

**SPRINGDALE PLANNING COMMISSION  
 COUNCIL CHAMBERS  
 201 SPRING  
 5:00 P.M. JULY 7, 2020  
 Tentative Agenda**

- I. **Pre-Meeting Activities**  
 Pledge of Allegiance  
 Invocation
- II. **Call to Order**
- III. **Roll Call**
- IV. **Approval of Minutes**
- V. **Other**
- A. **Amendment to Code of Ordinance,  
 Chapter 130 to amend Article 6 Section  
 3.16 (5) extensions to Mobile Vending in  
 Downtown Form Based Code District**  
 Presented by Patsy Christie
- VI. **Tabled Items**
- A. **R20-19 Mancia Properties, LLC  
601 N. Thompson  
From C-6 to C-5**  
 Presented by Wilner Dubon
- B. **B20-21 Tyson Foods, Inc.  
2200 Don Tyson Parkway  
Variance for deviation of sign Ordinance**  
 Presented by
- VII. **Public Hearing – Rezoning**
- A. **R20-21 Inez Hernandez, Ana & Antonio Batres  
734 Holcomb  
From O-1 to C-2**  
 Presented by Inez Hernandez
- B. **R20-22 David & Jennifer Wheeler  
1008 W. Maple  
From MF-12 to C-2**  
 Presented by Bill Watkins

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- C. R20-23 NWA Industrial Park, LLC  
853 71 Plaza Court  
From C-6 to C-2  
Presented by Blain Erskine, Gage Edwards, Logan Huber
  
- D. R20-24 Walter Potapov  
2501 Turner  
From SF-2 to MF-12  
Presented by Walter Potapov
  
- E. R20-25 Roque Corral  
4265 N. 40<sup>th</sup> Street  
From A-1 to MF-2  
Presented by Roque Corral
  
- F. R20-26 John Lopez Properties, LLC  
Located between 3550 & 3700 McRay Ave.  
From A-1 to C-2  
Presented by Engineering Services, Inc.

**VIII. Public Hearing - Conditional Use**

- A. C20-12 Arkansas Conference Association of Seventh Day Adventists  
206 Westwood  
Tandem Lot Split  
Presented by Satterfield Land Surveyors
  
- B. C20-14 Soli Dea Gloria, LLC  
5292 Graham Road  
Tandem Lot Split  
Presented by Alan Reid

**IX. Preliminary Plats, Replats and Final Plats**

- A. RP20-06 Replat – Lots 1 & 2 Parkway Plaza  
E. side 56<sup>th</sup> St., W. side of I-49 S. of DTP  
Presented by Engineering Services, Inc.
  
- B. FP20-03 Cottages at the Park  
NW corner of Downum & W. County Line Roads  
Presented by Engineering Services, Inc.

**X. Large Scale Developments**

- A. L20-17 **Las Margaritas Plaza**  
**601 N. Thompson**  
B20-26 **Variance for deviation of offsite parking**  
**Variance for deviation of Commercial Design**  
**Standards – Foundation Landscaping**  
Presented by Morrison Shipley
  
- L20-18 **40<sup>th</sup> Street Commercial**  
**755 N. 40<sup>th</sup> Street**  
B20-33 **Variance for deviation of Commercial Design**  
**Standards (Materials & Colors)**  
Presented by Bates & Associates

**XI. Board of Adjustment**

- A. B20-26 **Mancia Properties,**  
**601 N. Thompson**  
Variance for deviation of offsite parking  
Variance for deviation of Commercial Design  
Standards – Foundation Landscaping  
Presented by Bates & Associates
  
- B. B20-27 **Meyby & Jorge Iraheta**  
**1211-A Crutcher**  
Variance for deviation of fence height  
From 3' to 6'  
Presented by Meyby Iraheta
  
- C. B20-28 **Feliciano & Medin Moran**  
**1211-B Crutcher**  
Variance for deviation of fence height  
From 3' to 6'  
Presented by Meyby Iraheta
  
- D. B20-29 **Richard & Janet Harris**  
**1082 Oak Grove Road**  
Variance for deviation of side setback  
From 20' to 5'  
Presented by Richard or Janet Harris
  
- E. B20-30 **KD Hill**  
**Variance for deviation of side setback from**  
**20' to 13'**  
Presented by David Hodges

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- F.    **B20-31**        **Daniel & Juana Lemus**  
                           **506 Zachary**  
                           **Variance** for deviation of from setback from  
                           30' to 13.7'  
                           Presented by Bill Oliver
  
- G.    **B20-32**        **Buddy & Jamie Philpot**  
                           **2735 Jean Street**  
                           **Variance** for deviation of side setback from  
                           8' to 6.5'  
                           Presented by Engineering Services, Inc.
- H.    **B20-33**        **McLeod & Smyth, LLC**  
                           **755 N. 40<sup>th</sup> St.**  
                           **Variance** for deviation of Commercial Design  
                           Standards (Materials & Colors)  
                           Presented by Bates & Associates
  
- I.    **B20-34**        **Josan Gurmeet**  
                           **772 S. 48<sup>th</sup> Street**  
                           **Variance** for deviation of Commercial  
                           Design Standards (architectural features)  
                           Presented by Bates & Associates
  
- J.    **B20-35**        **Larry Gibson**  
                           **2600 Truitt Lane**  
                           **Variance** for deviation of fence height from  
                           6' to 14'  
                           Presented by Larry Gibson

**XII. Waivers**

- A.    **W20-07**        **Burckart Construction Inc.**  
                           **Lot 11 Sunset Ridge**  
                           **Waiver** of sidewalk requirement  
                           Presented by Yvonne Blalock
  
- B.    **W20-08**        **KD Hill**  
                           **3543 Monitor Road**  
                           **Waiver** of sidewalk requirement  
                           Presented by David Hodges
  
- C.    **W20-09**        **Edgar Barrios**  
                           **8300 W. Gibbs Road**  
                           **Waiver** of sidewalk requirement  
                           Presented by Edgar Barrios

**XIII. Planning Director's Report**

**XIV. Adjourn**

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The Springdale Planning Commission met in regular session on Tuesday, June 2, 2020 at 5:00 p.m. in Council Chambers. It should be noted at this time that the meeting was via Zoom.

Prior to the meeting being called to order Chairman Kevin Parsley led the Pledge of Allegiance and Commissioner Roy Covert gave the invocation.

The meeting was called to order at 5:04 p.m. by Chairman Kevin Parsley.

Roll call was answered by:

Howard Austin (Zoom)  
 Gary Compton (physically present)  
 Roy Covert (physically present)  
 James David (physically present)  
 Shannon Mueller (Zoom)  
 Kevin Parsley (physically present)  
 Payton Parker (Zoom)  
 Ben Peters (Zoom)  
 Dale Tyler (physically present)

Also physically present were Patsy Christie, Director of Planning and Community Development, Rick Barry Senior Planner. Assistant City Attorney, Sarah Sparkman, was present via Zoom.

Commissioner Gary Compton moved to approve the May 5, 2020 minutes. Commissioner Ben Peters seconded the motion. By a voice vote of all ayes and no nays the May minutes were approved by a unanimous vote.

Tabled Items

- A. W20-06 Cammie Scott  
8780 E Brown Road  
 Waiver of sidewalk requirement  
 Presented by Cammie Scott

Ms. Scott was present to answer any questions or comments.

Ms. Christie said she normally doesn't recommend waivers of sidewalks; however, in this area there are no plans for street improvements and there are no other sidewalks there.

Mr. Parsley asked if there are those that have questions or comments.

There were none.

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Mr. Covert moved to recommend to Council to grant the waiver. Mr. Compton seconded the motion.

**VOTE:**

**YES:** Austin, Compton, Covert, David, Mueller, Parker, Parsley, Peters, Tyler

**NO:** None

The motion to forward to Council with a recommendation for approval was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution to go to Council on Tuesday, June 23, 2020 at 6:00 p.m.

- B. L20-11 Williams Tractor  
South of Don Tyson Parkway  
East side of I-49
- B20-18 Variance of deviation of Commercial Design Standards  
Presented by Expedient Civil Engineering, PLLC

Mr. Jason Ingalls with Expedient Civil Engineering was present on behalf of his client to answer any questions or comments. He said that he thought they had addressed all the issues at the work session and he would be glad to address any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie said that they have a variance to allow an area to remain gravel and it has been identified on the plans. She further stated that they asked for a variance of building materials and the long distances of the walls that don't have breaks. She said as far as the landscaping, they are using the same amount that would be required for the foundation landscaping by placing them in various locations. She said on the sidewalk on 48<sup>th</sup> Street instead of building it as a separate, they are going to widen the actual drive and stripe an area for pedestrians or bikers to use.

There were no Engineering comments. Ms. Hollingshead said that all drainage had been addressed and they are good to go.

Ms. Christie read the Staff comments.

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).

