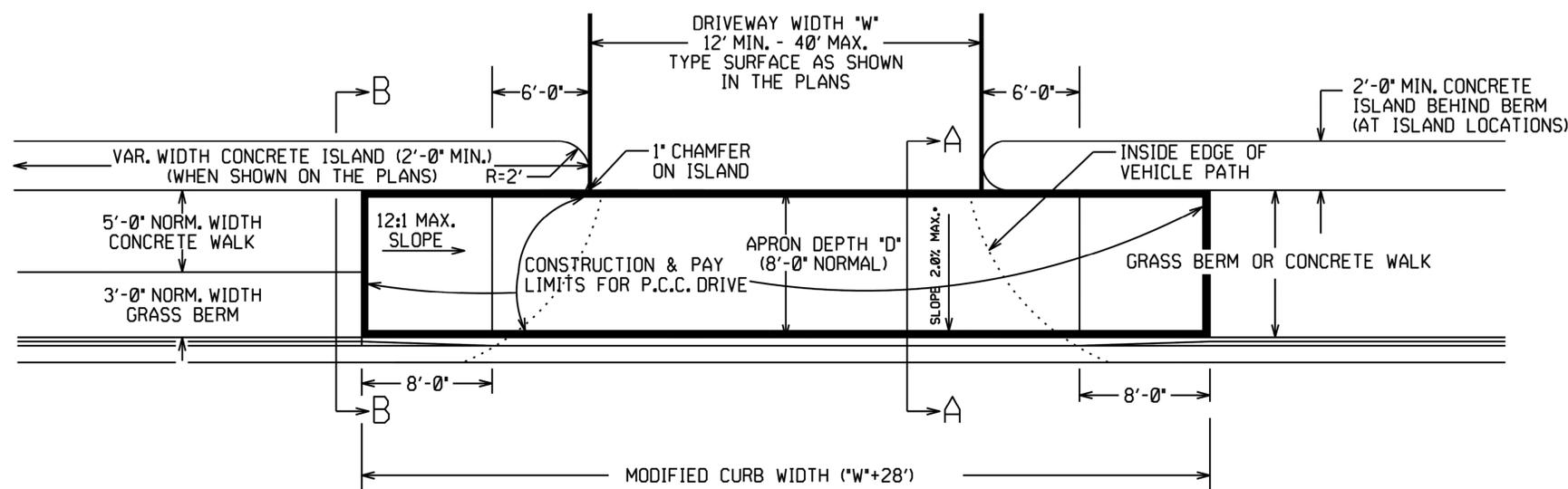
THE CROSSINGS
 COMMERCIAL DEVELOPMENT
 U.S. HWY. 412 & GENE GEORGE BLVD.
 SPRINGDALE, AR



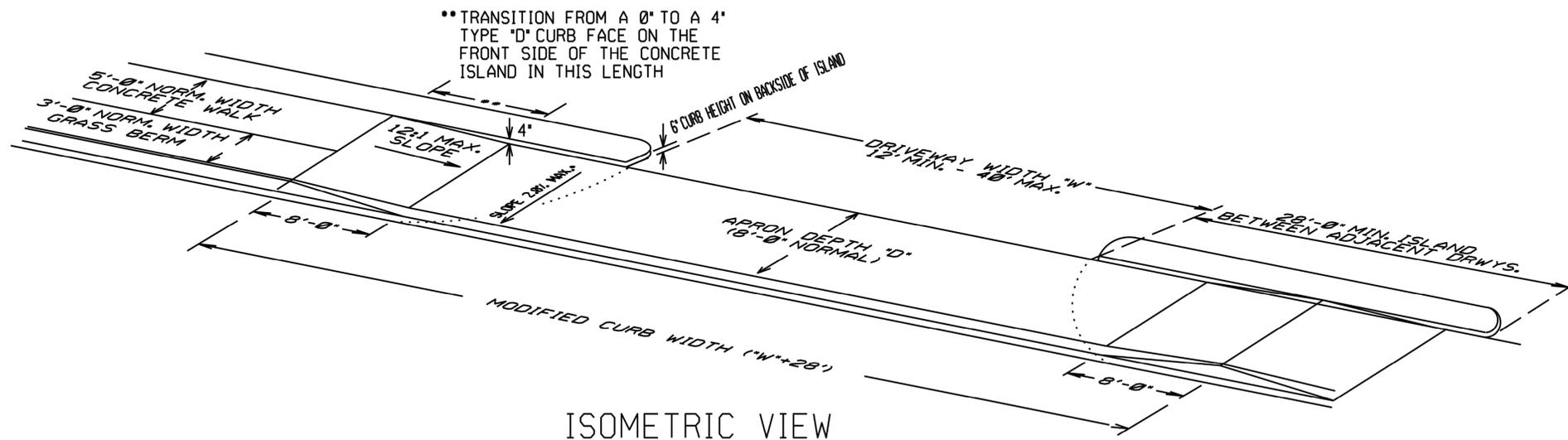
| REV | DATE | DESCRIPTION |
|-----|-----------|-----------------------------------|
| 1 | 5/21/2020 | ADDRESSING CITY TECHPLAT COMMENTS |

CITY DETAILS II

| | |
|---------------------|------------------------|
| DESIGNED BY: JAD | DRAWN BY: JAD |
| DATE: 5/21/2020 | REVISION: REV-1 |
| SCALE: AS NOTED | JOB NUMBER: 20-2104 |

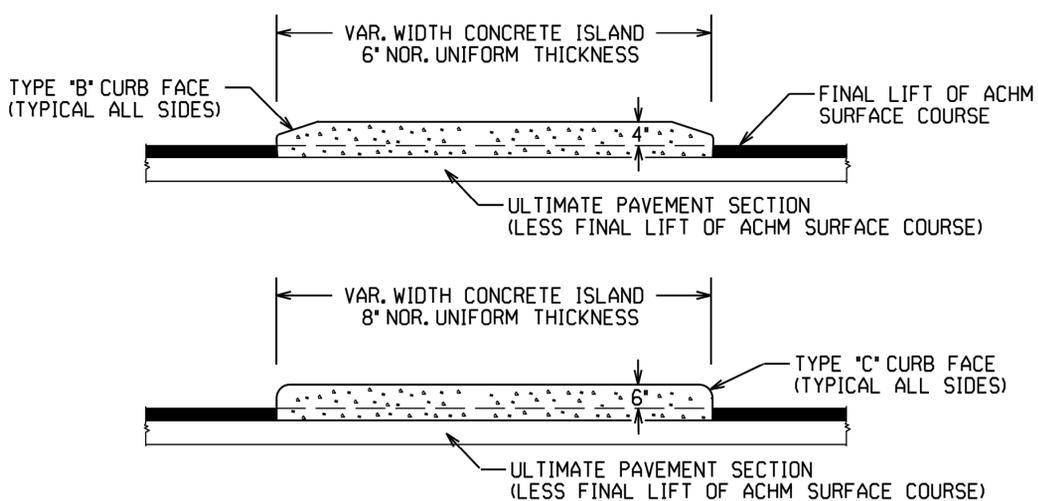


PLAN VIEW

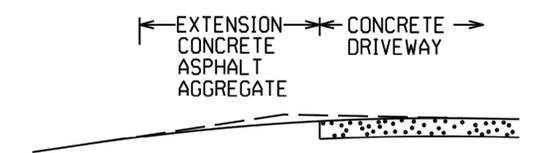


ISOMETRIC VIEW

REFER TO PLANS FOR TYPE OF CURB FACE TO BE USED.
NO DIRECT PAYMENT WILL BE MADE FOR THE CURB FACES
SHOWN ON THE ISLAND DETAILS. PAYMENT FOR THE CURB
FACE WILL BE INCLUDED IN THE UNIT PRICE BID FOR THE
ITEM "CONCRETE ISLAND".



CURBED ISLANDS FOR CHANNELIZATION

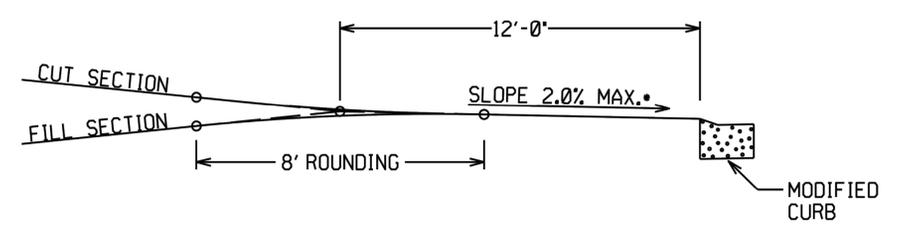


EXTENSION TYPICAL SECTIONS

- 1: CONCRETE - 6" P.C. CONCRETE DRIVEWAY
- 2: ASPHALT - 2" ACHM SURFACE COURSE (1/2")
4" ACHM BINDER COURSE (1") OR
4" ACHM BASE COURSE (1-1/2")
- 3: ASPHALT - 2" ACHM SURFACE COURSE (1/2")
7" AGGREGATE BASE COURSE
- 4: AGGREGATE - 6" AGGREGATE BASE COURSE

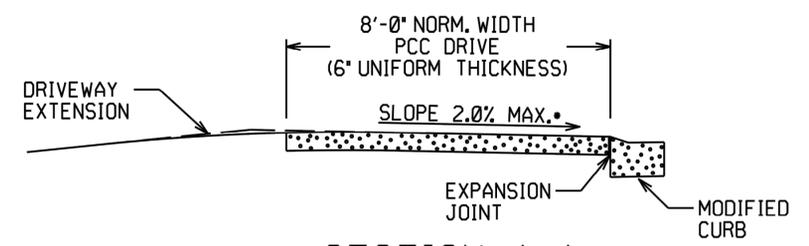
THE TYPE OF EXTENSION SHALL BE AS SHOWN IN THE PLANS.
THE CONTRACTOR MAY, WITH THE APPROVAL OF THE ENGINEER,
SUBSTITUTE A LOWER NUMBERED TYPE OF EXTENSION IN LIEU
OF THE TYPE SPECIFIED IN THE PLANS, BUT AT NO ADDITIONAL
COST TO THE DEPARTMENT.

DRIVEWAY EXTENSION DETAILS

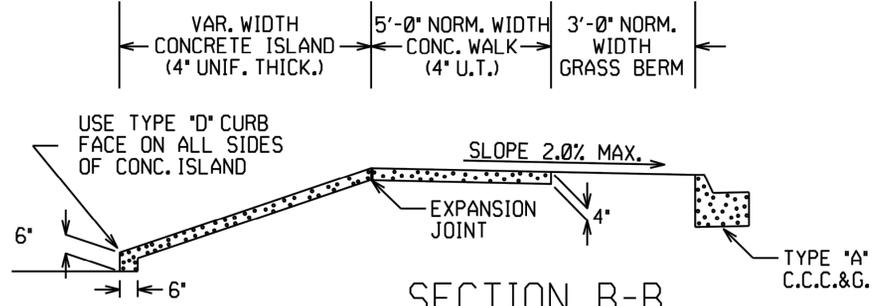


DRIVEWAY VERTICAL ALIGNMENT DETAILS

NOTE: DRIVEWAYS MAY NOT BE SLOPED AWAY
FROM THE ROADWAY UNLESS APPROVED
BY THE ENGINEER.



SECTION A-A

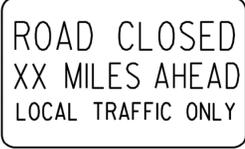
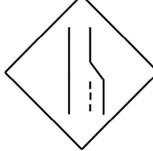
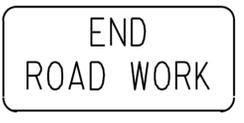
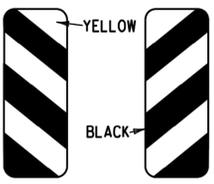
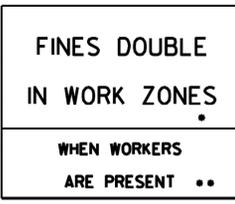


SECTION B-B
CURBED ISLAND BEHIND WALK

29B

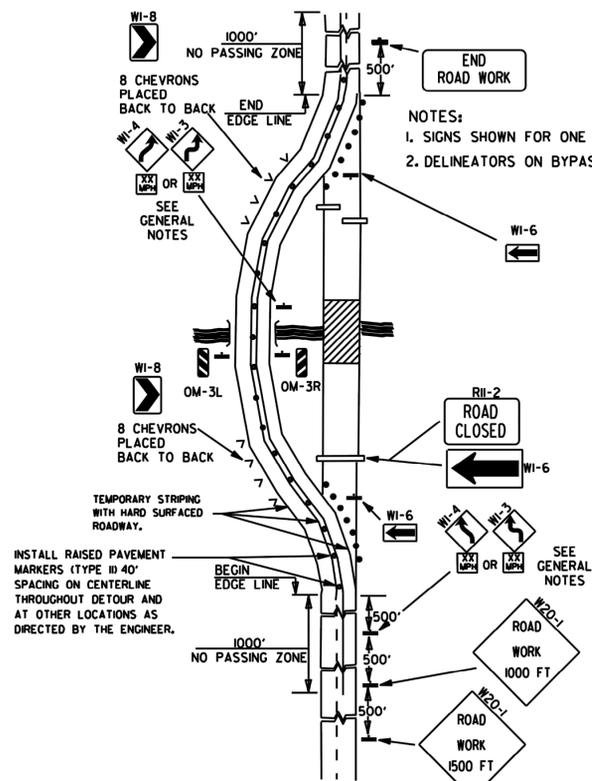
| DATE | REV | DATE FILMED | DESCRIPTION |
|----------|-----|-------------|---|
| 11-07-19 | | | REVISED WALK DETAILS |
| 2-27-14 | | | REVISED PLAN & ISOMETRIC VIEW |
| 11-29-07 | | | ADDED CHANNELIZATION ISLAND WITH TYPE C CURB FACE & REVISED DRIVEWAY SLOPE NOTE & VERTICAL ALIGNMENT DETAIL |
| 11-10-05 | | | REV. APRON SLOPE & DEPTH OF AGG. BASE. |
| 8-22-02 | | | ADDED ISLAND DETAILS & NOTES |
| 3-30-00 | | | REV. MOD. CURB WIDTH & TRANS. NOTE |
| 11-19-98 | | | REVISED NOTES |
| 11-18-98 | | | REDRAWN AND REISSUED |