4. This development has been given the number L20-11. This number should be placed on the plans and all future correspondence and plats pertaining to this development.  
(standard comment)
5. Chain link with vinyl slatting as shown on the Eastern property line is not an acceptable fencing per ordinance.
6. Shown gravel area exceeds the maximum acreage (.5) allowed within the existing C-5 zoning. (Roughly 4.5 acres as shown.) (Variance Item)

**Commercial Design Comments**

1. Continuous internal pedestrian walkways, no less than five (5) feet in width, shall be provided from the public sidewalk or right-of-way to the principal customer entrance of all principal buildings on the site. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building and store entry points, and shall feature adjoining landscaped areas that include trees, shrubs, benches, flower beds, ground covers, or other such materials for no less than fifty (50) percent of their length. (Variance Item)

**Commercial Design (Architectural)**

1. Developments with façade over one hundred (100) feet in linear length shall incorporate wall projections or recesses a minimum of three (3) foot depth and a minimum of twenty (20) contiguous feet within each one hundred (100) feet of façade length and shall extend over twenty (20) percent of the façade. Developments shall use articulating features such as arcades; display windows, entry areas, or awnings along at least sixty (60) percent of the façade. (Variance Item)
2. No building foundation landscaping shown. (Variance Item)
3. Building façades shall include a repeating pattern that shall include no less than three (3) of the elements listed below. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than thirty (30) feet, either horizontally or vertically.
  - o Color change
  - o Texture change
  - o Material module change
  - o Expressions of architectural or structural bay through a change in plane no less than twelve (12) inches in width, such as an offset, reveal, or projecting rib. (Variance Item)
4. Roof lines shall be varied with a change in height every one hundred (100) linear feet in the building length. Parapets, gable roofs, high roofs, or dormers shall be used to conceal flat roofs and roof top equipment from public view. Alternating lengths and designs may be acceptable and can be addressed during the development plan. (Variance Item)
5. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following:
  - o Smooth-faced concrete block
  - o Tilt-up concrete panels
  - o Pre-fabricated steel panels (Variance Item)

**Engineering Comments**

**Chapter 106 – Stormwater Drainage**

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- Note on site plan the 100 year water surface elevation for detention ponds and drainage swales
- All piping in right of way and easements must be reinforced concrete
  - detention outlets should use RCP
- The maximum allowable length for sheet flow shall be 100 feet unless there is documented engineering justification to use a longer length

**1. Chapter 107 – Stormwater Pollution**

*(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)*

- **107.1** - Show & Label all temporary construction stockpiles, parking, entrances, egress, roads, or access as **"Temporary"** on the Grading or Erosion Control Plan.
  - **Include the word "Temporary" on all constructions items that are intended to be removed at the completion of the project.**
- **107.3**
  - The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
  - Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.
- **107.3** - The following note is required as a General Note on the Site Plan:  
 "Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:
  - a) development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
  - b) the disturbed soil area is observed to have 80% grass coverage and 100% stability, and
  - c) No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
  - d) Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
  - e) all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site."

- **Please include the entire note, including a-e.**

**2. Chapter 112 – Subdivisions**

*(Code 1973, § 30-1)*

- ~~112.4~~ ~~Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.~~
  - ~~○ The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.~~

- Label all lights as Proposed or Existing
- ~~Show the direction of the mast arm~~
- ~~Show the size and type of lights based on the location and classification of the street~~
- ~~Add note to determine if the light is designed for area parking lot lights or as a street illuminator~~
- Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing

**3. Chapter 130 – Zoning Ordinance**

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
  - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
    - **This note is left in place throughout the design process to insure that access is maintained.**

**4. Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
  - **Set monuments at all property corners**
  - **Silt fence may not hold on steep slopes?**
  - **Will the ingress/egress easement remain?**
  - **Is there an existing road in the easement?**
  - **Show storm sewer on the site plan.**
  - **Stop Sign at exit.**
  - **The drive is steep, may consider using concrete instead of asphalt.**
  - **Legend shows existing fence to be chain-link? If not, what is the symbol shown represent?**
  - **Has this amount of impervious surface been approved?**
  - **Where are the proposed parking area lights?**
  - **Label curb and gutter.**
  - **Screening when adjacent to residential.**
  - **Spot elevations needed I parking area.**
  - **Any fire lane/no parking?**
  - **Label the R.O.W.**
  - **Show the ditch section along road.**

- Describe the ditch on the grading plan-1, existing proposed?
- F.L. elevations for all storm water pipes.
- Label all pipe and show the F.E.S.
- Show the storm water pipe profiles.
- Describe discharge pipe exit pad.
- Distance appears to be too far in-between inlets.
- Sod to the 100 year line, minimum in detention ponds.
- Show the drainage easement for ponds and piping.
- What are the entrances into the gravel storage area made of? It shows a turning radius but made of gravel, is there curb and gutter?
- 

Mr. Parsley asked if there were those in the viewing and/or listening audience with questions or comments.

Mr. Parker asked that Mr. Covert repeat what he had said at the work session regarding the paving.

Mr. Covert explained that the type of machinery on this property, if you have ever been around hot asphalt when tractor trailers turn on it rips the asphalt to pieces and it costs a great deal of money to maintain that type of paving. He said he didn't feel that it was financially responsible for the Commission to ask a property owner to do that.

Ms. Christie added that they have increased the depth of the gravel that they will be laying for the parking.

Mr. Covert called for the vote on the variance.

**VOTE:**

- YES:** Compton, Covert, David, Mueller, Parker, Parsley Peters, Tyler, Austin
- NO:** None

The variance was approved by a unanimous vote.

Mr. Peters moved to approve the large scale development subject to Staff comments. Mr. Compton seconded the motion.

**VOTE:**

- YES:** David, Mueller, Parker, Parsley, Peters, Tyler, Austin, Compton
- NO:** None

It should be noted that Mr. Covert had to leave the table for a few minutes and did not vote.

The large scale was approved subject to Staff comments by a unanimous vote.

- C. B20-20 Kent McJunkin  
1904 Carrie Place  
Presented by John Connley

This item was tabled as there were insufficient documents to proceed with the request. Mr. McJunkin will have to re-apply if he wants to pursue this request.

Public Hearing – Rezoning

- A. R20-16 Arkansas Granite & Marble, LLC  
2300 Turner  
From C-5 to I-2  
Presented by Armando Carrillo

Mr. Carrillo's sister, Rosa, was with him to answer any questions or comments regarding this rezoning request. She said they had hoped to turn the site into an event center, however, because of the high cost to do so they were unable to do so. She said that they would like to rezone it to Industrial so they could do a warehouse of some type of shop to rent.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates Light Industrial/Warehouse use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Encourage the development of industries that further diversify and stabilize the City's economic base that are compatible to the labor force, raw materials and industrial climate and provide space for new and expanding high technology industries with low environmental impact.

Assure adequate land allocation for industrial growth protected from encroachment by non-industrial use.

She also pointed out the most of the surrounding property was some type of industrial zoning. She said they could possibly downgrade their request to an I-1 zone.

Rosa said they just want to rent it out; perhaps for an auto shop for repairs.

Ms. Christie said that if they remain with the I-2 automotive services are not allowed. However; if they downgrade to an I-1 then automotive services would be allowed as well as Trades and Services, i.e. plumbing, electrical, those types of businesses. She said they are limiting themselves with an I-2 zone.

Rosa said that they want to downgrade to the I-1 zone.

Mr. Parsley asked if there were those in the viewing/listening audience with questions or comments.

There were none.

Mr. Compton called for the vote.

**VOTE:**

**YES:** David, Mueller, Parker, Parsley Peters, Tyler, Austin, Compton, Covert

**NO:** None

The rezoning request was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, June 23, 2020 at 6:00 p.m. in Council Chambers.

- B. R20-17 C.L. George & Sons  
West of Gene George Blvd.  
South side of W. Sunset  
From A-1 to C-5  
 Presented by McClelland Consulting Engineers, Inc.

Mr. Nathan Streett with McClelland Consulting Engineers, Inc. was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates Regional Commercial use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Encourage the development of regional commercial areas that accommodate a variety of wholesale, retail, service and office uses where the highest traffic volumes and greatest utility demands can be served and more extensive outdoor display of materials will be expected and permitted that has frontage and or access to I-49

Mr. Parsley asked if there were those in the viewing audience that had questions or comments.

There were none.

Mr. Peters called for the vote.

**VOTE:**

**YES:** Parker, Parsley, Peters, Tyler, Austin, Compton, Covert, David, Mueller

**NO:** None

The rezoning request was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, June 23, 2020 at 6:00 p.m. in Council Chambers.

- C. R20-18      Eden & Lizbeth Tanguma  
3545 Julio Road  
From A-1 to SF-2  
Presented by Engineering Services, Inc.

Mr. Brandon Rush with Engineering Services, Inc. was present to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

The adopted Comprehensive Land Use Plan indicates Low Density Residential use.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Protect the positive aspects of neighborhood character throughout the City.  
Assure adequate land allocation for residential purposes by providing lots of adequate size.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.

She also read a letter from an adjacent property owner.

To whom it may concern,

My wife and I live behind the subject property and would like to request a privacy fence to be furnished by the owners to be built behind the 2 new properties, on or close to the back property line. If they cannot provide this then we oppose of this request due to the lot being too small for 2 houses. Also, we oppose it if there is not city sewer for them to hook onto.

Thank you for your time. We regret not being able to make the meeting tonight at 5 pm.

Gary and Sammye Blevins

3251 Clyde Ln.

Springdale, AR 72764

479-530-6147 Gary's cell number

Ms. Christie said that those are not issues but was read for the record.

Mr. Parsley asked if there were those in the viewing audience with questions or comments.

There were none.

Ms. Mueller called for the vote.