ARKANSAS STATE HIGHWAY COMMISSION
DETAILS OF DRIVEWAYS & ISLANDS
STANDARD DRAWING DR-1

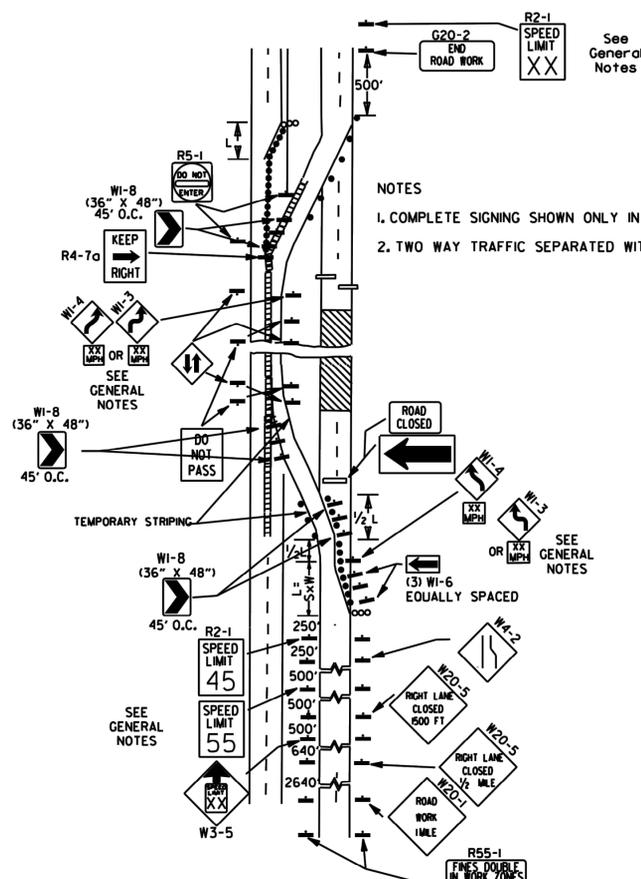
| | | | | | | | ADVANCE DISTANCES (XXXX) | | |
|--|---|---|---|--|---|---|--|--|--|
| <p>RI-1</p>  <p>STANDARD 30"x30" EXPRESSWAY 36"x36" SPECIAL 48"x48"</p> | <p>RI-2</p>  <p>STD. 36"x36"x36" EXPWY. 48"x48"x48" FWY. 60"x60"x60"</p> | <p>R2-1</p>  <p>STD. 24"x30" EXPWY. 36"x48" FWY. 48"x60"</p> | <p>W3-5</p>  <p>STD. 36"x36" EXPWY. 48"x48" FWY. 48"x48"</p> | <p>W3-5a</p>  <p>STD. 36"x36" EXPWY. 48"x48" FWY. 48"x48"</p> | <p>R4-1</p>  <p>STD. 24"x30" EXPWY. 36"x48" FWY. 48"x60"</p> | <p>R4-2</p>  <p>STD. 24"x30" EXPWY. 36"x48" FWY. 48"x60"</p> | <p>500 FT 1/2 MILE 1000 FT 3/4 MILE 1500 FT 1 MILE AHEAD</p> <p>GENERAL NOTES:</p> <ol style="list-style-type: none"> ALL TRAFFIC CONTROL DEVICES USED ON ROAD CONSTRUCTION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND TO THE STANDARD HIGHWAY SIGNS, LATEST EDITION, OR AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION. TRAFFIC CONTROL DEVICES SHALL BE SET UP JUST BEFORE THE START OF CONSTRUCTION OPERATIONS AND SHALL BE PROPERLY MAINTAINED DURING THE TIME SUCH CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE ONLY AS LONG AS NEEDED AND REMOVED THEREAFTER. EXISTING SIGNS AND CONSTRUCTION SIGNS SHALL BE KEPT IN PROPER POSITION, AND BE CLEAN AND LEGIBLE AT ALL TIMES. SIGNS THAT DO NOT APPLY TO EXISTING CONDITIONS SHALL BE REMOVED. SIGNS THAT ARE DAMAGED, DEFACED, OR THAT ACCUMULATE DIRT DURING CONSTRUCTION SHALL BE CLEANED, REPAIRED, OR REPLACED. SIGNS ARE USUALLY MOUNTED ON A SINGLE POST, ALTHOUGH THOSE WIDER THAN 36" OR LARGER THAN 10 SO. FT. SHALL BE MOUNTED ON TWO POSTS OR ABOVE A TYPE III BARRICADE. SIGN POSTS DIRECT BURIED IN SOIL SHALL BE 2 LB. MINIMUM CHANNEL POST OR 4"x4" WOOD POSTS. CHANNEL POSTS SHALL BE PAINTED GREEN. WOOD POSTS SHALL BE PAINTED WHITE. ALL POSTS SHALL BE NEATLY CONSTRUCTED, AND SHALL BE REPLUMBED, CLEANED, OR REPAIRED AS NEEDED FOR THE DURATION OF THE JOB. THERE SHALL NOT BE MORE THAN 2 POSTS IN A 7' PATH FOR WOOD OR CHANNEL POSTS. ANY CHANNEL POST SPLICE SHALL BE IN ACCORDANCE WITH STANDARD DRAWING TC-3. POST MOUNTED SIGNS IN RURAL AREAS SHALL BE CONSTRUCTED WITH THE NEAR EDGE OF THE SIGN FROM 6 TO 12 FEET FROM THE PAVEMENT EDGE. SIGNS IN URBAN AREAS AND BARRICADE MOUNTED SIGNS SHALL BE MOUNTED A MINIMUM OF 2 FEET FROM THE PAVEMENT EDGE. ALL POST AND BARRICADE MOUNTED SIGNS MOUNTED IN URBAN AREAS SHALL BE MOUNTED A MINIMUM DISTANCE OF 7' FROM THE BOTTOM OF THE SIGN TO THE ROADWAY SURFACE. ALL POST AND BARRICADE MOUNTED SIGNS MOUNTED IN RURAL AREAS SHALL BE MOUNTED A MINIMUM DISTANCE OF 7' FROM THE BOTTOM OF THE SIGN TO THE ROADWAY SURFACE, EXCEPT A MINIMUM OF 6' SHALL BE USED WHEN MOUNTING AN ADVISORY SIGN BELOW A WARNING SIGN. TEMPORARY SIGNS MAY BE MOUNTED ON PORTABLE SUPPORTS FOR INTERMEDIATE TERM STATIONARY WORK CONDITIONS. THE SIGNS MINIMUM MOUNTING HEIGHT SHALL BE 5'. RETROREFLECTIVE DEVICES SHALL BE USED. TEMPORARY SIGNS MAY BE MOUNTED ON PORTABLE SUPPORTS FOR SHORT-TERM, SHORT DURATION, AND MOBILE CONDITIONS. THEY SHALL BE NO LESS THAN ONE (1) FOOT ABOVE THE TRAVELED WAY. LONG-TERM STATIONARY SIGNS SHALL BE DIRECT BURIED IN SOIL, UNLESS CONDITIONS NECESSITATE THE USE OF PORTABLE SIGNS, OR AS APPROVED BY THE ENGINEER. CONCRETE PADS, CONCRETE OR ROCK BALLAST, OR OTHER SOLID MATERIALS SHALL NOT BE UTILIZED WITH PORTABLE SIGN SUPPORTS. FLAGGERS SHALL USE REFLECTORIZED STOP-SLOW PADDLES. FLAGS MAY BE USED ONLY FOR EMERGENCY SITUATIONS. MOST OF THE SIGNS SHOWN ARE ORIENTED TO THE RIGHT. HOWEVER, THIS DOES NOT PRECLUDE THE USE OF MIRROR IMAGES OF THESE SIGNS WHERE THE REVERSE ORIENTATION MIGHT BETTER CONVEY TO MOTORISTS THE PROPER DIRECTION OF MOVEMENT. R55-1 SIGNS SHALL BE PLACED AT LEAST 1500' BUT NOT MORE THAN 1 MILE IN ADVANCE OF THE WORK ZONE. IF A SPEED LIMIT REDUCTION IS IN EFFECT, THE SIGN SHALL BE PLACED A MINIMUM OF 500' IN ADVANCE OF THE "REDUCED SPEED AHEAD" SIGN. <p>* NOTE: SUPPORTS FOR SIGNS, BARRICADES, AND VERTICAL PANELS THAT ARE DIFFERENT FROM THE REQUIREMENTS SHOWN IN NOTES 4 & 5, BUT MEET THE REQUIREMENTS OF MANUAL FOR ASSESSING SAFETY HARDWARE (MASH), WILL BE ACCEPTED. COMPLIANCE WITH THE REQUIREMENTS OF MANUAL FOR ASSESSING SAFETY HARDWARE (MASH) IS REQUIRED FOR ALL PROJECTS.</p> | | |
| <p>R5-1</p>  <p>STD. 30"x30" EXPWY. 36"x36" SPECIAL 48"x48"</p> | <p>R11-2</p>  <p>48"x30"</p> | <p>R11-3A</p>  <p>60"x30"</p> | <p>R11-4</p>  <p>60"x30"</p> | <p>W21-5a</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | <p>W1-1</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | <p>W1-2</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | | | |
| <p>W1-3</p>  <p>STD. 48"x48"</p> | <p>W1-4</p>  <p>STD. 48"x48"</p> | <p>W1-6</p>  <p>STD. 48"x24" SPECIAL 60"x30"</p> | <p>W1-8</p>  <p>STD. 18"x24" SPECIAL 24"x30" EXPWY. 30"x36" FWY. 36"x48"</p> | <p>W3-1</p>  <p>STD. 36"x36" SPECIAL 48"x48"</p> | <p>W3-2</p>  <p>STD. 36"x36" SPECIAL 48"x48"</p> | <p>W4-2</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | | | |
| <p>W5-1</p>  <p>STD. 36"x36" SPECIAL 48"x48"</p> | <p>W6-3</p>  <p>EXPWY. 36"x36" SPECIAL 48"x48"</p> | <p>W8-7</p>  <p>EXPWY. 36"x36" FWY. 48"x48"</p> | <p>W9-2</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | <p>W13-1</p>  <p>STD. 24"x24"</p> | <p>W20-1</p>  <p>STD. 48"x48"</p> | <p>W20-2</p>  <p>STD. 48"x48"</p> | <p>W20-3</p>  <p>STD. 48"x48"</p> | | |
| <p>W20-4</p>  <p>STD. 48"x48"</p> | <p>W20-5</p>  <p>STD. 48"x48"</p> | <p>W20-7a</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | <p>W21-2</p>  <p>STD. 30"x30" SPECIAL 36"x36"</p> | <p>W21-5</p>  <p>STD. 30"x30" SPECIAL 36"x36"</p> | <p>W24-1</p>  <p>STD. 36"x36"</p> | <p>W1-4b</p>  <p>STD. 48"x48"</p> | <p>R56-1</p>  <p>STD. 18"x18"</p> | | |
| <p>W8-11</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | <p>W8-9</p>  <p>STD. 36"x36" FWY. 48"x48"</p> | <p>G20-1</p>  <p>60"x24"</p> | <p>G20-2</p>  <p>48"x24"</p> | <p>OM-3L OM-3R</p>  <p>12"x36"</p> | <p>M4-9</p>  <p>STD. 30"x24" SPECIAL 48"x36" SPECIAL 60"x48"</p> | <p>M4-10</p>  <p>48"x18"</p> | <p>R55-1</p>  <p>36"x60"</p> <p>• USE 6" C LETTERS •• USE 4" D LETTERS</p> | | |

| | | |
|----------|--|--------|
| 11-07-19 | REVISED FOR MASH | |
| 4-13-17 | DELETED RSP-1 & ADDED W21-5a | |
| 9-2-15 | REVISED REDUCED SPEED LIMIT AHEAD SIGNS REVISED ROAD WORK NEXT XX MILES | |
| 12-15-11 | REVISED W24-1 | |
| 11-17-10 | DELETED W8-9a & ADDED W8-9 | |
| 10-15-09 | ADDED REFERENCE TO MASH & ADDED SIGN W24-1 | |
| 4-17-08 | REVISED SIGN DESIGNATIONS | |
| 11-18-04 | REVISED NOTES | |
| 10-9-03 | REVISED NOTE 1 | |
| 11-16-01 | REVISED NOTE 7 | |
| 9-28-00 | REVISED NOTE | |
| 11-18-98 | ADDED NOTE | |
| 6-26-97 | REVISED NOTE 5 | |
| 4-03-97 | REVISED NOTE 5 | |
| 10-18-96 | ADDED CONTROLLED ACCESS HWY. SIGN & TO NOTE 7 | |
| 10-12-95 | ADDED R55-1 | |
| 6-8-95 | REVISED TO CORRECT SIGN ILLUSTRATIONS | 6-8-95 |
| 2-2-95 | REVISED PER PART VI, MUTCD SEPT. 3, 1993 | |
| 8-15-91 | DRAWN AND PLACED IN USE | |
| DATE | REVISION | FILMED |

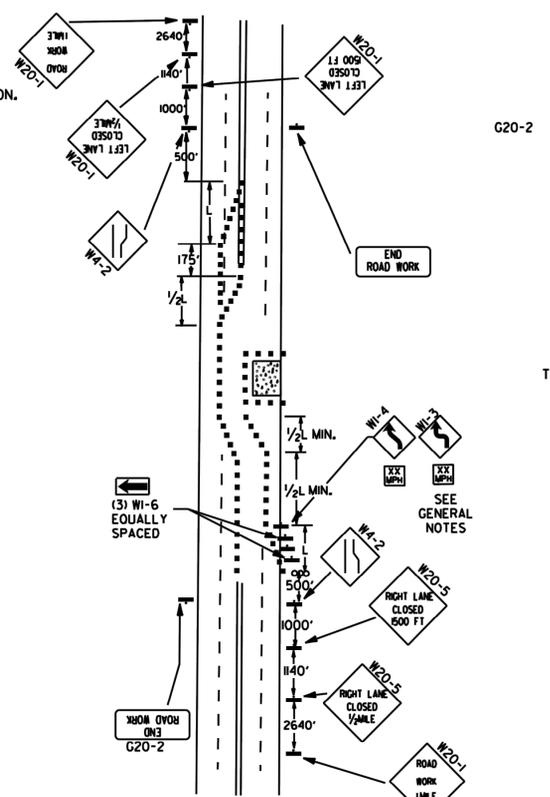
ARKANSAS STATE HIGHWAY COMMISSION
STANDARD TRAFFIC CONTROLS
FOR HIGHWAY CONSTRUCTION
STANDARD DRAWING TC-1



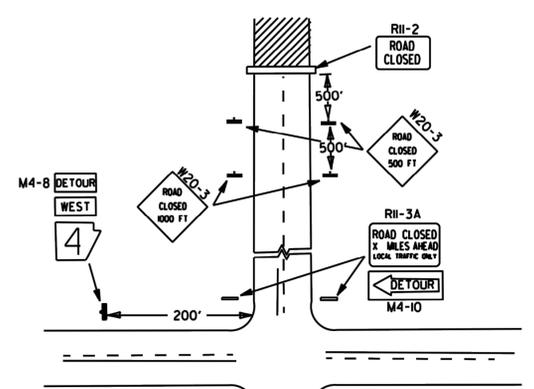
(A) TYPICAL APPLICATION OF TRAFFIC CONTROL DEVICES ON A 2-LANE HIGHWAY WHERE THE ENTIRE ROADWAY IS CLOSED AND A BYPASS DETOUR IS PROVIDED.



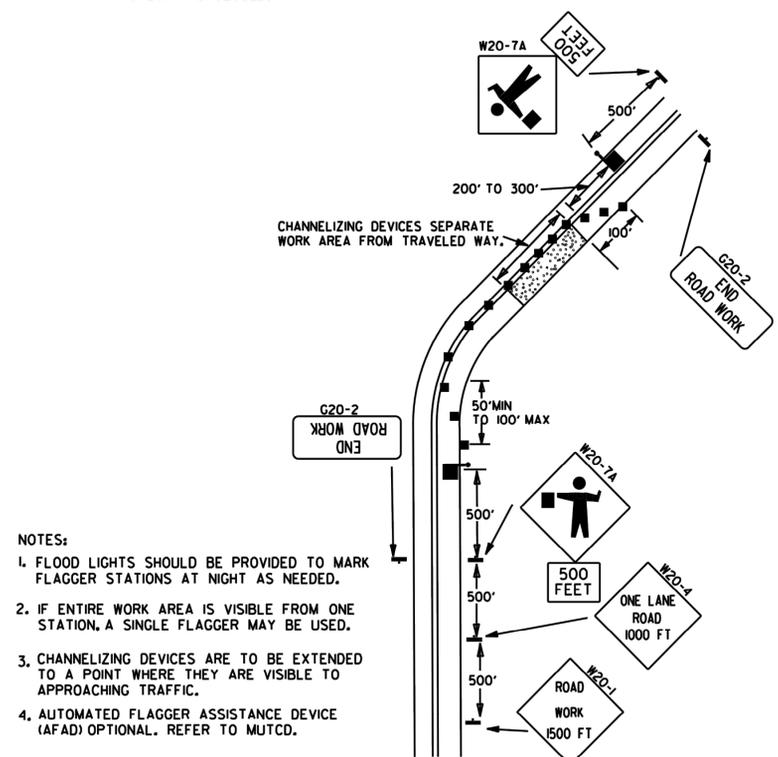
(B) TYPICAL APPLICATION - 4-LANE DIVIDED ROADWAY WHERE ONE ROADWAY IS CLOSED.



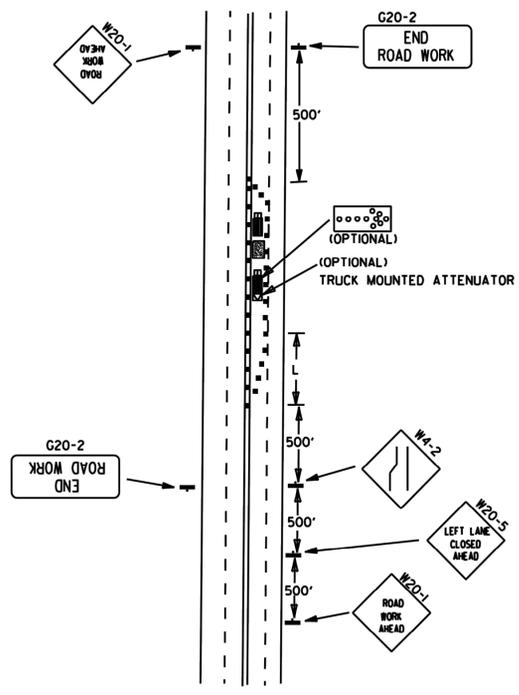
(C) TYPICAL APPLICATION - 4-LANE UNDIVIDED ROADWAY WHERE HALF OF THE ROADWAY IS CLOSED.



(D) TYPICAL APPLICATION - ROADWAY CLOSED BEYOND DETOUR POINT.

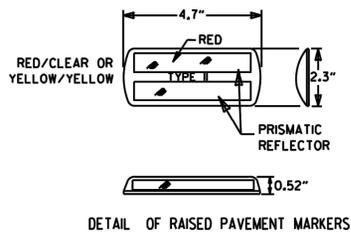


(E) TYPICAL APPLICATION OF TRAFFIC CONTROL DEVICES ON 2-LANE HIGHWAY WHERE ONE LANE IS CLOSED AND FLAGGING IS PROVIDED.



(F) TYPICAL APPLICATION - 4-LANE UNDIVIDED ROADWAY WITH INSIDE LANE CLOSED.

- KEY:
- FLAGGER
 - POSITIVE BARRIER
 - ARROW PANEL (IF REQUIRED)
 - TYPE III BARRICADE
 - CHANNELIZING DEVICE
 - TRAFFIC DRUM
 - RAISED PAVEMENT MARKER

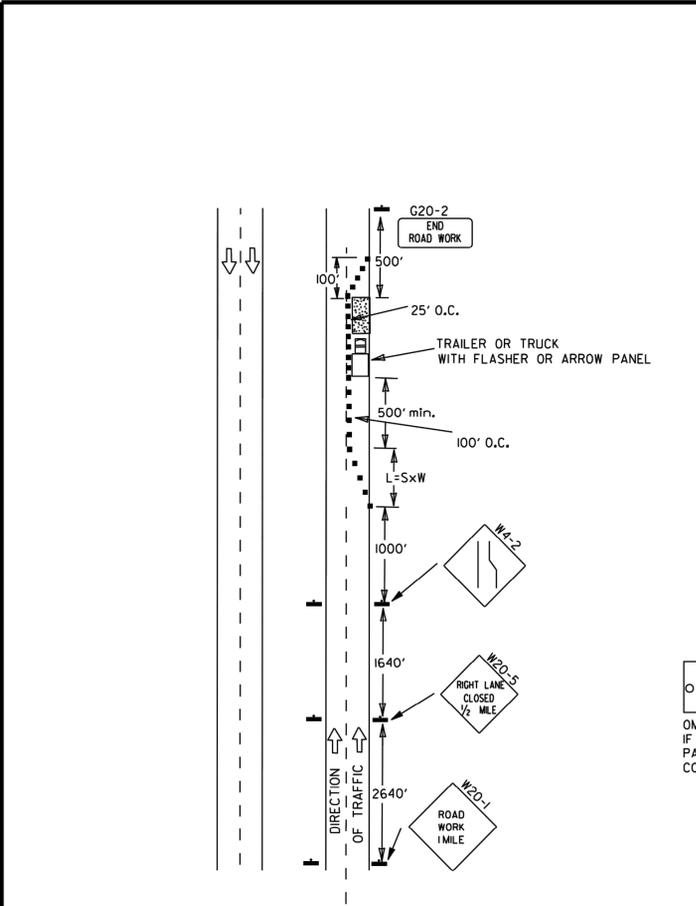


TYPICAL ADVANCE WARNING SIGN PLACEMENT

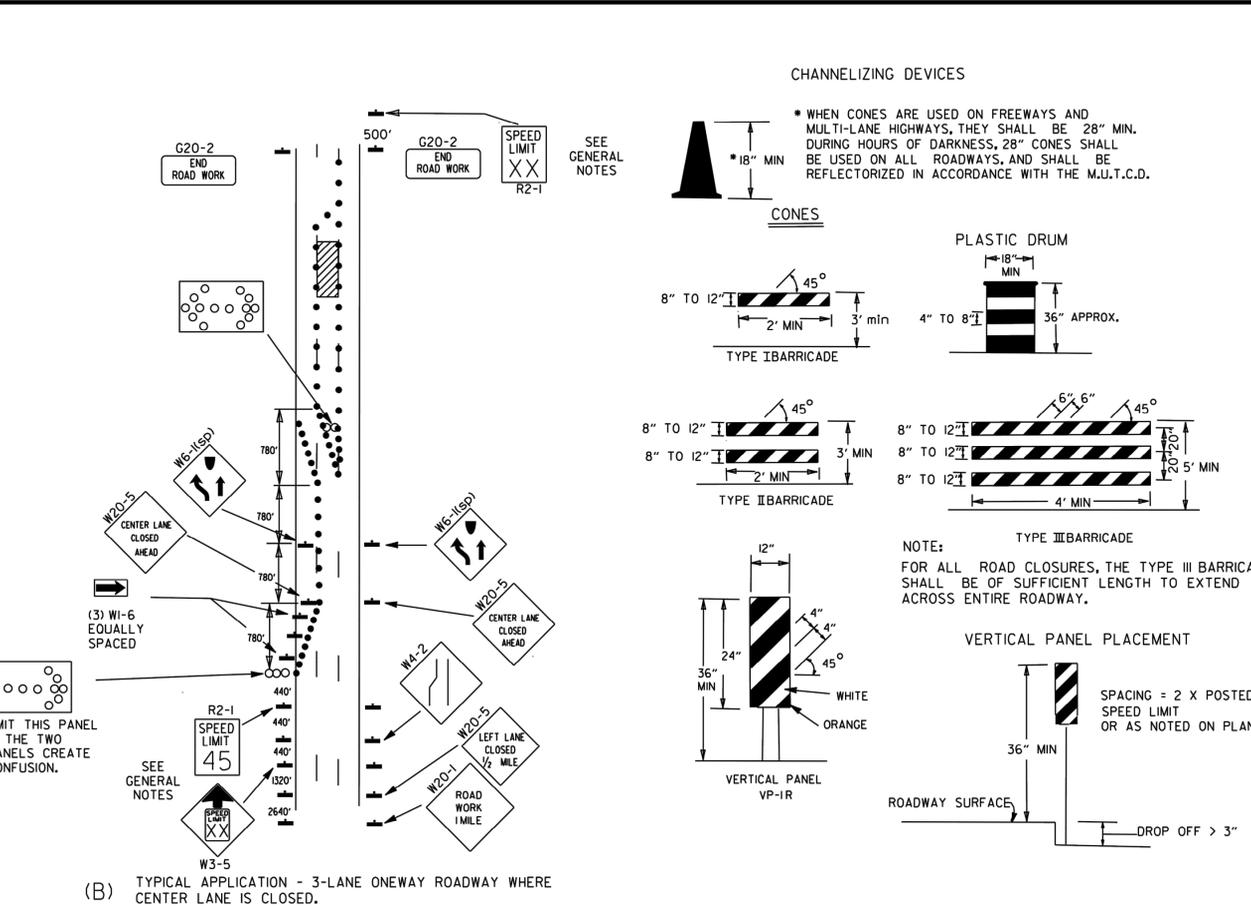
TAPER FORMULAE:
 L= SXW FOR SPEEDS OF 45MPH OR MORE.
 L= $\frac{WS^2}{60}$ FOR SPEEDS OF 40MPH OR LESS.
 WHERE:
 L= MINIMUM LENGTH OF TAPER.
 S= NUMERICAL VALUE OF POSTED SPEED LIMIT PRIOR TO WORK OR 85TH PERCENTILE SPEED.
 W= WIDTH OF OFFSET.

- GENERAL NOTES:
1. THE MAINTENANCE DIVISION SHALL CONDUCT A BALL BANK STUDY TO DETERMINE THE ADVISORY SPEED LIMIT PRIOR TO OPENING TO TRAFFIC. THE ADVISORY SPEED WILL BE POSTED ON W1-3 OR W1-4 CURVE WARNING SIGNS. USE W1-4 WHEN SPEED IS GREATER THAN 30MPH AND W1-3 WHEN 30MPH OR LESS.
 2. WHEN THE EXISTING SPEED LIMIT IS 55MPH AND THE PLANS REQUIRE A SPEED LIMIT OF 45MPH, THE R2-1(45) SHALL BE OMITTED AND THE W3-5 SHALL BE INSTALLED AT THAT LOCATION. ADDITIONAL R2-1(45MPH) SPEED LIMIT SIGNS SHALL BE INSTALLED AT A MAXIMUM OF 1/2 MILE INTERVALS. AT THE END OF THE WORK AREA A R2-1(KXX) SHALL BE INSTALLED TO MATCH ORIGINAL SPEED LIMIT.
 3. WHEN THE EXISTING SPEED LIMIT IS 65MPH AND THE PLANS REQUIRE A SPEED LIMIT OF 55MPH, THE R2-1(45) SHALL BE OMITTED. ADDITIONAL R2-1(55MPH) SPEED LIMIT SIGNS SHALL BE INSTALLED AT A MAXIMUM OF 1/2 MILE INTERVALS. AT THE END OF THE WORK AREA A R2-1(KXX) SHALL BE INSTALLED TO MATCH ORIGINAL SPEED LIMIT.
 4. THE MAXIMUM SPACING BETWEEN CHANNELIZING DEVICES IN A TAPER SHOULD BE APPROXIMATELY EQUAL IN FEET TO THE SPEED LIMIT. BEYOND THE TAPER, MAXIMUM SPACING SHALL BE TWO TIMES THE SPEED LIMIT, OR AS DIRECTED BY THE ENGINEER.
 5. WARNING LIGHTS AND/OR FLAGS MAY BE MOUNTED TO SIGNS OR CHANNELIZING DEVICES AT NIGHT AS NEEDED.
 6. PAVEMENT MARKINGS NO LONGER APPLICABLE WHICH MIGHT CREATE CONFUSION IN THE MINDS OF VEHICLE OPERATORS SHALL BE REMOVED OR OBLITERATED AS SOON AS PRACTICABLE.
 7. TRAILER MOUNTED DEVICES SUCH AS ARROW PANELS AND PORTABLE CHANGEABLE MESSAGE SIGNS SHALL BE DELINEATED BY AFFIXING CONSPICUITY MATERIAL IN A CONTINUOUS LINE ON THE FACE OF THE TRAILER. WHEN PLACED ON OR ADJACENT TO THE SHOULDER AND NOT BEHIND A POSITIVE BARRIER, THESE DEVICES SHALL BE DELINEATED BY PLACING FIVE (5) TRAFFIC DRUMS, EQUALLY SPACED ALONG THE TRAFFIC SIDE OF THE DEVICE.
 8. DIMENSIONS SHOWN FOR RAISED PAVEMENT MARKERS ARE TYPICAL. THE CONTRACTOR MAY SUBSTITUTE SIMILAR MARKERS WITH THE APPROVAL OF THE ENGINEER. REQUESTING APPROVAL FOR SIMILAR MARKERS MAY BE MADE BY REFERRING TO THE ADOT QUALIFIED PRODUCTS LIST.
 9. ALL TRAILER MOUNTED DEVICES SUCH AS ARROW PANELS AND PORTABLE CHANGEABLE MESSAGE SIGNS SHALL MEET THE REQUIREMENTS OF THE MANUAL FOR ASSESSING SAFETY HARDWARE (MASH).