**VOTE:**

**YES:** Mueller, Parker, Parsley, Peters, Tyler, Austin, Compton, Covert, David

**NO:** None

The rezoning request was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Ordinance that will go to Council on Tuesday, June 23, 2020 at 6:00 p.m. in Council Chambers.

- D. R20-19 Mancia Properties, LLC  
601 North Thompson  
From C-6 to C-5  
Presented by Wilner Dubon

This request was tabled by Staff.

- E. R20-20 Harold & Mattie Griffith Family Trust  
Washington County Parcel #815-30894-000  
From A-1 to C-2  
Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present via Zoom to answer any questions or comments. He said that not the whole piece was being rezoned just the 1.3 acres at the north end of 4022 S. 56<sup>th</sup> Street.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

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The adopted Comprehensive Land Use Plan indicates commercial uses.

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Mr. Parsley asked if there were those in the viewing audience with questions or comments.

There were none.

Mr. David called for the vote.

**VOTE:**

**YES:** Parker, Parsley, Peters, Tyler, Austin, Compton, Covert David

**NO:** None

**RECUSE:** Mueller

The rezoning was approved by a vote of eight (8) yes and one (1) recusal.

Ms. Christie stated for the record that Staff would prepare the Ordinance that would go to Council on Tuesday, June 9, 2020 at 6:00 p.m. in Council Chambers.

Public Hearing – Conditional Use

- A. C20-13 Roger Trujillo  
8930 Carrie Smith Road  
Use Unit 14 (Residential Manufactured Housing)  
In an A-1 zone  
Presented by Roger Trujillo

Mr. Trujillo was present to answer any comments or questions. He said that this home would be for his mother to live in.

Ms. Christie asked how many acres he had at this location.

Mr. Trujillo said that he had five acres.

Ms. Christie said that would allow for the Manufactured Home to be there as he only needs 2 acres.

She asked if he had made arrangements to get water to it and also for a septic system.

Mr. Trujillo said yes to both.

Mr. Parsley asked if there were those in the viewing with questions or comments.

There were none.

Ms. Mueller called for the vote.

**VOTE:**

**YES:** Parsley, Peters, Tyler, Austin, Compton, Covert, David, Mueller, Parker

**NO:** None

The Conditional Use was approved by a unanimous vote.

Ms. Christie stated for the record that Staff would prepare the Resolution that will go to Council on Tuesday, June 23, 2020 at 6:00 p.m. in Council Chambers.

Preliminary Plats, Replats, Final Plats

- A. PP20-03 The Crossings  
West of Gene George Blvd.  
South of W. Sunset Ave.  
 Presented by McClelland Engineering

Mr. Nathan Streett with McClelland Engineering was present on behalf of his client to answer any questions or comments.

Mr. Parsley asked for Staff comments.

Ms. Christie read the Staff comments.

**Planning Comments**

1. Provide legal description and parcel number on the cover sheet.

**Engineering Comments**

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

**5. Chapter 112 – Subdivisions**

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
  - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
    - Label all lights as Proposed or Existing
    - Show the direction of the mast arm
    - Show the size and type of lights based on the location and classification of the street
    - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
    - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing
      - **I could not find any notes concerning the lighting.**

**6. Chapter 130 – Zoning Ordinance**

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
  - o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
    - **This note is left in place throughout the design process to insure that access is maintained.**

**7. Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Ms. Christie asked Engineering if they had any issues.

Ms. Katy Hollingshead said they had no issues.

Mr. Parsley asked if there were any questions or comments from the viewing audience.

There were none.

Mr. Covert moved to approve the Preliminary Plat subject to Staff comments. Mr. Tyler seconded the motion.

**VOTE:**

**YES:** Peters, Tyler, Austin, Compton, Covert, David, Mueller, Parker, Parsley

**NO:** None

The Preliminary Plat was approved subject to Staff comments by a unanimous vote.

Large Scale Developments

- A. L20-15      The Peaks at Springdale – Phase II & III  
W. side of N. Thompson, N. of Cooper Dr.  
Presented by Crafton Tull

Daniel Ellis with Crafton Tull was present via Zoom to answer any questions or comments.

Ms. Christie read the Staff comments.

Large-Scale Comments:

- 7. Provide pdf files at time of resubmission. (standard comment)
- 8. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
- 9. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
- 10. This development has been given the number L20-15. This number should be placed on the plans and all future correspondence and plats pertaining to this development.  
(standard comment)

Multi-Family Design Comments

- 1. Bike racks would be a great addition to the project given the size of the campus and the internal walkways.

Engineering Comments

- 1. **Chapter 106 – Stormwater Drainage**  
106.5.4.10\*\* - Easements  
**Drainage easement should be 20' outside 100 year flood pool, double check that there is a full 20' around the entire pond**

**2. Chapter 107 – Stormwater Pollution**

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**

- o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
- o Phasing on larger construction sites 5 acres or more must be utilized to allow only disturbance on near term construction areas. Construction sites requiring cutting and filling must be seeded once the cutting and filling activity is finished.

**3. Chapter 130 – Zoning Ordinance**

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.

- o Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
  - **This note is left in place throughout the design process to insure that access is maintained.**

**4. Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.

**Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review. Comments from the Large Scale Inspector will be provided in a future round of comments.

Ms. Hollingshead with Engineering said that there were no further comments.

Mr. Parsley asked if there were those in the viewing audience that had questions or comments.

There were none.

Mr. Covert moved to approve the Phasing of the project subject to Staff comments. Ms. Mueller seconded the motion.

**VOTE:**

**YES:** Tyler, Austin, Compton, Covert, David, Mueller, Parker, Parsley, Peters

**NO:** None

The motion was approved subject to Staff comments by a unanimous vote.

Board of Adjustment

- A. B20-21 Tyson Foods, Inc.  
2200 Don Tyson Parkway  
Variance for deviation of Sign Ordinance  
Presented by Heather Chilson

This variance was tabled per Staff.

- B. B20-22 Josh & Jennifer Fortenberry  
3808 Valley View Drive  
Variance for deviation of side setback from  
20' to 10'  
Presented by Josh Fortenberry

Mr. Fortenberry was present to answer any questions or comments. He said he wanted to build a shop building for personal use and the west side of their property in the northwest corner and rather than have the 20' setback as required they would like to have a 10' variance for drainage purposes and reduce the amount of dirt work and for the aesthetics and keep it behind the trees.

Mr. Parsley asked if there were Staff comments.

Ms. Christie said Staff had no comments.

Mr. Parsley asked if there were those in the viewing audience with questions or comments.

There were none.

Mr. Covert called for the vote.

**VOTE:**

**YES:** Austin, Compton, Covert, David, Mueller, Parker, Parsley, Peters  
Tyler

**NO:** None

The variance request was approved by a unanimous vote.

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- C. B20-23 Victor Barrios  
225 Stephen  
Variance for deviation of front setback from  
22' to 14'  
Presented by Victor Barrios

Mr. Barrios was present to answer any questions or comments. He said that he had already gotten one variance for the front setback but because he didn't get it surveyed the overhang was going to encroach on the current setback. He had already poured the footings and was told by Building Inspection that he needed another variance.

Ms. Christie said that this lot had two fronts.

Mr. Barrios said that that was correct.

Ms. Christie asked which street the house would face.

Mr. Barrios said it would face Stephen.

Mr. Parsley asked if there were those in the viewing audience with questions or comments.

There were none.

Mr. Peters called for the vote.

**VOTE:**

**YES:** Compton, Covert, David, Mueller, Parker, Parsley, Peters, Tyler, Austin

**NO:** None

The variance was approved by a unanimous vote.

- D. B20-24 Dustin & Christa Humphrey  
3929 Orleans Avenue  
Variance for deviation of side setback from  
8' to 5'  
Presented by Dustin Humphrey

Mr. Humphrey was present to answer any questions or comments. He said that they wanted to put in a pool.

Mr. Parsley asked for Staff comments.

Ms. Christie asked if Mr. Humphrey verified that he was not in the utility easement.

Mr. Humphrey said there was no utility easement on that side.

Mr. Parsley asked if there were those in the audience with questions or comments.

There were none.

Mr. Covert called for the vote.

**VOTE:**

**YES:** Covert, David, Mueller, Parker, Parsley, Peters, Tyler, Austin, Compton

**NO:** None

The variance was approved by a unanimous vote.

- E. B20-25 Harold & Mattie Griffith Trust  
4022 S. 56<sup>th</sup> Street  
 Variance for deviation of 35' front building setback  
 Presented by Engineering Services, Inc.

Mr. Jason Appel with Engineering Services, Inc. was present via Zoom to answer any questions or comments. He said that with the 56<sup>th</sup> Street widening created a zero setback.

Ms. Christie said that the City created this hardship with the widening of 56<sup>th</sup> Street.

Mr. Covert called for the question.

**VOTE:**

**YES:** David, Parker, Parsley, Peters, Tyler, Austin, Compton, Covert

**NO:** None

**RECUSE:** Mueller

The variance was approved by a vote of eight (8) yes and one (1) recusal.