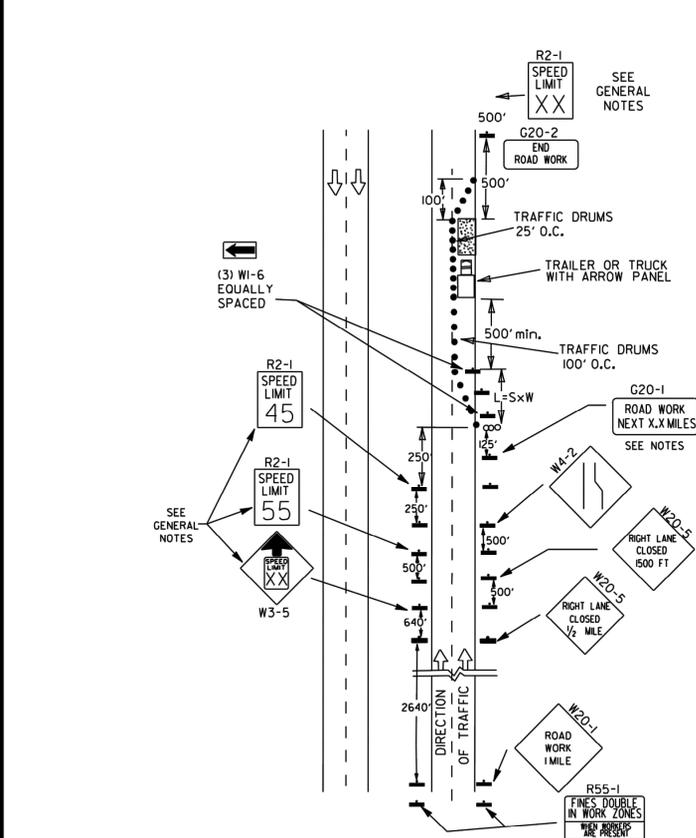
| DATE | REVISION | FILED |
|----------|--|--------|
| 11-07-19 | REVISED NOTE 4, ADDED NOTE 9 | |
| 9-2-15 | REVISED NOTE 2, ADDED NOTE 8, REVISED DRAWING (A) & REPLACED R2-5A WITH W3-5 | |
| 9-12-13 | REVISED DETAIL OF RAISED PAVEMENT MARKERS | |
| 3-11-10 | ADDED (AFAD) | |
| 11-20-08 | REVISED SIGN DESIGNATIONS | |
| 11-18-04 | ADDED GENERAL NOTE | |
| 10-18-96 | ADDED R55-1 | |
| 4-26-96 | CORRECTED (a) BEHIND G20-2 | |
| 6-8-95 | CORRECTED SIGN IDENT. ON W1-4A | 6-8-95 |
| 2-2-95 | REVISED PER PART VI, MUTCD, SEPT. 3, 1993 | |
| 8-15-91 | DRAWN AND PLACED IN USE | |



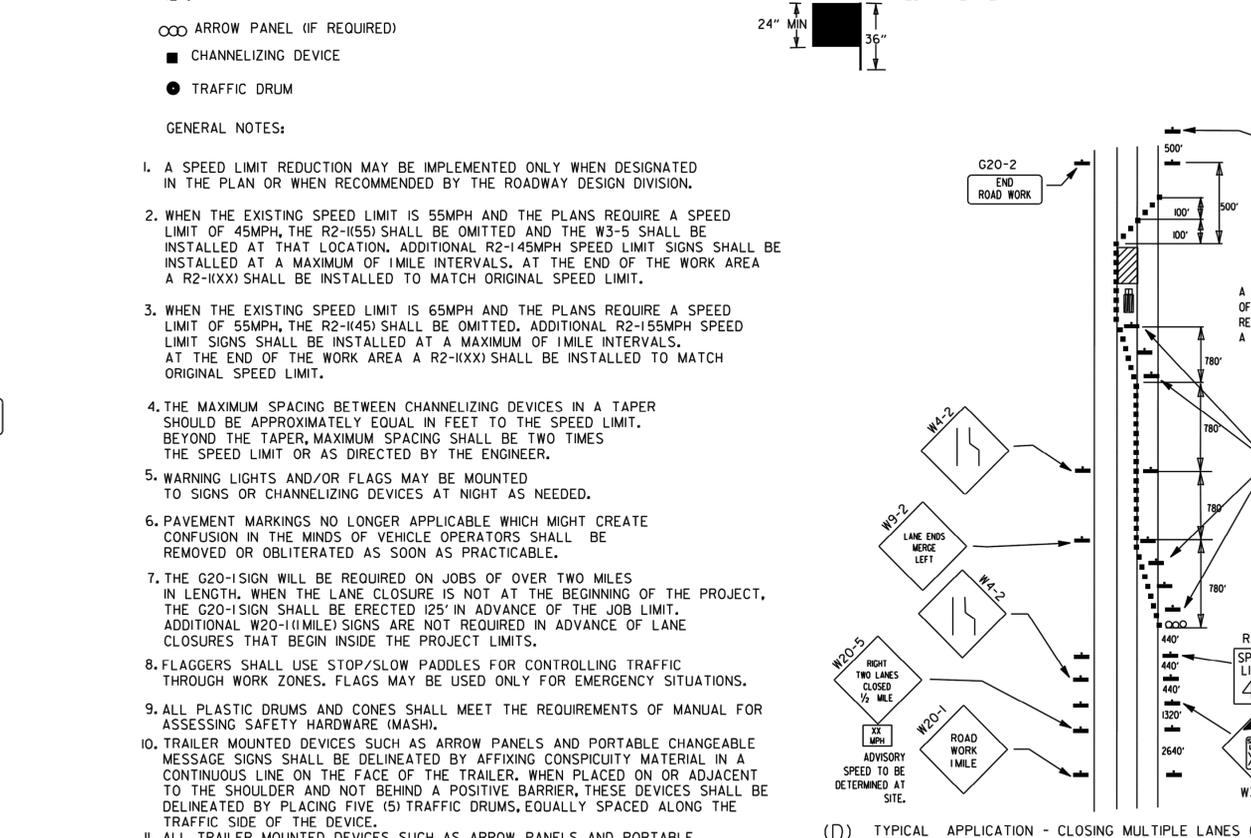
(A) TYPICAL APPLICATION - DAYTIME MAINTENANCE OPERATIONS OF SHORT DURATION ON A 4-LANE DIVIDED ROADWAY WHERE HALF OF THE ROADWAY IS CLOSED.



(B) TYPICAL APPLICATION - 3-LANE ONEWAY ROADWAY WHERE CENTER LANE IS CLOSED.

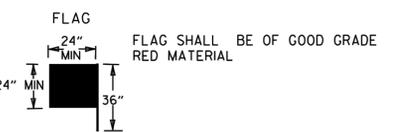
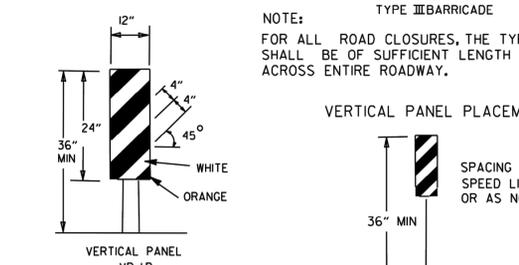
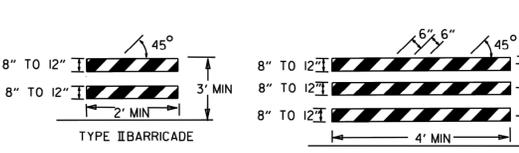
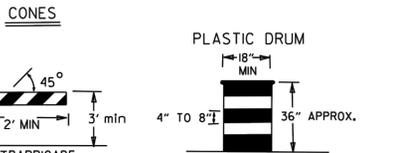
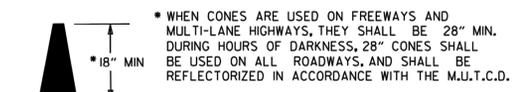


(C) TYPICAL APPLICATION - CONSTRUCTION OPERATIONS OF INTERMEDIATE TO LONG TERM DURATION ON A 4-LANE DIVIDED ROADWAY WHERE HALF OF THE ROADWAY IS CLOSED.



(D) TYPICAL APPLICATION - CLOSING MULTIPLE LANES OF A MULTILANE HIGHWAY.

CHANNELIZING DEVICES



FLAG SHALL BE OF GOOD GRADE RED MATERIAL

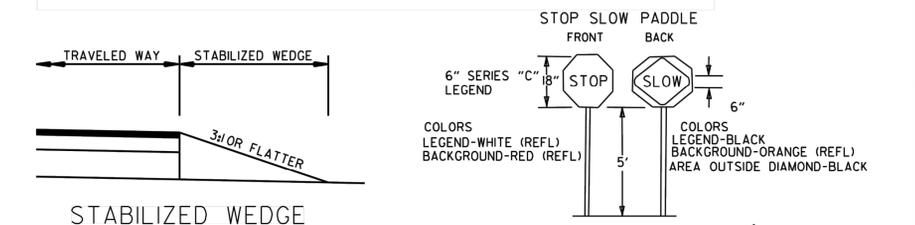
TRAFFIC CONTROL DEVICES

| VERTICAL DIFFERENTIAL | LOCATION | TRAFFIC CONTROL | |
|-----------------------|---|---|---|
| | | ≤ 45 MPH | > 45 MPH |
| ≤ 2" | CENTERLINE | W8-11 AND LANE STRIPING | W8-11 AND LANE STRIPING |
| > 2" | CENTERLINE | STANDARD LANE CLOSURE | STANDARD LANE CLOSURE |
| ≤ 3" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-9, EDGE LINE STRIPING, AND VERTICAL PANELS | W8-9, EDGE LINE STRIPING, AND VERTICAL PANELS |
| > 3" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-17, EDGE LINE STRIPING, AND VERTICAL PANELS | W8-17, EDGE LINE STRIPING, AND VERTICAL PANELS |
| ≤ 6" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽¹⁾ | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ |
| > 6" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽¹⁾ | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ |
| > 18" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽¹⁾ | A STABILIZED WEDGE, W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ |
| > 24" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | PRECAST CONCRETE BARRIER ⁽⁴⁾ & EDGE LINES | PRECAST CONCRETE BARRIER ⁽⁴⁾ & EDGE LINES |

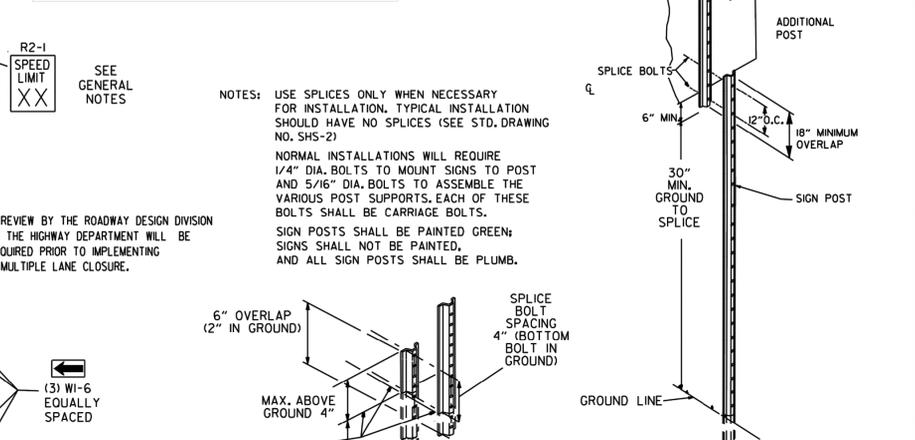
| VERTICAL DIFFERENTIAL | LOCATION | TRAFFIC CONTROL | |
|-----------------------|---|---|---|
| | | ≤ 45 MPH | > 45 MPH |
| ≤ 2" | CENTERLINE | W8-11 AND LANE STRIPING | W8-11 AND LANE STRIPING |
| > 2" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-9, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ |
| ≤ 6" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ | W8-17, EDGE LINE STRIPING, AND TRAFFIC DRUMS ⁽²⁾ |
| > 6" | EDGE OF TRAVELED LANE OR EDGE OF SHOULDER | PRECAST CONCRETE BARRIER & EDGE LINES | PRECAST CONCRETE BARRIER & EDGE LINES |

| FORESLOPE | HEIGHT | TRAFFIC CONTROL |
|------------------|--------|--------------------------|
| 1:1 | > 2 FT | PRECAST CONCRETE BARRIER |
| 2:1 | ≤ 5 FT | TRAFFIC DRUMS |
| 2:1 | > 5 FT | PRECAST CONCRETE BARRIER |
| Flatter than 2:1 | N/A | TRAFFIC DRUMS |

- GENERAL NOTES:
- WHEN THE SHOULDER AREA IS USED AS PART OF THE TRAVELED LANE AND THERE IS INSUFFICIENT WIDTH TO PLACE TRAFFIC DRUMS ON THE REMAINING SHOULDER WIDTH, THEN VERTICAL PANELS SHALL BE USED.
 - WHEN THERE IS INSUFFICIENT WIDTH TO PLACE TRAFFIC DRUMS ON THE REMAINING SHOULDER WIDTH, A STABILIZED WEDGE SHALL BE USED. PRECAST CONCRETE BARRIER WALL CAN BE USED IN LIEU OF A STABILIZED WEDGE, W8-17 SIGN, EDGE LINE STRIPING, AND TRAFFIC DRUMS, IF AND WHERE DIRECTED BY THE ENGINEER. A STABILIZED WEDGE, W8-17 SIGN, EDGE LINE STRIPING, AND TRAFFIC DRUMS CAN BE USED IN LIEU OF PRECAST CONCRETE BARRIER WALL, IF AND WHERE DIRECTED BY THE ENGINEER. W21-5, W21-5a, AND/OR W21-5b SIGNS SHALL BE USED WHERE THE ROADWAY IS UNOBSTRUCTED IF AND WHERE DIRECTED BY THE ENGINEER.



NOTE: MATERIALS FOR THE STABILIZED WEDGE SHALL MEET THE REQUIREMENTS PROVIDED IN SECTION 603.02 OF THE STANDARD SPECIFICATIONS.



| DATE | REVISION | FILED |
|----------|--|--------|
| 2-27-20 | REVISED TRAFFIC CONTROL DEVICES DETAILS | |
| 11-07-19 | REVISED NOTE 9, ADDED NOTE II | |
| 7-25-19 | REVISED TRAFFIC CONTROL DEVICES DETAILS | |
| 9-2-15 | REVISED NOTE 2 & REPLACED R2-5A WITH W3-5 | |
| 10-15-09 | ADDED REFERENCE TO MASH | |
| 11-20-08 | REVISED SIGN DESIGNATIONS | |
| 11-18-04 | ADDED NOTE | |
| 10-1-98 | ADDED NOTE | |
| 4-03-97 | ADDED (SP) TO W6-1& REVISED TRAFFIC CONTROL DEVICES NOTE | |
| 10-18-96 | ADDED R55-1 | |
| 10-12-95 | MOVED UPPER SPLICE | |
| 6-8-95 | REVISED SPLICE DETAIL, TEXT | 6-8-95 |
| 2-2-95 | REVISED PER PART VI, MUTCD, SEPT. 3, 1993 | |
| 8-15-91 | DRAWN AND PLACED IN USE | |

Memo

To: Planning Commission
From: Staff
Date: June 2, 2020
RE: L20-15 Large Scale Development The Peaks at Springdale
Phase II & III

Planning Comments

Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-15. This number should be placed on the plans and all future correspondence and plats pertaining to this development.
(standard comment)

Multi-Family Design Comments

1. Bike racks would be a great addition to the project given the size of the campus and the internal walkways.

Engineering Comments

1. Chapter 106 – Stormwater Drainage

106.5.4.10** - Easements

Drainage easement should be 20' outside 100 year flood pool, double check that there is a full 20' around the entire pond

2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- 107.3

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

3. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- 130.7.6.1 ADA requirements.

- o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
 - **This note is left in place throughout the design process to insure that access is maintained.**

4. Other:

- Permitting - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

Construct-ability Review – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.



1 FRONT ELEVATION
A211 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION
A211 SCALE: 1/8" = 1'-0"

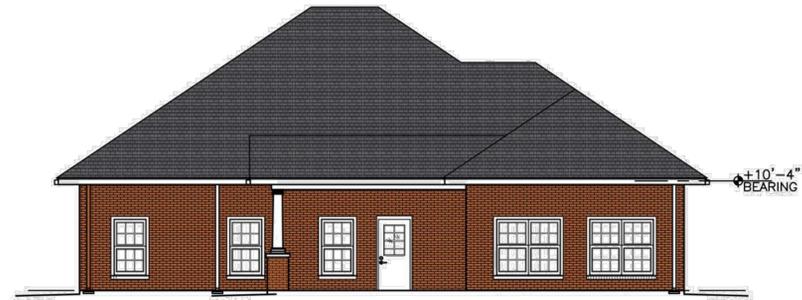


3 SIDE ELEVATION
A211 SCALE: 1/8" = 1'-0"





3 RIGHT ELEVATION
A241 SCALE : 1/4" = 1'-0"



2 REAR ELEVATION
A241 SCALE : 1/4" = 1'-0"

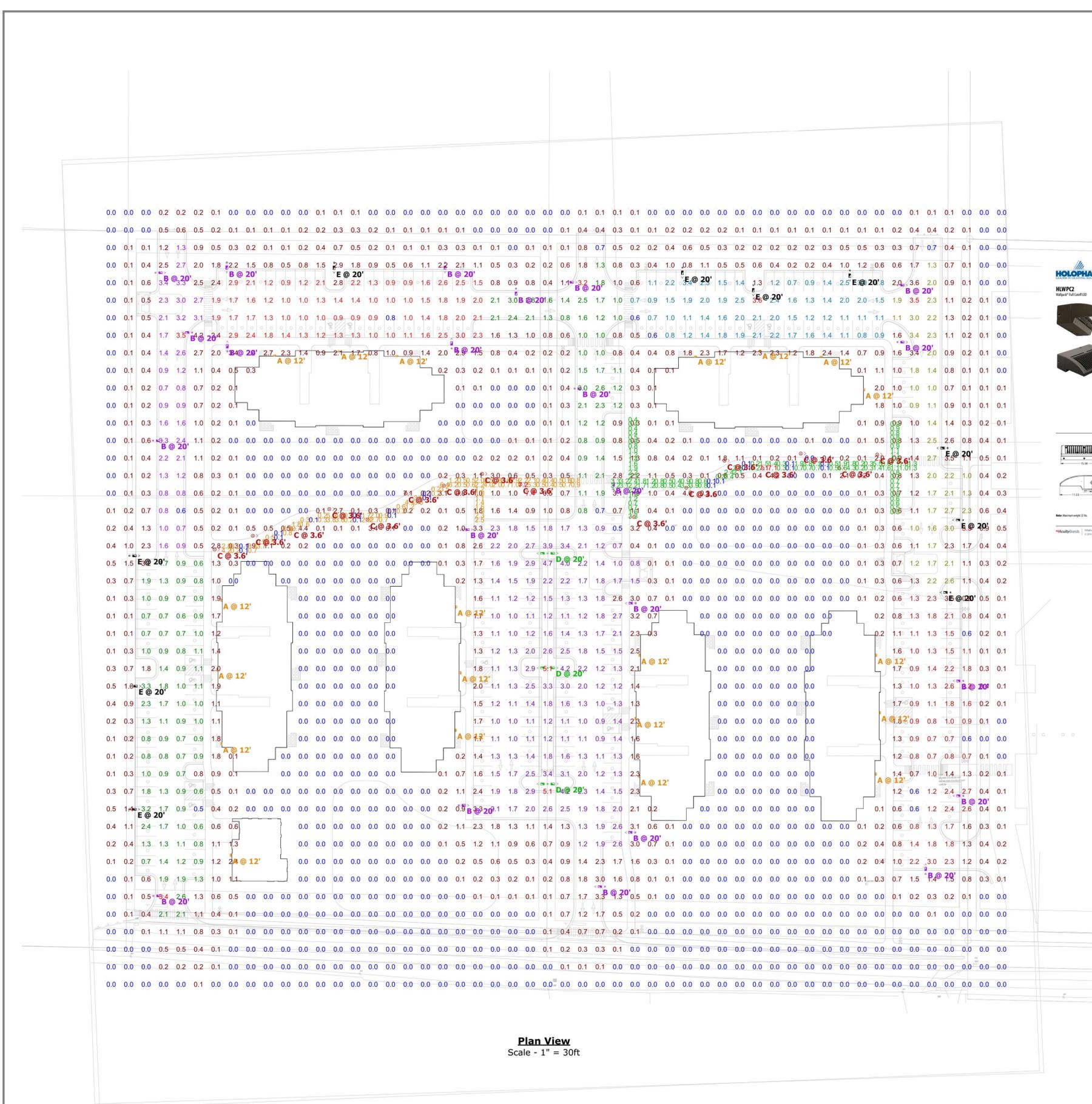


4 LEFT ELEVATION
A241 SCALE : 1/4" = 1'-0"



1 FRONT ELEVATION
A241 SCALE : 1/4" = 1'-0"





Plan View
Scale - 1" = 30ft

Note
This architectural lighting submittal is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflected ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy or proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.

HOLOPHANE
HLWPC2
Wavelength 4000K

Features:

- 4000K color temperature
- 100lm/W efficacy
- 50,000 hour life expectancy
- 100lm/W efficacy
- 50,000 hour life expectancy

Applications:

- Parking lots
- Drive aisles
- Site spill

Autobahn Series AT80
Roadway Lighting

PRODUCT OVERVIEW

Features:

- New light performance compared to 70-80lm/W roadway fixtures.
- High light distribution and uniformity.
- 70-80lm/W efficacy.
- 50,000 hour life expectancy.

Applications:

- Parking lots
- Drive aisles
- Site spill

Bollard
CBM1210C

Flat Glass Frost (FGF)

| Size | Material | Weight | Height | Width | Depth | Volume | Weight | Volume |
|------------------|----------|--------|--------|-------|-------|--------|--------|--------|
| 12" x 12" x 12" | 304 | 3.5 | 12" | 12" | 12" | 0.0047 | 12.3 | 0.057 |
| 12" x 12" x 18" | 304 | 5.2 | 12" | 12" | 18" | 0.0070 | 18.4 | 0.085 |
| 12" x 12" x 24" | 304 | 6.9 | 12" | 12" | 24" | 0.0093 | 24.5 | 0.110 |
| 12" x 12" x 30" | 304 | 8.6 | 12" | 12" | 30" | 0.0116 | 30.6 | 0.136 |
| 12" x 12" x 36" | 304 | 10.3 | 12" | 12" | 36" | 0.0139 | 36.7 | 0.162 |
| 12" x 12" x 42" | 304 | 12.0 | 12" | 12" | 42" | 0.0162 | 42.8 | 0.188 |
| 12" x 12" x 48" | 304 | 13.7 | 12" | 12" | 48" | 0.0185 | 48.9 | 0.214 |
| 12" x 12" x 54" | 304 | 15.4 | 12" | 12" | 54" | 0.0208 | 55.0 | 0.240 |
| 12" x 12" x 60" | 304 | 17.1 | 12" | 12" | 60" | 0.0231 | 61.1 | 0.266 |
| 12" x 12" x 66" | 304 | 18.8 | 12" | 12" | 66" | 0.0254 | 67.2 | 0.292 |
| 12" x 12" x 72" | 304 | 20.5 | 12" | 12" | 72" | 0.0277 | 73.3 | 0.318 |
| 12" x 12" x 78" | 304 | 22.2 | 12" | 12" | 78" | 0.0300 | 79.4 | 0.344 |
| 12" x 12" x 84" | 304 | 23.9 | 12" | 12" | 84" | 0.0323 | 85.5 | 0.370 |
| 12" x 12" x 90" | 304 | 25.6 | 12" | 12" | 90" | 0.0346 | 91.6 | 0.396 |
| 12" x 12" x 96" | 304 | 27.3 | 12" | 12" | 96" | 0.0369 | 97.7 | 0.422 |
| 12" x 12" x 102" | 304 | 29.0 | 12" | 12" | 102" | 0.0392 | 103.8 | 0.448 |
| 12" x 12" x 108" | 304 | 30.7 | 12" | 12" | 108" | 0.0415 | 109.9 | 0.474 |
| 12" x 12" x 114" | 304 | 32.4 | 12" | 12" | 114" | 0.0438 | 116.0 | 0.500 |
| 12" x 12" x 120" | 304 | 34.1 | 12" | 12" | 120" | 0.0461 | 122.1 | 0.526 |

Cylinder lens - CAP (POND finish)

| Size | Material | Weight | Height | Width | Depth | Volume | Weight | Volume |
|------------------|----------|--------|--------|-------|-------|--------|--------|--------|
| 12" x 12" x 12" | 304 | 3.5 | 12" | 12" | 12" | 0.0047 | 12.3 | 0.057 |
| 12" x 12" x 18" | 304 | 5.2 | 12" | 12" | 18" | 0.0070 | 18.4 | 0.085 |
| 12" x 12" x 24" | 304 | 6.9 | 12" | 12" | 24" | 0.0093 | 24.5 | 0.110 |
| 12" x 12" x 30" | 304 | 8.6 | 12" | 12" | 30" | 0.0116 | 30.6 | 0.136 |
| 12" x 12" x 36" | 304 | 10.3 | 12" | 12" | 36" | 0.0139 | 36.7 | 0.162 |
| 12" x 12" x 42" | 304 | 12.0 | 12" | 12" | 42" | 0.0162 | 42.8 | 0.188 |
| 12" x 12" x 48" | 304 | 13.7 | 12" | 12" | 48" | 0.0185 | 48.9 | 0.214 |
| 12" x 12" x 54" | 304 | 15.4 | 12" | 12" | 54" | 0.0208 | 55.0 | 0.240 |
| 12" x 12" x 60" | 304 | 17.1 | 12" | 12" | 60" | 0.0231 | 61.1 | 0.266 |
| 12" x 12" x 66" | 304 | 18.8 | 12" | 12" | 66" | 0.0254 | 67.2 | 0.292 |
| 12" x 12" x 72" | 304 | 20.5 | 12" | 12" | 72" | 0.0277 | 73.3 | 0.318 |
| 12" x 12" x 78" | 304 | 22.2 | 12" | 12" | 78" | 0.0300 | 79.4 | 0.344 |
| 12" x 12" x 84" | 304 | 23.9 | 12" | 12" | 84" | 0.0323 | 85.5 | 0.370 |
| 12" x 12" x 90" | 304 | 25.6 | 12" | 12" | 90" | 0.0346 | 91.6 | 0.396 |
| 12" x 12" x 96" | 304 | 27.3 | 12" | 12" | 96" | 0.0369 | 97.7 | 0.422 |
| 12" x 12" x 102" | 304 | 29.0 | 12" | 12" | 102" | 0.0392 | 103.8 | 0.448 |
| 12" x 12" x 108" | 304 | 30.7 | 12" | 12" | 108" | 0.0415 | 109.9 | 0.474 |
| 12" x 12" x 114" | 304 | 32.4 | 12" | 12" | 114" | 0.0438 | 116.0 | 0.500 |
| 12" x 12" x 120" | 304 | 34.1 | 12" | 12" | 120" | 0.0461 | 122.1 | 0.526 |