Planning Director's Report

Ms. Christie said that the amendment to Chapter 112 for the development plan procedures was approved and it will go into effect thirty (30) days after the Council meeting so it will be in effect with the next submission cycle. Council approved the replat of lot 1 & 2 of Hammitt-Eoff Business Center, the Final Plat for Hylton Place Subdivision and the rezoning for the triangle for Williams Tractor and the rezoning for Steve and Kay Kerrington, LLC the MF-12 to the MF-16; the mobile vending was approved and the waiver of street improvements that was submitted on the multi-family project by Chris Elder was tabled at the first meeting because there were some questions about street lights. The City Engineer submitted some additional information to City Council that Staff had not seen about a section of the street just north of the driveway that wasn't improved; he got with the developer's engineer and at this point they have withdrawn the waiver request. She said that as far as she could tell the question of streetlight hasn't been addressed. The next work session will be June 16<sup>th</sup> at 5:30 p.m. She said she has tried to get the City Attorney to do a refresher for the Commission. It will be 15 to 20 minutes to go over any changes that might affect the Commission. She said that she would try to have water and sewer come and talk about their long term plans.

There being no further business, the meeting was adjourned at 6:00 p.m.

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**Kevin Parsley, Chairman**

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**Ben Peters, Secretary**

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**Patsy Christie, Director  
Planning and Community Development Division**

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**Debbie Pounders, Recording Secretary**

That which is underlined is added and that which is stricken through is deleted.

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING ARTICLE 6,  
SECTION 3.16(5) OF THE ZONING ORDINANCE  
OF THE CITY OF SPRINGDALE, ARKANSAS AND  
FOR OTHER PURPOSES.**

**WHEREAS**, Article 6, Section 3.16 of the Zoning Ordinance of the City of Springdale, Arkansas, contains regulations pertaining to mobile vending sites;

**WHEREAS**, Article 6, Section 3.16(5) of the Zoning Ordinance of the City of Springdale, Arkansas, needs to be amended to address mobile vending sites in the Downtown Form Based Code District;

**WHEREAS**, it is in the best interest of the City of Springdale, Arkansas, for the City Council of the City of Springdale, Arkansas, to amend Article 6, Section 3.16(5) of the Zoning Ordinance of the City of Springdale, Arkansas; and

**WHEREAS**, a public hearing was held before the Springdale Planning Commission on July 7, 2020, after notice was given of said hearing as required by law.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL  
FOR THE CITY OF SPRINGDALE, ARKANSAS:**

**Section 1:** Article 6, Section 3.16(5) of the Zoning Ordinance of the City of Springdale, Arkansas, is hereby amended to read as follows:

5. Exemptions. The provisions of this chapter do not apply to:
- a. Goods, wares, or merchandise temporarily deposited on the sidewalk in the ordinary course of delivery, shipment or transfer;
  - b. The placing and maintenance of unattended stands or sales devices for the sale, display or offering for sale of newspapers, magazines, periodicals and paper bound books;
  - c. The distribution of free samples of goods, wares and merchandise by any individual from his person;
  - d. Farmers and growers selling fruits and vegetables which they have grown, provided these products are sold on parking lots where the owner has granted permission;
  - e. Charitable organizations, such as Girl Scouts, Boy Scouts, on the property of another, so long as the owner

including but not limited to Rodeo of the Ozarks, City approved events at Shiloh Square, or city wide celebrations, and festivals taking place within a specifically defined area of the city for a period of time not to exceed five (5) days;

g. Mobile vendors operating in the area as the Downtown Form Based Code District and noted on the official zoning map referred to in Article 3 Sec 3 so long as the mobile vending unit is located totally within property owned, occupied, or leased by the operator. Applications for the operation of a mobile vending in this designated area shall be submitted and approved by the Events Committee of the Downtown Springdale Alliance.

**Section 2:** All other provisions of Article 6, Section 3.16 of the Zoning Ordinance of the City of Springdale, Arkansas, not specifically amended by this Ordinance shall remain in full force and effect.

**Section 3: Emergency Clause.** It is hereby declared that an emergency exists and this ordinance being necessary for the preservation of the health, safety and welfare of the citizens of Springdale, Arkansas, shall be effective immediately upon its passage and approval.

**PASSED AND APPROVED** this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Doug Sprouse, Mayor

ATTEST:

\_\_\_\_\_  
Denise Pearce, City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Ernest B. Cate, City Attorney

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-19 Rezone

A request by Mancia Properties for Planning Commission approval of a zone change from Large Product Retail Sales (C-6) to Thoroughfare Commercial District (C-5) for a tract of land containing 1.14 acres.

## LOT LOCATION AND SIZE

The 1.14 acre tract is located at 601 N. Thompson Street, east side of Thompson, north of Oak Avenue

A vicinity map is attached.

## EXISTING ZONING

The existing zoning for this tract is a C-6 Large Product Retail Sales District. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, are automobile and other vehicular service establishments. The C-6 district is also intended to provide a location for the limited amount of merchandise, equipment and material being offered for retail sale that, because of the type of material or transportation requirements, is suitable for display and storage outside the confines of an enclosed building. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping centers since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

## **DEVELOPMENT CRITERIA**

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.

- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-6 large product retail sales.
  - a. Except as provided in Use Unit 43: Automobile Sales-Damaged Vehicles, automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
  - b. No permanent open display will be permitted on sidewalks, or public right-of-way.
  - c. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
  - d. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- v. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-6 district a site plan review shall be required. See article 2, section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-6 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback	0
(subject to applicable fire and building codes)	

Side setback when contiguous to a residential district 20'  
Rear setback 20'

### **GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, or a minimum of ten percent of the total surface area of the lot or development.

### **OFF-STREET PARKING**

See Article 7 of this chapter.

### **REQUESTED ZONING**

The requested zoning of this tract is a C-5 thoroughfare commercial district. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, transient sleeping accommodations, and eating and drinking establishments. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping center since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

Uses permitted: - 1, 4, 5, 16, 17, 18, 19, 20, 21, 22, 27, 31, 38

Conditional Uses Permitted on Appeal: - 2, 3, 12, 23,24, 30, 33, 35

Temporary Uses: - 32

### **DEVELOPMENT CRITERIA**

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.
- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that is cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-5 open display district:
  - b. Automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
  - c. No permanent open display will be permitted on sidewalks, or public right-of-way.
  - d. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.

- e. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- i. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-5 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-5 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

**SETBACKS:**

Front setback	30'	
Front setback if parking is allowed between R-O-W and the building	50'	
Side setback	0	(subject to
applicable fire and building codes)		
Side setback when contiguous to a residential district	20'	
Rear setback	20'	

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a commercial use. The area to the north contains a commercial use in C-5 zoning. The remaining areas surrounding the tract contains commercial uses in C-2 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Commercial use.

The Master Street Plan indicates Thompson Street as a principal arterial and Oak Street as a local street.

## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

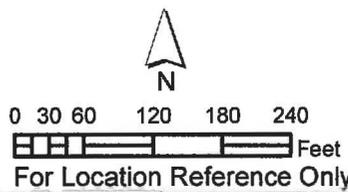
Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location



**FILE NO. R20-19**  
**APPLICANT: Mancia Properties, LLC**  
**REQUEST: Rezone parcel from C-6 to C-5**

PLANNING COMMISSION MEETING  
July 7, 2020

File No. \_\_\_\_\_

R20-19

## PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by \_\_\_\_\_

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

**FROM** (current zoning) C-6

**TO** (proposed zoning) C-5

The **Petitioner's** immediate intentions are to:

1. **Sell** the property No (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title No (Yes or No).
2. **Develop** the property Yes (Yes or No), and if so, the proposed use is C-5 Thoroughfare Commercial District.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: Mixed use development as previously proposed.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Wilner Dubon

Address: 5214 W. Village Parkway, Rogers, AR 72756

**PETITIONER/OWNER SIGNATURE**

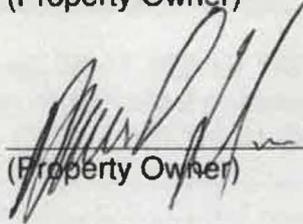
MAILING ADDRESS: 2021 W. Sunset Ave, Springdale, AR 72764

TELEPHONE: 479.419.9454 DATE: 05.13.20

# VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

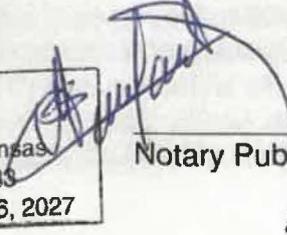
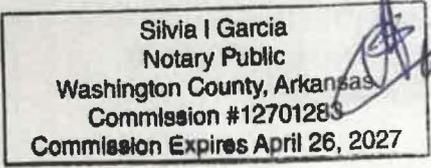
**SIGNATURE**  
(Property Owner)

  
\_\_\_\_\_  
(Property Owner)

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State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 13<sup>th</sup> day of May, 2020.

  
**Silvia I Garcia**  
Notary Public  


Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B2021

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: TYSON FOODS, INC. #815-29221-000

Applicant's Mailing Address:

2200 Dow Tyson Pkwy  
Street Address or P.O. Box  
SPRINGDALE, AR 72762  
City, State & Zip Code

479-290-4621  
Telephone Number

Property Owner's Name  
(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:  
(If different from Applicant): \_\_\_\_\_

\_\_\_\_\_  
Street Address or P.O. Box

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
City, State & Zip Code

Address of Variance Request: 2200 DTP

Zoning District: C-2

**The following information should be attached to this application:**



1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

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sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(If granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

ADD AN ADDITIONAL SIGN TO THE FRONT / SOUTH SIDE OF WHQ, FOR A TOTAL OF TWO MONUMENT SIGNS.

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):

THIS IS TO IDENTIFY THE TYSON WING  
WHEN ARRIVING FROM EITHER THE EAST  
OR WEST.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):

WAYFINDING INTO OUR CAMPUS  
PARKING LOT

3. That the special conditions and circumstances do not result from the actions of the applicant. Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):

DUE TO TERRAIN & TREES YOU  
CANNOT SEE THE CAMPUS SIGN  
FROM ONE DIRECTION

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

P 38

  
 \_\_\_\_\_  
 Applicant Signature\*

\_\_\_\_\_  
 Property Owner Signature\*  
*(If different from Applicant)*

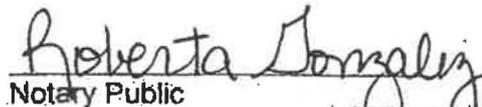
\_\_\_\_\_  
 Applicant Signature\*

\_\_\_\_\_  
 Property Owner Signature\*  
*(If different from Applicant)*

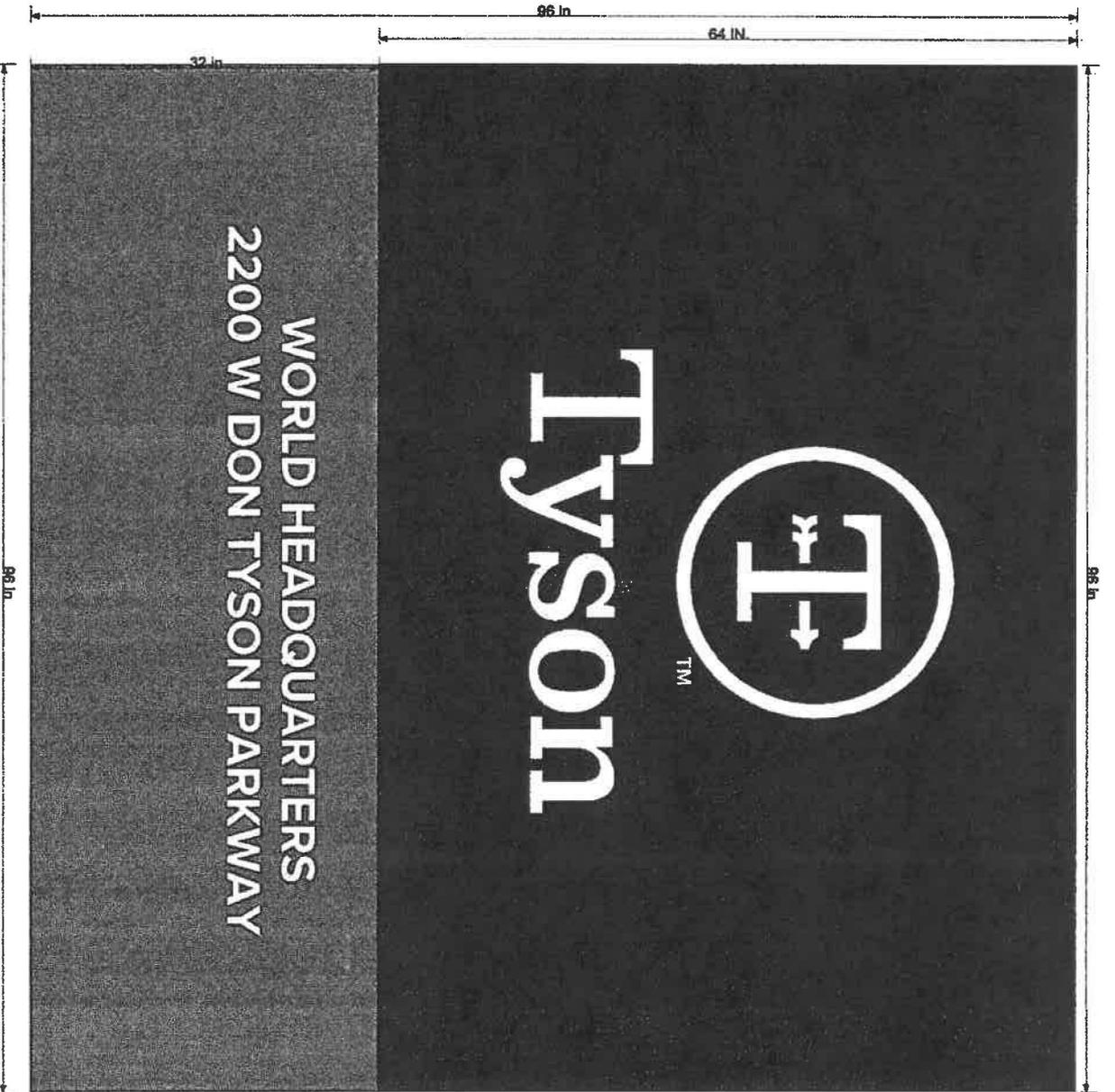
*\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas )  
 ) ss.  
 County of Washington

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 8<sup>th</sup> day of May, 2020.

  
 Notary Public

ROBERTA GONZALEZ  
 WASHINGTON COUNTY  
 COMMISSION NO. 12377960  
 NOTARY PUBLIC - ARKANSAS  
 MY COMMISSION EXPIRES 7-23-2020



**VIEWED FROM FRONT AND BACK**

The sign will have external LED illumination  
The bottom section will be solid concrete and  
the top portion will be steel

P39



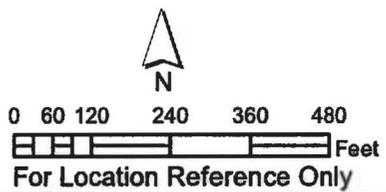
**VIEWED FROM SIDE**

## East Monument Sign: Location



News photos of the sign, taken closer up, would likely include **Tower 3 + Discovery Center** in the background.

Public Hearing Sign Posted Prior/On: 5/22/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location



**FILE NO. B20-21**  
**APPLICANT: Tyson Foods, Inc**  
**REQUEST: Variance to allow for**  
**2nd monument sign along Don Tyson Pkwy**

PLANNING COMMISSION MEETING  
June 2, 2020

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-21 Rezone

A request by Inez Hernandez, Ana and Antonio Batres for Planning Commission approval of a zone change from Neighborhood Office District (O-1) to General Commercial District (C-2) for a tract of land containing .76 acres.

## LOT LOCATION AND SIZE

The .76 acre tract is located at 734 Holcomb Street, west side of Holcomb Street, south of Quandt Avenue.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning of this tract is an O-1 Neighborhood Office district. The district is designed to provide for an orderly conversion of older structures that are no longer useful, serviceable or desirable in their present uses to office use. It anticipates that office uses will be located in established areas of the city and in close proximity to apartments and other residential uses with limits to a maximum structure size of five thousand (5000) square feet. New construction designed to reinforce existing desirable characteristics of the neighborhood and not detrimental to the continued use of surrounding properties for residential purposes may also be accommodated in this district.

Uses permitted: - 1, 8, 10, 11, 16, 28, 29  
Conditional Uses Permitted on Appeal: - 2, 3, 9, 27

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

1. Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
2. Private greenhouses and horticultural collections.
3. Flower and vegetable gardens.
4. Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an O-1 district a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed two stories.

**AREA REGULATIONS**

a. Residential uses

1. LOT AREA. There shall be a lot area of not less than seven thousand (7,000) square feet for a single family dwelling and twelve thousand (12,000) square feet for a duplex. In addition, there shall be a minimum lot width of not less than sixty (60) feet on a public street at the front setback line for a single family dwelling, and seventy (70) feet on a public street at the front setback line for a duplex. .
2. FRONT SETBACK. There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
3. SIDE SETBACK. There shall be a side setback on each side of the building having a width of not less than ten (10) feet. The side setback shall be subject to applicable fire and building codes.
4. REAR SETBACK. There shall be a rear setback having a depth of not less than twenty (20) feet.

1. Office Uses

(1) SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback (subject to applicable fire and building codes)	10'
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot (nonresidential use only) shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

## REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

## ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

## SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

## HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

## AREA REGULATIONS

### SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

## GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

### OFF-STREET PARKING

See Article 7 of this chapter.

### SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling and an accessory structure previously used as a bakery. The area to the north and south contains single family dwellings in SF-2 zoning. The railroad track is to the east with single family dwellings along Turner Street in C-2 zoning. The area to the south contains a single family dwelling in O-1 zoning. The area to the west contains single family dwelling in SF-2.

### LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Medium Density Residential use.

The Master Street Plan indicates Holcomb as a minor collector.

### STAFF COMMENTS AND RECOMMENDATIONS

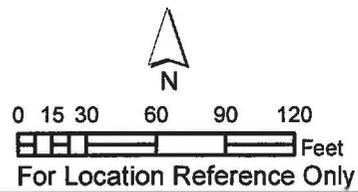
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
S Public Hearing Sign Location



**FILE NO. R20-21**  
**APPLICANT: Ana Inez Hernandez & Antonio Batres**  
**REQUEST: Rezone parcel from O-1 to C-2**

PLANNING COMMISSION MEETING  
July 7, 2020

File No. \_\_\_\_\_

*R2021*

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Inez Y Hernandez, Ana A. Batres and Antonio Batres

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

*Inez Y Hernandez 479.274.0181*

Part of the SE 1/4 of NW 1/4 of Section 1, Township 17 North, Range 30 West, Washington County, Arkansas, described as Beginning at a point 745.75 Feet West and 163 Feet North of the center of the East line of said 40 acre tract, and running thence North 167 feet, thence East 48 feet, thence South 75 feet, thence East of the West line of Holcomb Street, thence South with the West line of Holcomb Street to a point due East of the Beginning point, thence West to the Point of Beginning.