Statistics

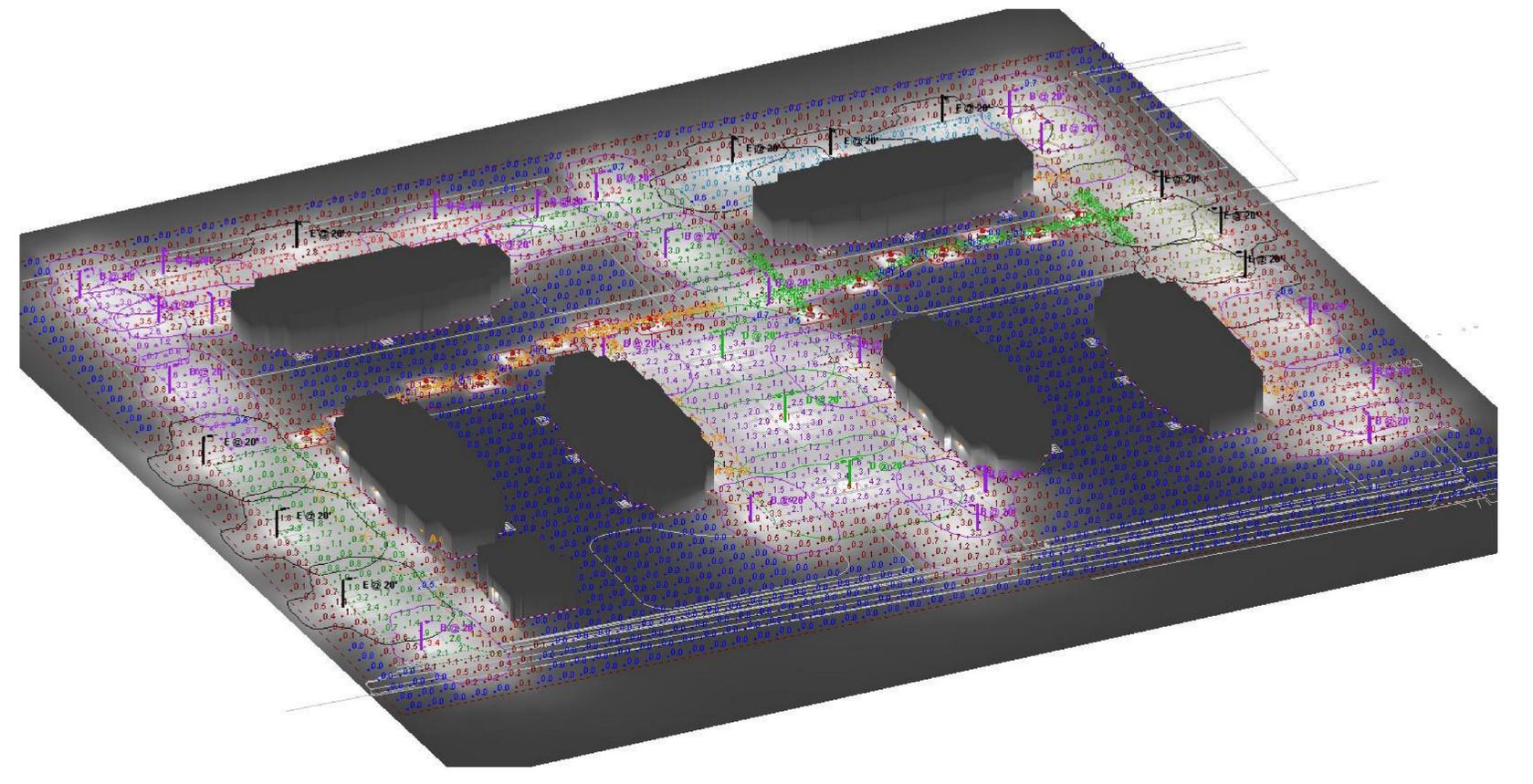
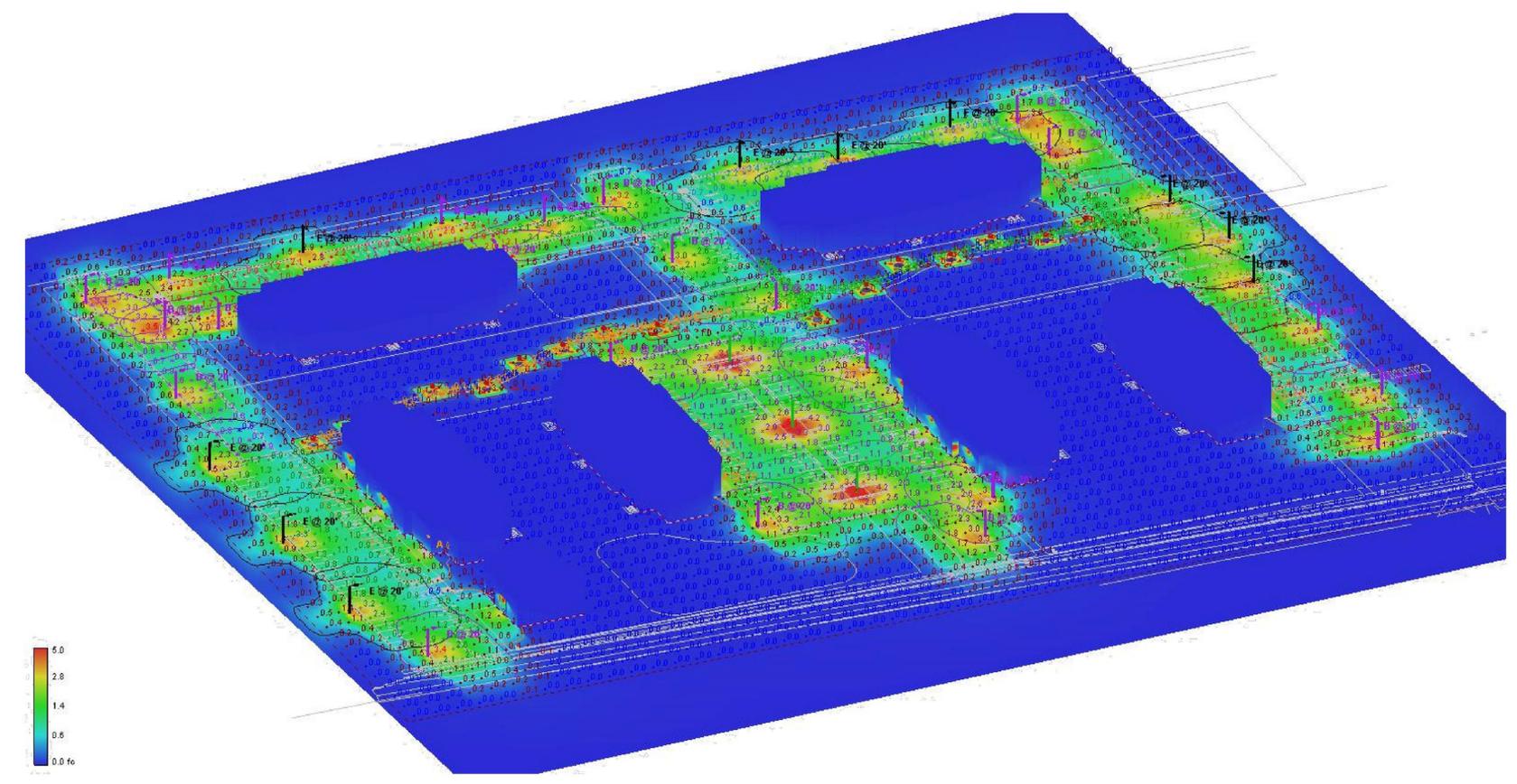
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|----------------------|--------|--------|--------|--------|---------|---------|
| Access Drive | X | 1.8 fc | 3.5 fc | 0.6 fc | 5.8:1 | 3.0:1 |
| Drive Parking Lane 1 | X | 1.6 fc | 3.2 fc | 0.7 fc | 4.6:1 | 2.3:1 |
| Drive Parking Lane 2 | + | 1.9 fc | 3.5 fc | 0.7 fc | 5.0:1 | 2.7:1 |
| Parking Lot 1 | ◇ | 1.2 fc | 3.4 fc | 0.5 fc | 6.8:1 | 2.4:1 |
| Parking Lot 2 | ◇ | 1.5 fc | 3.0 fc | 0.8 fc | 3.8:1 | 1.9:1 |
| Parking Lot 3 | ◇ | 1.6 fc | 3.6 fc | 0.6 fc | 6.0:1 | 2.7:1 |
| Parking Lot 4 | X | 1.4 fc | 3.2 fc | 0.6 fc | 5.3:1 | 2.3:1 |
| Parking Lot 5 | X | 1.8 fc | 5.1 fc | 0.5 fc | 10.2:1 | 3.6:1 |
| Pathway 1 | + | 1.6 fc | 7.2 fc | 0.1 fc | 72.0:1 | 16.0:1 |
| Pathway 2 | + | 1.4 fc | 7.1 fc | 0.1 fc | 71.0:1 | 14.0:1 |
| Site Spill | + | 0.7 fc | 7.4 fc | 0.0 fc | N/A | N/A |

Schedule

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number | Mounting Per | Light Loss Factor | Wattage |
|--------|-------|----------------------------|---------------------------------|--|-------------|------|--------|--------------|-------------------|---------|
| A | 20 | Holophane | HLWPC2 P10 40K XX T3H | Wavelength Full CutOff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type III Medium | LED | 1 | 3017 | 0.95 | 28 | |
| B | 22 | American Electric Lighting | AT80 20BLEDE13 XX00 R4 400K R55 | AT80 SERIES LED 1300MA TYPE 4 R50W/5000K CCT | LED Array | 1 | 7949 | 0.9 | 87 | |
| C | 16 | Cyclone Lighting | CBM1210C-CAC-5-25W-4K | Bollard 1210C | 6 LED | 1 | 1082 | 0.95 | 32 | |
| D | 3 | American Electric Lighting | AT80 20BLEDE15 XX00 R4 400K R55 | AT80 SERIES LED 1500MA TYPE 4 R50W/5000K CCT | LED Array | 1 | 11159 | 0.9 | 198 | |
| E | 10 | American Electric Lighting | AT80 20BLEDE15 XX00 R4 400K R55 | AT80 SERIES LED 1500MA TYPE 4 R50W/5000K CCT | LED Array | 1 | 11159 | 0.9 | 99 | |

Note

1. Readings shown are based on a total LFL of as shown at grade. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs. of LED testing (per IESNA LM-80-08 and projected per IESNA TM-21-11).
2. Please refer to the "luminaire locations" for mounting heights.
3. Product information can be obtained at www.Lithonia.com or through your local agency.



Note
This architectural lighting submittal is provided only for informational purposes and to help the customer or end-user (as applicable) understand how various sections of linear fixtures connect to each other and how they mount to the ceiling. This lighting submittal is strictly based on the information provided to Acuity Brands, and is provided without warranty as to accuracy, completeness, reliability or otherwise. If the information (including but not limited to floor-plans, reflecting ceiling plans, electrical plans and specifications) provided to Acuity Brands is incomplete or not current (i.e., newer versions exist), the accuracy or proposed design may be adversely affected. Once this lighting submittal is received by the customer or end-user (as applicable), it is the obligation of the customer or end-user (as applicable) to consult with a professional engineering advisor to determine whether the proposed design meets the applicable project requirements for lighting system performance, code compliance, safety, suitability and effectiveness for use in a particular application. In no event will Acuity Brands be responsible for any loss resulting from any use of any information contained in this lighting submittal.

HOLOPHANE

HLWPC2
Midpower Full-Cut LED

Product: HLWPC2 Midpower Full-Cut LED

Material: Polycarbonate

Color: Clear

Dimensions: 1.5" x 1.5" x 1.5"

Weight: 0.15 lbs

Applications: Parking lots, walkways, etc.

Features: High lumen output, long life, etc.

Technical Specifications: Lumen output, beam angle, etc.

Autobahn Series AT80
Roadway Lighting

PRODUCT OVERVIEW

Features:

- OPTICAL:** True light distribution, etc.
- ELECTRICAL:** High efficiency, etc.
- Mechanical:** Durable, etc.
- Controls:** Dimmable, etc.

Applications: Roadways, etc.

Dimensions: 1.5" x 1.5" x 1.5"

Standards: IESNA, etc.

Bollard
CBM1210C

Flat Glass Frost (FGF)

| Code | Height | Width | Material | Finish | Notes |
|------|--------|-------|----------|--------|------------|
| 1000 | 36" | 3.6" | Aluminum | Clear | |
| 1001 | 36" | 3.6" | Aluminum | White | |
| 1002 | 36" | 3.6" | Aluminum | Black | |
| 1003 | 36" | 3.6" | Aluminum | Clear | With Frost |
| 1004 | 36" | 3.6" | Aluminum | White | With Frost |
| 1005 | 36" | 3.6" | Aluminum | Black | With Frost |

Cylinder lens - CAP (POND Finish)

| Code | Height | Width | Material | Finish | Notes |
|------|--------|-------|----------|--------|------------|
| 1006 | 36" | 3.6" | Aluminum | Clear | |
| 1007 | 36" | 3.6" | Aluminum | White | |
| 1008 | 36" | 3.6" | Aluminum | Black | |
| 1009 | 36" | 3.6" | Aluminum | Clear | With Frost |
| 1010 | 36" | 3.6" | Aluminum | White | With Frost |
| 1011 | 36" | 3.6" | Aluminum | Black | With Frost |

Statistics

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|----------------------|--------|--------|--------|--------|---------|---------|
| Access Drive | ✘ | 1.8 fc | 3.5 fc | 0.6 fc | 5.8:1 | 3.0:1 |
| Drive Parking Lane 1 | ✘ | 1.6 fc | 3.2 fc | 0.7 fc | 4.6:1 | 2.3:1 |
| Drive Parking Lane 2 | + | 1.9 fc | 3.5 fc | 0.7 fc | 5.0:1 | 2.7:1 |
| Parking Lot 1 | ◇ | 1.2 fc | 3.4 fc | 0.5 fc | 6.8:1 | 2.4:1 |
| Parking Lot 2 | ◇ | 1.5 fc | 3.0 fc | 0.8 fc | 3.8:1 | 1.9:1 |
| Parking Lot 3 | ◇ | 1.6 fc | 3.6 fc | 0.6 fc | 6.0:1 | 2.7:1 |
| Parking Lot 4 | ✘ | 1.4 fc | 3.2 fc | 0.6 fc | 5.3:1 | 2.3:1 |
| Parking Lot 5 | ✘ | 1.8 fc | 5.1 fc | 0.5 fc | 10.2:1 | 3.6:1 |
| Pathway 1 | + | 1.6 fc | 7.2 fc | 0.1 fc | 72.0:1 | 16.0:1 |
| Pathway 2 | + | 1.4 fc | 7.1 fc | 0.1 fc | 71.0:1 | 14.0:1 |
| Site Spill | + | 0.7 fc | 7.4 fc | 0.0 fc | N/A | N/A |

Schedule

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Lamp | Number Lenses | Lumens Per Lamp | Light Loss Factor | Wattage |
|--------|-------|----------------------------|---------------------------------|--|-------------|------|---------------|-----------------|-------------------|---------|
| A | 20 | Holophane | HLWPC2 P10 40K XX 73R | Wallpack Full Cutoff LED, LED Performance Package P10, 4000 series CCT, Voltage, Type III Medium | LED | 1 | 3017 | 0.95 | 28 | |
| B | 22 | American Electric Lighting | AT80 20ULEDE13 XXXX R4 462R 45S | AT80 SERIES LED 1300MA TYPE 4 4500K/5000 CCT HDS | LED Array | 1 | 7949 | 0.9 | 87 | |
| C | 16 | Cyclone Lighting | CBM1210C-CAC-5-25W-46 | Bollard 1210C | 6 LED | 1 | 1082 | 0.95 | 32 | |
| D | 3 | American Electric Lighting | AT80 20ULEDE15 XXXX R4 462R | AT80 SERIES LED 1500MA TYPE 4 4500K/5000 CCT | LED Array | 1 | 11159 | 0.9 | 198 | |
| E | 10 | American Electric Lighting | AT80 20ULEDE15 XXXX R4 462R | AT80 SERIES LED 1500MA TYPE 4 4500K/5000 CCT | LED Array | 1 | 11159 | 0.9 | 99 | |

Note
1. Readings shown are based on a total LFL of as shown at project. Data references the extrapolated performance projections in a 25c ambient based on 10,000 hrs. of LED testing (per IESNA LM-80-08 and graded per IESNA TM-21-11).
2. Please refer to the "luminaire locations" for mounting heights.
3. Product information can be obtained at www.Lithonia.com or through your local agency.