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

**FROM** (current zoning) O-1

**TO** (proposed zoning) C-2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property no (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title \_\_\_\_\_ (Yes or No).
2. **Develop** the property yes (Yes or No), and if so, the proposed use is Snow Cone business.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: \_\_\_\_\_

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Alvarez Y. Hernandez  
Address: 234 Holcomb St Springdale, AR 72764

PETITIONER/OWNER **SIGNATURE** [Signature]

MAILING ADDRESS: 734 Holcomb St, Springdale, AR 72764

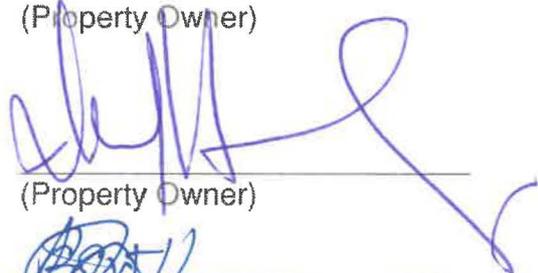
TELEPHONE: 479.274.0181 DATE: 06/09/2020

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# VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

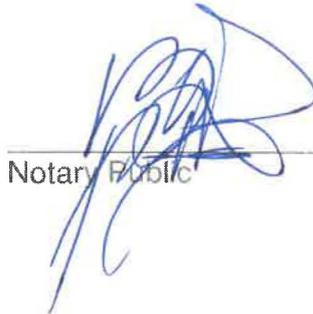
**SIGNATURE**  
(Property Owner)

  
(Property Owner)  
  
Anna A. Bates

State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 9 day of June, 2020.

BIASNHEYV TAORMINO  
Notary Public - Arkansas  
Benton County  
Commission # 12709831  
My Commission Expires Jan 31, 2030

  
\_\_\_\_\_  
Notary Public

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-22 Rezone

A request by David and Jennifer Wheeler for Planning Commission approval of a zone change from Medium Density Multi-family Residential District (MF-12) to General Commercial District (C-2) for a tract of land containing .492 acres.

## LOT LOCATION AND SIZE

The .492 acre tract is located at 1008 W. Maple Avenue, northeast corner of the intersection of W. Maple Avenue and Kansas Street.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning of this tract is a MF-12 Medium Density Multi-family Residential District. The district is established to provide areas for development allowing more units per structure and a higher density. Provides more compact residential development, and promotes more efficient use of land and utilities, and the development of less expensive housing on smaller lots.

Uses permitted: - 1, 8, 10, 11, 13, 29  
Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 12, 28  
Temporary Uses – 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.

- (3) Flower and vegetable gardens.
- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an MF-12 district, except for Use Unit 28 home occupation a site plan review shall be required. See Article 6, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than six thousand (6,000) square feet for a single family dwelling; ten thousand five hundred (10,500) square feet for a duplex; fourteen thousand (14,000) for a triplex; twenty thousand (20,000) for a four-plex and twenty thousand (20,000) plus two thousand five hundred (2,500) for each unit over five. In addition, there shall be a minimum lot width of not less than sixty (60) feet for a one family; seventy (70) feet for a two family; eighty (80) feet for a three family or larger on a public street.
- (2) **DENSITY** - 12 units per acres
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

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	LOT MINIMUMS			SETBACKS				
	Widths		Area	Front	Back	Side		
						Interior	Corner	
							Interior	Exterior
One Family	60		6,000	30	20	8/8	8	30
Two Family	70		10,500	30	20	8/8	8	30
Three Family	80		14,000	30	20	8/8	8	30
Four Family	80		20,000	30	20	8/8	8	30
Four or more families	80		20,000 + 2,500/unit					
Zero Lot Line	60		as above	30	20	16/0	16/0	30
Townhouse	Interior 20	Corner/end 50/28		30	20	8/0	8	30

**BUILDING AREA**

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**OFF-STREET PARKING**

See Article 7 of this chapter.

### LANDSCAPED OPEN SPACE

On any lot, there shall be a minimum of ten (10) percent of landscaped open space in accordance with Article 6 Section 2.16 of this chapter.

### MULTIFAMILY PLAY AREAS

See Article 6 Section 2.17 of this chapter.

### REQUESTED ZONING

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35

Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

### ACCESSORY USES

See Article 6 Section 3.1 of this chapter.

### SITE PLAN REVIEW

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

### HEIGHT REGULATIONS

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

### AREA REGULATIONS

#### SETBACKS:

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

## GREENSPACE

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

## OFF-STREET PARKING

See Article 7 of this chapter.

## SURROUNDING ZONING AND LAND USE

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north and east contain commercial uses in C-2 zoning. The area to the south is Murphy Park and to the west is Springdale High School Campus both in P-1 zoning.

## LAND USE PLAN AND MASTER STREET PLAN

The adopted Comprehensive Land Use Plan indicates Downtown District

The Master Street Plan indicates Maple Avenue as a minor collector and Kansas as a local street.

## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

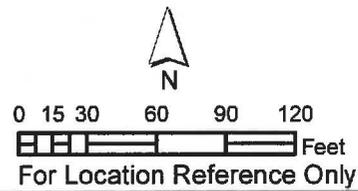
Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.

Promote the viability of older commercial properties as well as new commercial development.



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
S Public Hearing Sign Location



**FILE NO. R20-22**  
**APPLICANT: David & Jennifer Wheeler**  
**REQUEST: Rezone parcel from MF-12 to C-2**

PLANNING COMMISSION MEETING  
July 7, 2020

File No. R20-22

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by David Wheeler and Jennifer Wheeler, H&W

The record property owner(s), petitioning to rezone the following described area:

Legal Description: see attached deed

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Layman's Description: 1008 W. Maple, Springdale

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

**FROM** (current zoning) MF12

**TO** (proposed zoning) C2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property yes (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title yes (Yes or No).
2. **Develop** the property No (Yes or No), and if so, the proposed use is \_\_\_\_\_.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None

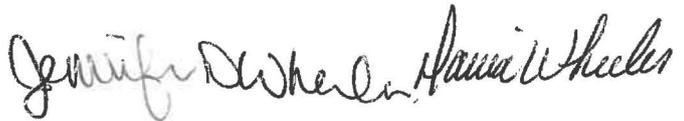
The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Bill Watkins or Will Kellstrom

Address: 1106 W. Poplar Rogers AR 72756

PETITIONER/OWNER **SIGNATURE**



MAILING ADDRESS: 4304 W. Arlington Dr., Rogers AR 72756

TELEPHONE: \_\_\_\_\_ DATE: \_\_\_\_\_

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

on 6.5.2020

<sup>6-5-20</sup>  
David Wheeler David Wheeler  
(Property Owner) on 6.5.2020

<sup>6-5-20</sup>  
Jimmy Hernandez Jimmy Hernandez  
(Property Owner)

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State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 5<sup>th</sup> day of June, 2020.



Jimmy Hernandez  
Notary Public

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-23 Rezone

A request by NWA Industrial Park, LLC for Planning Commission approval of a zone change from Large Product Retail Sales (C-6) to General Commercial District (C-2) for a tract of land containing .86 acres.

## LOT LOCATION AND SIZE

The .86 acre tract is located at 853 71 Plaza Court, southeast corner of the intersection of Thompson Street and 71 Plaza Court.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning for this tract is a C-6 Large Product Retail Sales District. The district is established in order to provide adequate locations for retail uses which serve the needs of the motoring public and are characterized by a high level of vehicular ingress and egress. Among these uses, are automobile and other vehicular service establishments. The C-6 district is also intended to provide a location for the limited amount of merchandise, equipment and material being offered for retail sale that, because of the type of material or transportation requirements, is suitable for display and storage outside the confines of an enclosed building. Such uses are not generally compatible with pedestrian-oriented commercial districts and shopping centers since they tend to obstruct and interfere with pedestrian movement. Appropriate locations for this district are along heavily traveled major traffic arterials.

## **DEVELOPMENT CRITERIA**

- i. All yards unoccupied by buildings or merchandise or used as traffic ways shall be landscaped with grass and shrubs and maintained in an orderly condition.

- ii. All of the lot used for the parking of vehicles, for the storage and display of merchandise shall be paved with a sealed surface pavement and maintained in such a manner that no dust will be produced by continued use.
- iii. All servicing of vehicles and assembly of equipment carried on as an incidental part of the sales operation shall be conducted within a completely enclosed building.
- iv. No article or material stored or offered for sale in connection with the permitted or conditional uses listed herein shall be stored or displayed outside the confines of the building unless it is so screened by a permanent opaque screening fence or wall so that it cannot be seen from an adjoining lot. The following screening and display criteria shall apply to uses located in the C-6 large product retail sales.
  - a. Except as provided in Use Unit 43: Automobile Sales-Damaged Vehicles, automobile, truck, tractor, mobile home, boat or motorcycle sales areas are not required to screen fully assembled merchandise that is ready for sale.
  - b. No permanent open display will be permitted on sidewalks, or public right-of-way.
  - c. Automobile service stations shall be permitted open display of merchandise commonly sold by such operations as long as the area of said display is not taller than the building nor larger than an area equal to one-half of the façade areas of the front of the building.
  - d. Automobile service stations may be used for the storage of rental trucks or trailers, provided, however, the storage space shall be paved, shall not exceed four thousand (4,000) square feet in area and the above screening requirements are met.
- v. There shall be no open display of any kind whatsoever in the first twenty (20) feet of the required front yard setback.