June 2020 Planning Commission
Engineering Comments Summary

Large Scale Developments

- A. L20-11 **Williams Tractor**
 S of DTP, East side of I-49
 B20-18 **Variance for deviation of landscaping per Chapter 56**
 Variance for deviation of Commercial Design Standards
 Presented by Expedient Civil Engineering, PLLC

Summary of Engineering Comments:

(No new comments since last month)

- Show concrete pipe in outlet detail and revise drainage report where it mentions HDPE
- Photometric plan is not legible

- B. L20-15 **The Peaks at Springdale**
 W. side of N. Thompson, N. of Cooper Dr.
 Presented by Crafton Tull

Summary of Engineering Comments:

- Double check drainage easement, need full 20' outside of 100 year flood pool
- Submit Grading Permit application

Preliminary Plats, Replats, Final Plats

- A. PP20-03 **The Crossings**
 W. of Gene George Blvd.
 S. side of W. Sunset Ave.
 Presented by McClelland Engineering

Summary of Engineering Comments:

- Need to show proposed/existing streetlights
- Submit Grading Permit application

Staff Use Only

- Fee Paid, (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B2021

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Tyson Foods, Inc. #815-29221-000

Applicant's Mailing Address:

2200 Don Tyson Pkwy
 Street Address or P.O. Box
SPRINGDALE, AR 72762
 City, State & Zip Code

479-290-4621
 Telephone Number

Property Owner's Name
(If different from Applicant): _____

Property Owner's Mailing Address:
(If different from Applicant): _____

Street Address or P.O. Box

Telephone Number

City, State & Zip Code

Address of Variance Request: 2200 DTP

Zoning District: C-2

The following information should be attached to this application:



1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please contact staff to determine the required setback.

Required: Front: _____ Side: _____ Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: _____ Back: _____
(If granted what the setback would be.)

Variance: Front: _____ Side: _____ Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

ADD AN ADDITIONAL SIGN TO THE FRONT / SOUTH SIDE OF WHQ, FOR A TOTAL OF TWO MONUMENTAL SIGNS.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):

THIS IS TO IDENTIFY THE TYSON WING
WHEN ARRIVING FROM EITHER THE EAST
OR WEST.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):

WAYFINDING INTO OUR CAMPUS
PARKING LOT

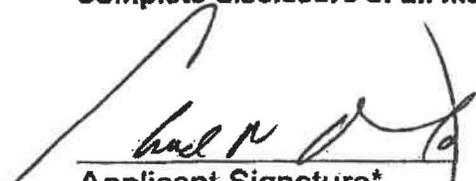
3. That the special conditions and circumstances do not result from the actions of the applicant. Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):

DUE TO TERRAIN & TREES YOU
CANNOT SEE THE CAMPUS SIGN
FROM ONE DIRECTION

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.



 Applicant Signature*

 Property Owner Signature*
(If different from Applicant)

 Applicant Signature*

 Property Owner Signature*
(If different from Applicant)

**If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

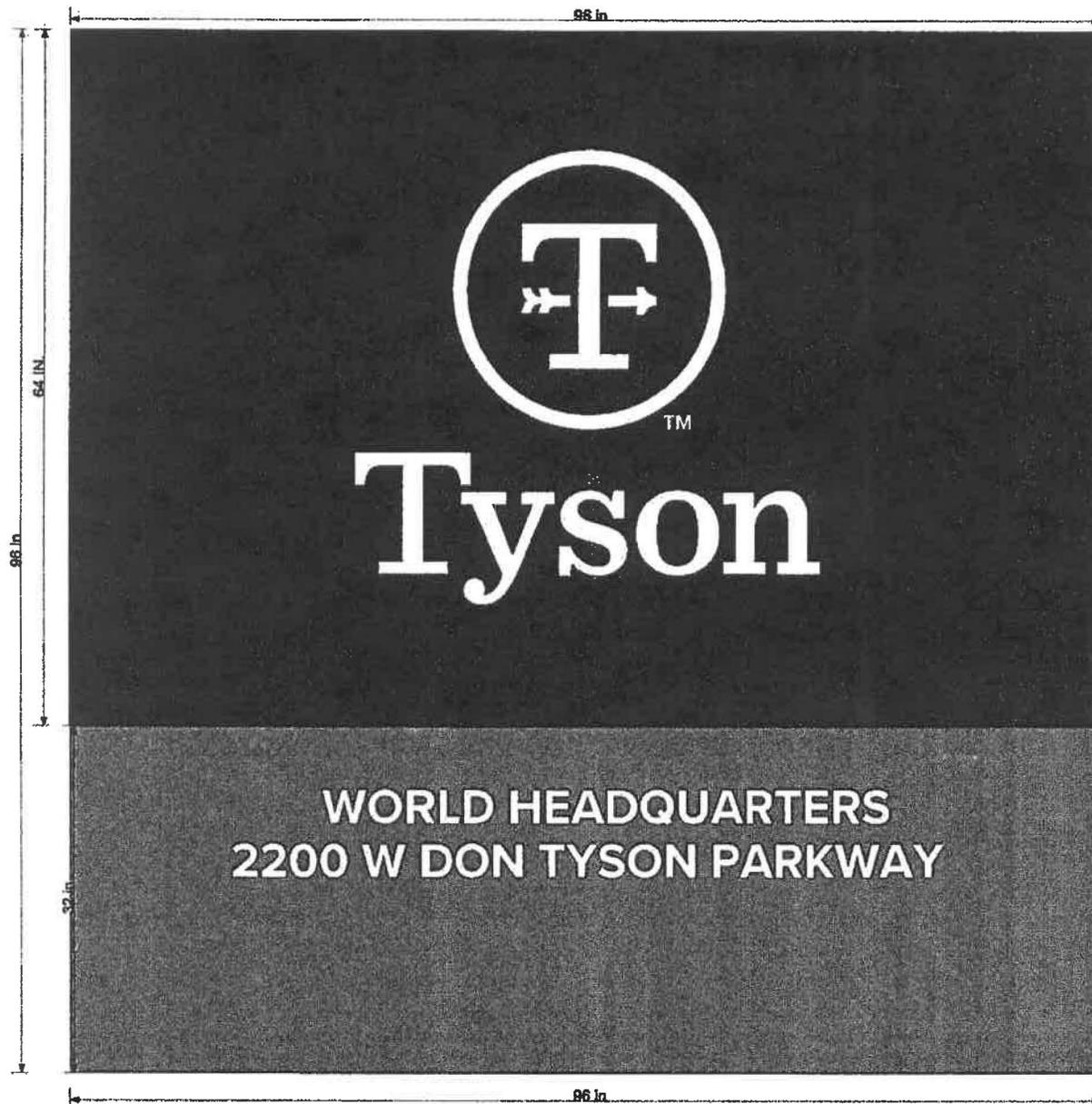
State of Arkansas)
) ss.
 County of Washington

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 8th day of May, 2020.



 Notary Public

ROBERTA GONZALEZ
 WASHINGTON COUNTY
 COMMISSION NO. 12377960
 NOTARY PUBLIC - ARKANSAS
 MY COMMISSION EXPIRES 7-23-2020



VIEWED FROM FRONT AND BACK

The sign will have external LED illumination
The bottom section will be solid concrete and
the top portion will be steel



VIEWED FROM SIDE

East Monument Sign: Location

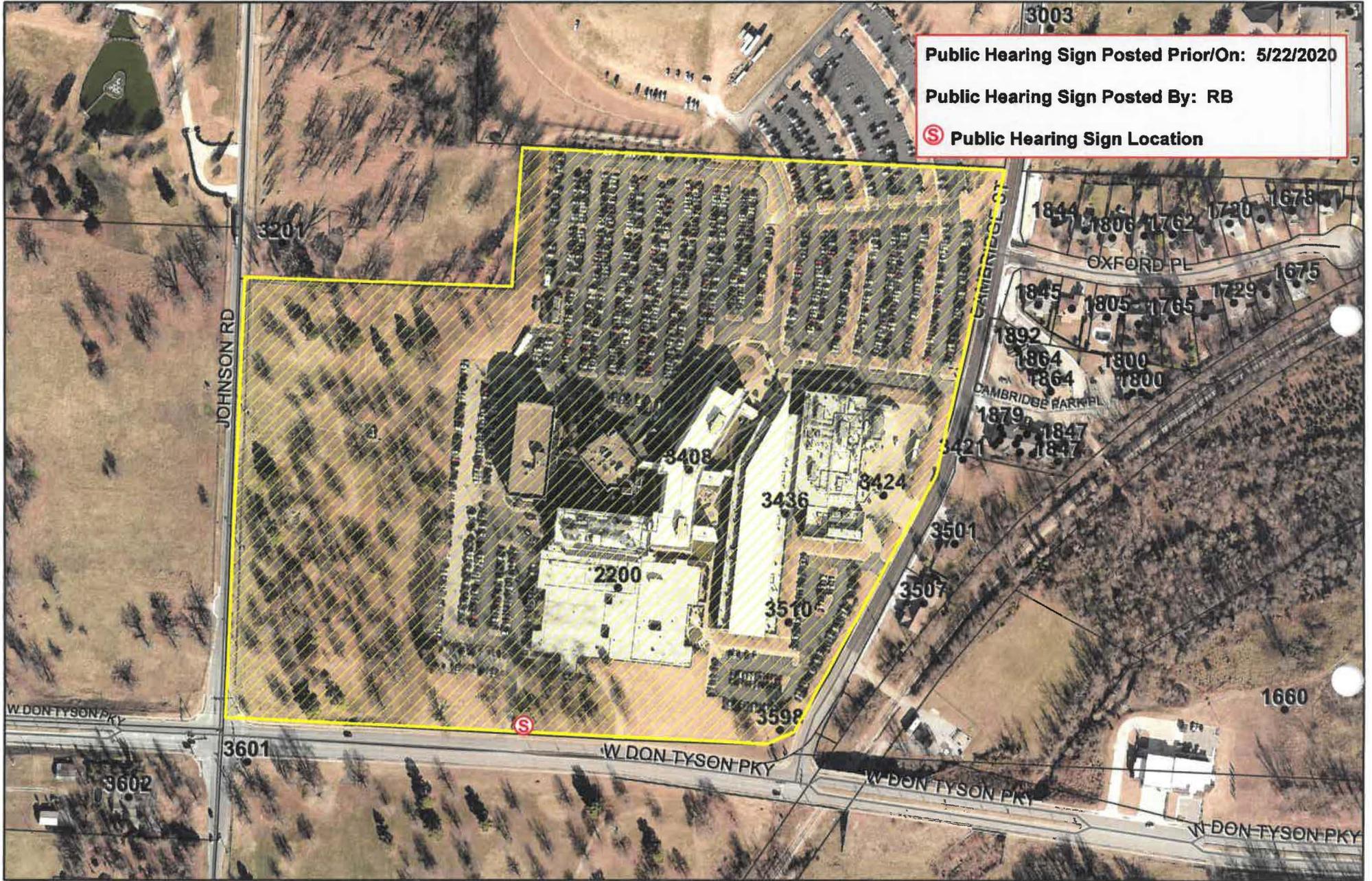


News photos of the sign, taken closer up, would likely include **Tower 3 + Discovery Center** in the background.

Public Hearing Sign Posted Prior/On: 5/22/2020

Public Hearing Sign Posted By: RB

Ⓢ Public Hearing Sign Location



P202



0 60 120 240 360 480
Feet
For Location Reference Only

FILE NO. B20-21
APPLICANT: Tyson Foods, Inc
REQUEST: Variance to allow for
2nd monument sign along Don Tyson Pkwy

PLANNING COMMISSION MEETING
June 2, 2020

Staff Use Only

- Fee Paid (\$75) Cash Check CC
 Warranty Deed
 Authorization of Representation
 Drawing/Photo or Other Exhibit

File # 520-22

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Joshua & Jennifer Foranberry

Applicant's Mailing Address:

3808 Valley View Drive
Street Address or P.O. Box
Springdale, AR 72762
City, State & Zip Code

479-466-7111
Telephone Number

Property Owner's Name
(If different from Applicant): _____

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

City, State & Zip Code

Telephone Number

Address of Variance Request: 3808 Valley View Drive Springdale, AR 72762

Zoning District: A1 Agricultural District

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please contact staff to determine the required setback.

Required: Front: 35' Side: 20' Back: 35'
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: — Side: 10' Back: —
(if granted what the setback would be.)

Variance: Front: — Side: 10' Back: —
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The special conditions are the aesthetic nature, layout, and drainage of the building site. Although this setback is similar to other properties in the area, seemingly it appears that it has not been adhered to in the past or variances were granted.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

The location of the proposed structure would best be served with a 10' setback from the side property line. This would provide ease of access, proper maintenance, optimal drainage, and better blend with the natural landscape of the property.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

I am not requesting a variance after the fact and I have in no way manipulated the natural lay of the land.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

John F. [Signature]
Applicant Signature*

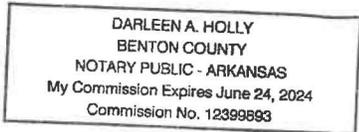
Property Owner Signature*
(If different from Applicant)

Dennis [Signature]
Applicant Signature*

Property Owner Signature*
(If different from Applicant)

**If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas)
) ss.
County of Washington)



SUBSCRIBED AND SWORN TO before me, a Notary Public, this 5th day of May, 2020.

Darleen A Holly
Notary Public





Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
Ⓢ Public Hearing Sign Location



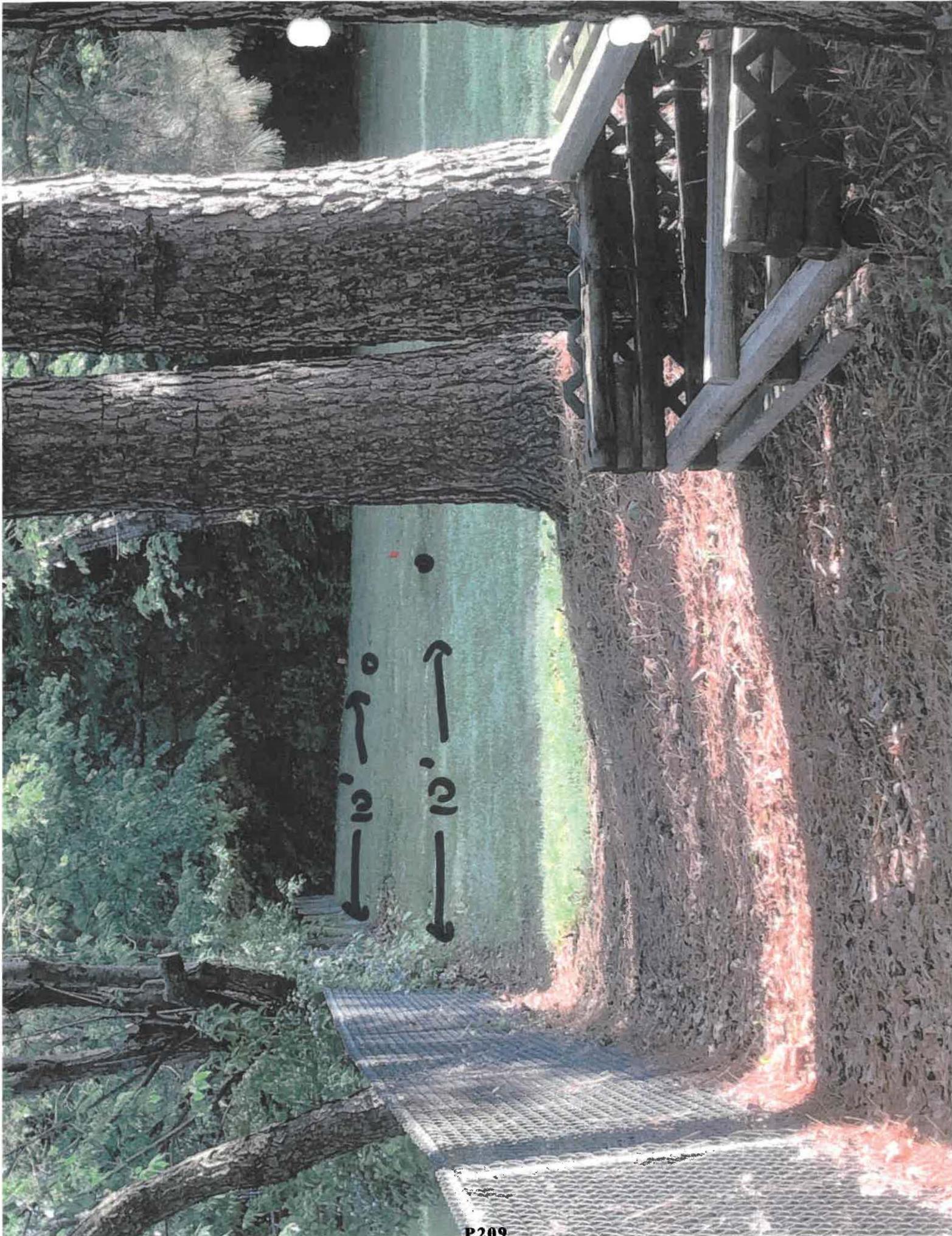
0 30 60 120 180 240

Feet

For Location Reference Only

FILE NO. B20-22
APPLICANT: Joshua & Jennifer Fortenberry
REQUEST: Variance for deviation of setback from 20' to 10'

PLANNING COMMISSION MEETING
June 2, 2020



הנה פתח היציאה
לפינה

Staff Use Only

- Fee Paid (\$75) Cash Check CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File #

B20-23

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Victor Barrios

Applicant's Mailing Address:

618 S. Thompson St.
Street Address or P.O. Box
Springdale, AR 72764
City, State & Zip Code

479-725-2566
Telephone Number

Property Owner's Name
(If different from Applicant): Vick Enterprises, LLC / Victor Barrios

Property Owner's Mailing Address:
(If different from Applicant):

Street Address or P.O. Box

City, State & Zip Code

Telephone Number

Address of Variance Request: 225 Stephen St. Springdale, AR 72762

Zoning District: SF-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: 22 Side: 30 Back: 10
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 14 Side: 30 Back: 10
(if granted what the setback would be.)

Variance: Front: 8 Side: 0 Back: 0
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

To build a house we need to reduce the front setback on Stephens from 22 ft to 14 ft. There
is a requirement by the city that we can no longer build less than 24 ft wide. If granted,

the house to be built will be at the same direction with the neighbors. Same setbacks.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

Lot is smaller than county records show.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

none

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

Originally, we had been informed subject lot is actually bigger. Based on that

information from county records & real estate. We then requested a variance of

which we obtained. City inspector then requested a survey. Survey came out showing

smaller dimensions than these records.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.


Applicant Signature*


Property Owner Signature*
(If different from Applicant)

Applicant Signature*

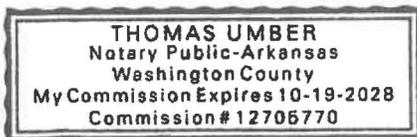
Property Owner Signature*
(If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
) ss.
County of Washington)

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 5th day of May, 2020.

 Thomas Umber
Notary Public





Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
Public Hearing Sign Location

P214

FILE NO. B20-23
APPLICANT: Vick Enterprises, LLC/Victor Barrios
REQUEST: Variance for deviation of setback on Stephens St from 22' to 14'

PLANNING COMMISSION MEETING
June 2, 2020

0 15 30 60 90 120 Feet
For Location Reference Only

Staff Use Only

- Fee Paid (\$75) Cash Check CC
 Warranty Deed
 Authorization of Representation
 Drawing/Photo or Other Exhibit

File #

B2024

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

APPLICATION FOR VARIANCE
ZONING BOARD OF ADJUSTMENT
SPRINGDALE PLANNING COMMISSION
CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: DUSTIN & CHRISTA HUMPHREY

Applicant's Mailing Address:

3929 ORLEANS

4792254820

Street Address or P.O. Box

Telephone Number

SPRINGDALE AR 72762

City, State & Zip Code

Property Owner's Name

(If different from Applicant): _____

Property Owner's Mailing Address:

(If different from Applicant): _____

Street Address or P.O. Box

Telephone Number

City, State & Zip Code

Address of Variance Request: 3929 ORLEANS AVE

Zoning District: _____

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: _____ Side: 8' Back: _____
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: _____ Side: 5' Back: _____
(if granted what the setback would be.)

Variance: Front: _____ Side: 3' Back: _____
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Putting in a pool. Pool will be 6 ft.
from property line need variance to
be 5 ft. not 10 ft.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):

Only section of yard that
does not have utility line and
space needed to put in pool.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):

It would not impede
on neighbors property or hinder
natural rights commonly enjoyed
by other properties.

3. That the special conditions and circumstances do not result from the actions of the applicant. Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):

Without approval
there is no space for a pool
on the property

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.


 Applicant Signature*
 Christina Blumpp
 Applicant Signature*

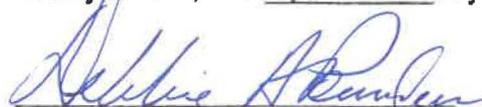
 Property Owner Signature*
 (If different from Applicant)

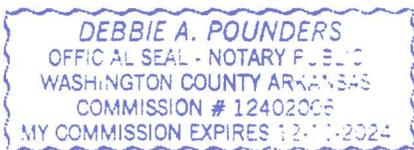
 Property Owner Signature*
 (If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
 County of Washington) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 12 day of May, 2020.


 Notary Public





Public Hearing Sign Posted Prior/On: 5/22/2020
Public Hearing Sign Posted By: RB
Ⓢ Public Hearing Sign Location



0 25 50 100 150 200
Feet
For Location Reference Only

FILE NO. B20-24
APPLICANT: Dustin & Christa Humphrey
REQUEST: Variance for deviation of rear setback from 8' to 5'

PLANNING COMMISSION MEETING
June 2, 2020



Mark Testerman

BURTON CONSTRUCTION, LLC.



- 6121 South Zero St. – Fort Smith, AR 72903 – (479) 648-3483
 - 725 S. 48th St. – Springdale, AR 72762 – (479) 756-5511
- www.burtonpools.com

CUSTOMER: DUSTIN AND CHRISTA HUMPHREY PHONE: EMAIL:
 ADDRESS: 3929 ORLEANS AVE PHONE: EMAIL:
 CITY: SPRINGDALE STATE: AR ZIP: 72762

POOL INFORMATION:

SITE:

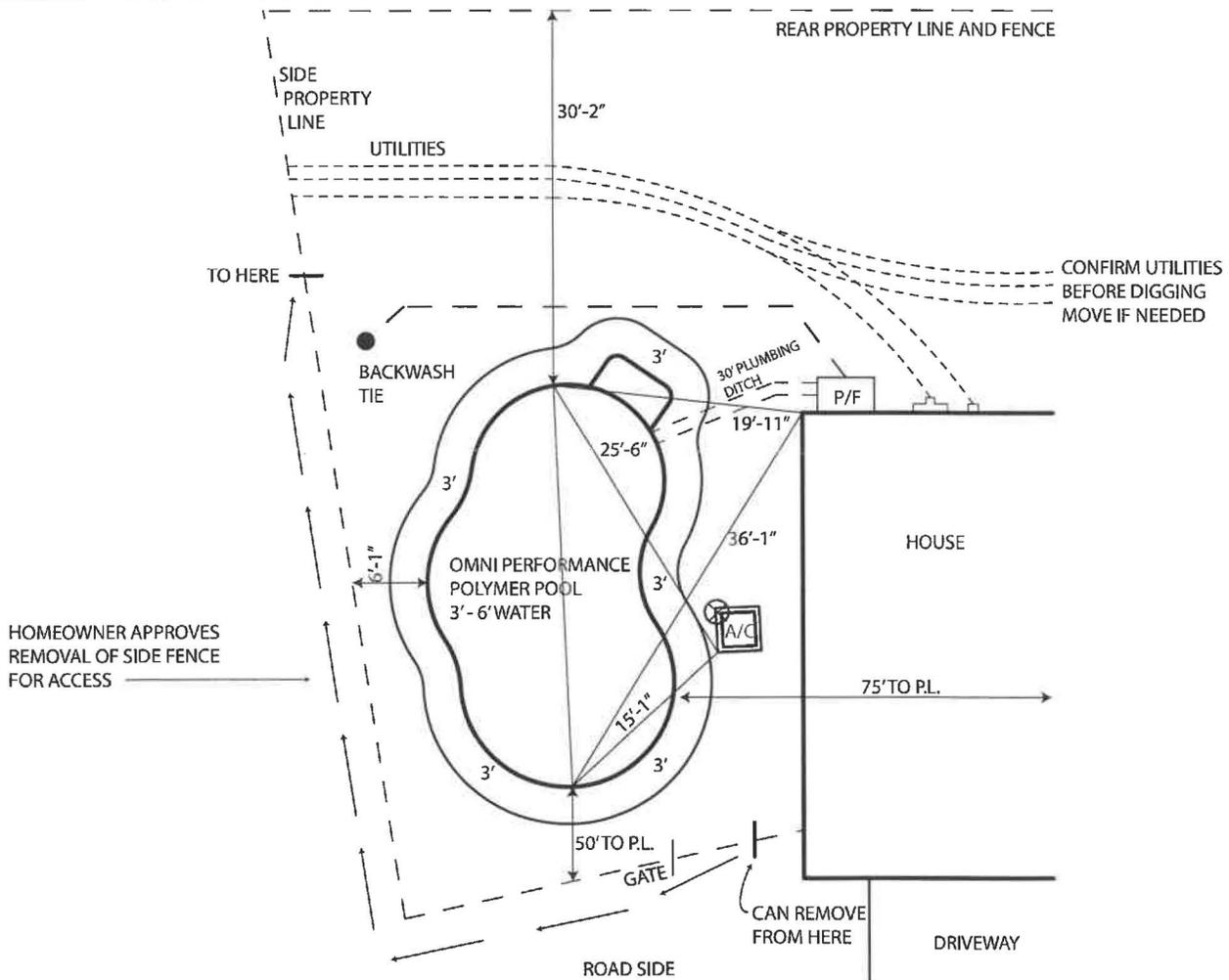
FALL: _____ AMOUNT OF FALL
 REMOVE FILL LEAVE FILL
 COPING HEIGHT 4" ABOVE HUB
 HUB LOCATION (POOL HOUSE PAD = 2" ABOVE)

DRAWING KEY

*NOT TO SCALE

- | | | |
|----------------------|--------------|----------------|
| ● Umbrella Anchor | ⊗ LED Lights | ⊙ Well Point |
| ● Waterfall Plumbing | ⊠ Skimmer | ⊠ Gear Box |
| ⊠ Backwash Pop Up | ⊠ Return | ⊠ Diving Board |
| | Waterfall | |
| | ⊗ HUB | |

OTHER: HOMEOWNER UNDERSTANDS BURTON'S WILL TAKE FENCE DOWN AND USE TEMP FENCE DURING CONSTRUCTION, AND HOMEOWNER RESPONSIBLE FOR RE-INSTALL AND ANY FENCE DAMAGES. CONFIRM UTILITIES WHERE MARKED, MOVE EQUIPMENT PAD IF REQUIRED.



HOMEOWNER APPROVAL (WITH CHANGES) _____
 Moving pool may result in additional charges.
 HOMEOWNER APPROVAL (ASIS) _____









sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

SETBACK VARIANCES:

Not Applicable

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: 35' Side: 20' Back: 35'
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 0' Side: 20' Back: 35'
(if granted what the setback would be.)

Variance: Front: 35' Side: 0' Back: 0'
(The difference between the "Required" and the "Requested" setback)

VARIANCES OTHER THAN SETBACK:

Not Applicable

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.***

Applicant requests a 35' variance of the 35' front building setback required by ordinance to allow the existing

home to remain in its current location. Variance is for Tract 2 of the Informal Plat of the Griffith property.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

The Applicant must respond to items 1, 2, and 3.

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

A) Special circumstance is the ROW dedication to City of Springdale for the widening and

improvements to S. 56th Street with the new right-of-way line located less than 1 foot from one of

the front corners of the home.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

The right to develop the property.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

ROW dedication occurred at the request/requirement of the City of Springdale to facilitate the

improvements by the City for 56th Street. House was constructed prior to the design of the street

improvements and prior to the need for the additional right-of-way.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Harold Smith
Applicant Signature

Property Owner Signature*
(If different from Applicant)

Mathew Griffith
Applicant Signature*

Property Owner Signature*
(If different from Applicant)

*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas)
County of Washington) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 21st day of May, 2020.



Brenda S. McCamey
Notary Public