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-6 district a site plan review shall be required. See article 2, section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-6 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

There shall be a minimum lot area of fourteen thousand (14,000) square feet. In addition, there shall be a lot width of not less than one hundred (100) feet.

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W and the building	50'
Side setback	0
(subject to applicable fire and building codes)	

Side setback when contiguous to a residential district 20'  
Rear setback 20'

### **GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, or a minimum of ten percent of the total surface area of the lot or development.

### **OFF-STREET PARKING**

See Article 7 of this chapter.

### **REQUESTED ZONING**

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35  
Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

### **ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

### **SITE PLAN REVIEW**

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

### **HEIGHT REGULATIONS**

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

### **AREA REGULATIONS**

#### **SETBACKS:**

Front setback 30'  
Front setback if parking is allowed between R-O-W 50'

and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a commercial structure used for automotive services and sales, The tract is surrounded by commercial uses in C-2 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Commercial use.

The Master Street Plan indicates Thompson Street as a principal arterial and 71 Plaza Court as a local street.

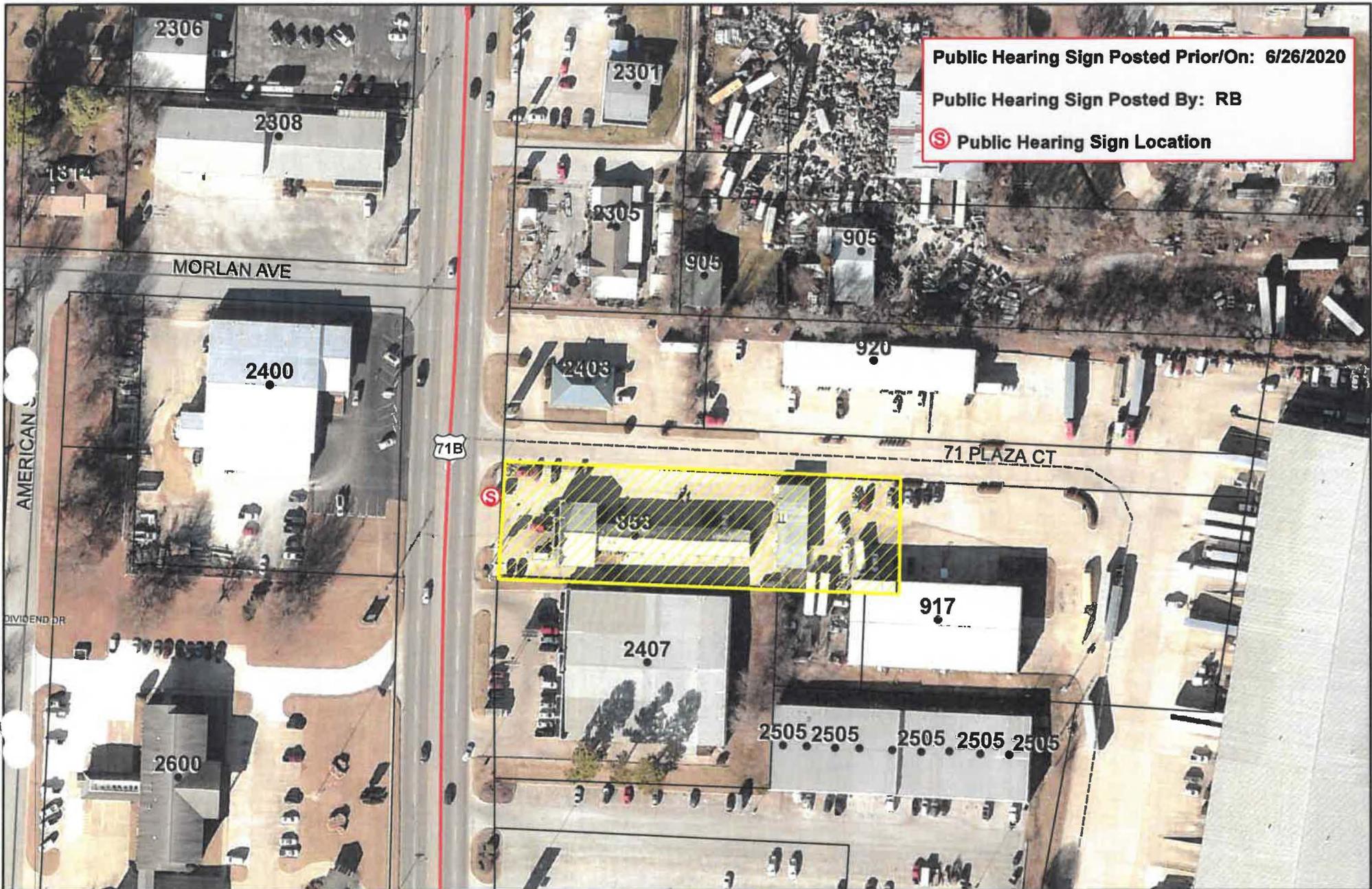
**STAFF COMMENTS AND RECOMMENDATIONS**

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

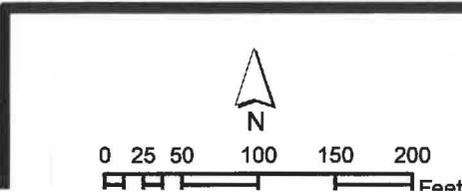
Improve the City's economic base and tax structure through the promotion of healthy, stable commercial concentrations

Assure adequate land allocation for commercial areas of sufficient size and in proper locations

Encourage the development of a wide range of commercial development for the residents and tourist to include neighborhood, community and regional centers.



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location



**FILE NO. R20-23**  
**APPLICANT: NWA Industrial Park, LLC**  
**REQUEST: Rezone parcel from C-6 to C-2**

PLANNING COMMISSION MEETING  
July 7, 2020

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by NWA Industrial Park, LLC.  
The record property owner(s), petitioning to rezone the following described area:

Legal Description:

PT E/2 NE .86 A.

A part of the Southeast Quarter (SE 1/4) of the Northwest Quarter (NE 1/4) of section 11, Township 17 North, Range 30 West, Washington County, Arkansas, more particularly described as commencing at the Southwest corner of said 40 acres tract, thence South 89 degrees 02'10" East 57.54 feet and North 01 degrees 07'47" East 557.56 feet to the point of beginning; said point of being the East right-of-way of U.S. Highway 71 Business, thence along said right-of-way North 00 degrees 20'49" East 110.17 feet; thence leaving said right-of-way South 89 degrees 06'55" East 341.27 feet; thence South 00 degrees 56'30" West 110.16 feet; thence North 89 degrees 04'55" West 340.38 feet to the point of beginning, containing .86

Layman's Description: acres, more or less Springdale Arkansas. 053 71 Plaza Ct. Springdale, AR 72764

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

**FROM** (current zoning) C6  
**TO** (proposed zoning) C2

P63

The **Petitioner's** immediate intentions are to:

1. **Sell** the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. **Develop** the property Yes (Yes or No), and if so, the proposed use is C-2 general commercial district.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None other than what is happening now, with the exception of more traffic, and not putting a tenant and local small business out of business.

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: Blain Erskine, Gage Edwards, Logan Huber

Address: P O Box 1549 Springdale AR 72765

**PETITIONER/OWNER SIGNATURE**

MAILING ADDRESS: PO Box 1549 Springdale AR 72765

TELEPHONE: 479-751-9591 DATE: 6/11/00

# VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

**SIGNATURE**  
(Property Owner)

  
\_\_\_\_\_  
(Property Owner)

State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 16th day of June, 2020.

  
Notary Public

OFFICIAL SEAL  
PEGGY S. EDWARDS  
NOTARY PUBLIC ARKANSAS  
BENTON COUNTY  
COMMISSION# 12373948  
COMMISSION EXP 11/19/2029

OFFICIAL SEAL  
PEGGY S. EDWARDS  
NOTARY PUBLIC ARKANSAS  
BENTON COUNTY  
COMMISSION# 12373948  
COMMISSION EXP 11/19/2029

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**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-24 Rezone

A request by Walter Potapov for Planning Commission approval of a zone change from Low/Medium Density Single Family Residential District (SF-2) to Medium Density Multi-family Residential District (MF-12) for a tract of land containing 1.07 acres.

## LOT LOCATION AND SIZE

The 1.07 acre tract is located at 2501 Turner Street, east side of Turner Street north of Wright Avenue.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is a SF-2 Low/Medium Density Single Family Residential District. The district is designed to permit and encourage the development of single-family detached dwellings on smaller lots to encourage flexibility in housing and lot sizes.

Uses permitted: - 1, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 28, 36

Temporary Uses – 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.

- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an SF-2 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. For Use Unit 36, See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) LOT AREA. There shall be a lot area of not less than eight thousand (8,000) square feet. In addition, there shall be a minimum lot width of not less than seventy (70) feet on a public street at the front setback line.
- (2) DENSITY. Four (4) units per acre.
- (3) FRONT SETBACK. There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) SIDE SETBACK. There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) REAR SETBACK. There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area (sq. ft.)	Front	Back	Side		
					Interior	Corner	
					Interior	Exterior	
One Family	70	8,000	30	20	8/8	8	30
Zero-lot line	70	8,000	30	20	16/0	16/0	30

**BUILDING AREA**

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**REQUESTED ZONING**

The rezoning application requests a MF-12 Medium Density Multi-family Residential District. The district is established to provide areas for development allowing more units per structure and a higher density. Provides more compact residential development, and promotes more efficient use of land and utilities, and the development of less expensive housing on smaller lots.

- Uses permitted: - 1, 8, 10, 11, 13, 29
- Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 12, 28
- Temporary Uses – 34

**ACCESSORY USES**

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.
- (4) Swimming pools, tennis courts and similar recreation facilities.

### SITE PLAN REVIEW

When a conditional use is proposed in an MF-12 district, except for Use Unit 28 home occupation a site plan review shall be required. See Article 6, Section 13 of this chapter for the procedure and requirements of a site plan review.

### HEIGHT REGULATIONS

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

### AREA REGULATIONS

- (1) **LOT AREA.** There shall be a lot area of not less than six thousand (6,000) square feet for a single family dwelling; ten thousand five hundred (10,500) square feet for a duplex; fourteen thousand (14,000) for a triplex; twenty thousand (20,000) for a four-plex and twenty thousand (20,000) plus two thousand five hundred (2,500) for each unit over five. In addition, there shall be a minimum lot width of not less than sixty (60) feet for a one family; seventy (70) feet for a two family; eighty (80) feet for a three family or larger on a public street.
- (2) **DENSITY** - 12 units per acres
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS			SETBACKS				
	Widths		Area	Front	Back	Side		
						Interior	Corner	
							Interior	Exterior
One Family	60		6,000	30	20	8/8	8	30
Two Family	70		10,500	30	20	8/8	8	30
Three Family	80		14,000	30	20	8/8	8	30
Four Family	80		20,000	30	20	8/8	8	30
Four or more families	80		+20,000 2,500/unit					
Zero Lot Line	60		as above	30	20	16/0	16/0	30
Townhouse	Interior	Corner/end						
	20	50/28		30	20	8/0	8	30

### BUILDING AREA

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**LANDSCAPED OPEN SPACE**

On any lot, there shall be a minimum of ten (10) percent of landscaped open space in accordance with Article 6 Section 2.16 of this chapter.

**MULTIFAMILY PLAY AREAS**

See Article 6 Section 2.17 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The area to the north contains a single family dwelling on a large tract in O-1 zoning. The area to the east is undeveloped in SF-2 zoning. The area to the south and west contains single family dwellings in SF-2 zoning,

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Medium Density Residential use.

The Master Street Plan indicates Turner Street as a minor collector.

**STAFF COMMENTS AND RECOMMENDATIONS**

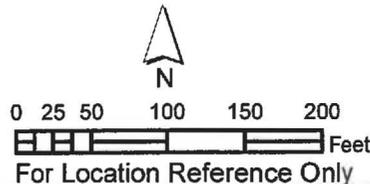
The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Encourage the development of a variety of housing types appropriate to the size and income of all households living and working in Springdale.



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
S Public Hearing Sign Location



**FILE NO. R20-24**  
**APPLICANT: Walter Potapov**  
**REQUEST: Rezone parcel from SF-2 to MF-12**

PLANNING COMMISSION MEETING  
July 7, 2020

File No. R20-24

### PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Walter Potapov

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

A PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 17 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT AN EXISTING REBAR ON THE EAST RIGHT-OF-WAY OF SOUTH TURNER STREET WHICH IS N02°09'00"E 164.38' AND S87°42'07"E 29.19' FROM THE SOUTHWEST CORNER OF SAID 40 ACRE TRACT AND RUNNING THENCE ALONG SAID RIGHT-OF-WAY N02°12'42"E 164.40' TO AN EXISTING REBAR, THENCE LEAVING SAID RIGHT-OF-WAY, THENCE S87°42'19"E 284.89' TO AN EXISTING REBAR THENCE S02°59'48"W 164.43' TO AN EXISTING REBAR, THENCE N87°42'07"W 282.64' TO THE POINT OF BEGINNING, CONTAINING 1.07 ACRES, MORE OR LESS. SUBJECT TO ALL EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

Layman's Description:

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classification:

**FROM** (current zoning) SF-2

**TO** (proposed zoning) MF-12





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**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-25 Rezone

A request by Rogue Corral and Myrna Barraza for Planning Commission approval of a zone change from Agricultural District (A-1) to Low Density Multi-family Residential District (MF-2) for a tract of land containing acres.

## LOT LOCATION AND SIZE

The 2.91 acre tract is located at 4265 N. 40<sup>th</sup> Street, east side of 40<sup>th</sup> Street south of Wagon Wheel Road.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) **DENSITY.** One (1) unit per two acres.
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The rezoning application requests a MF-2 Low Density Multi-family Residential District. The district is established in order to provide areas for development with a maximum of two dwelling units per residential structures (duplexes). Provides more compact residential development, and promotes more efficient use of land and utilities, and the development of less expensive housing on smaller lots.

Uses permitted: - 1, 8, 10, 11, 29  
 Conditional Uses Permitted on Appeal: - 2, 3, 4, 9, 28,  
 Temporary Uses – 34

**ACCESSORY USES**

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses as set for in Article 6, Section 2.7 of this chapter.
- (2) Private greenhouses and horticultural collections.
- (3) Flower and vegetable gardens.

- (4) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an MF-2 district, except for Use Unit 28 home occupation a site plan review shall be required. See Article 6, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

No building hereafter erected or structurally altered shall exceed a height of thirty-five (35) feet.

**AREA REGULATIONS**

- (1) **LOT AREA.** There shall be a lot area of not less than nine thousand (9,000) square feet for a single family dwelling and fifteen thousand (15,000) square feet for a duplex. In addition, there shall be a minimum lot width of not less than eighty (80) feet on a public street at the front setback line for a single family dwelling, and ninety (90) feet on a public street at the front setback line for a duplex with a minimum structure size of 1400 square feet of heated living space per side.
- (2) **DENSITY.** Four (4) units per acre
- (3) **FRONT SETBACK.** There shall be a front setback having a depth of not less than thirty (30) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty (30) feet.
- (4) **SIDE SETBACK.** There shall be a side setback on each side of the lot having a width of not less than eight (8) feet.
- (5) **REAR SETBACK.** There shall be a rear setback having a depth of not less than twenty (20) feet.

	LOT MINIMUMS		SETBACKS					
	Widths		Area (sq.ft.)	Front	Back	Side		
						Interior	Corner	
	Interior	Corner/end		Interior	Exterior			
One Family	80		10,000	30	20	8/8	8	30
Two Family	90		15,000	30	20	8/8	8	30
Zero Lot Line	80		as above	30	20	16/0	16/0	30
Townhouse	Interior	Corner/end						
	20	50/28	As above	30	20	8/0	8	30

**BUILDING AREA**

On any lot, the area occupied by all buildings shall not exceed forty (40) percent of the total area of the lot.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract contains a single family dwelling. The tract is surrounded by large tracts with single family dwellings in A-1 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Low Density Residential use.

The Master Street Plan indicates N. 40<sup>th</sup> Street as a minor collector.

## STAFF COMMENTS AND RECOMMENDATIONS

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Protect the positive aspects of neighborhood character throughout the City.

Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Public Hearing Sign Posted Prior/On: 6/26/2020

Public Hearing Sign Posted By: RB

 Public Hearing Sign Location



0 25 50 100 150 200  
 Feet  
For Location Reference Only

**FILE NO. R20-25**  
**APPLICANT: Roque Corral**  
**REQUEST: Rezone parcel from A-1 to MF-2**

PLANNING COMMISSION MEETING  
July 7, 2020

File No. R20-25

## PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale Code of Ordinances, as amended, by Rogue Corral and Myrna E. Barraza

The record property owner(s), petitioning to rezone the following described area:

Legal Description:

Layman's Description: 4265 N. 40<sup>TH</sup>

The Petitioner hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and address of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The Petitioner requests the following zoning classification:

FROM (current zoning) A-1

TO (proposed zoning) MF-2

The **Petitioner's** immediate intentions are to:

1. **Sell** the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, other contract for conveyance of title NO (Yes or No).
2. **Develop** the property YES (Yes or No), and if so, the proposed use is Build Duplexes.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None

The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the **Petitioner**.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: None

Address: \_\_\_\_\_

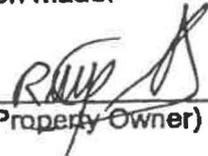
PETITIONER/OWNER: 

MAILING ADDRESS: \_\_\_\_\_

TELEPHONE: 479-871-0693 DATE: \_\_\_\_\_

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

  
\_\_\_\_\_  
(Property Owner)

  
\_\_\_\_\_  
(Property Owner)

State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 17 day of June, 2020.

  
\_\_\_\_\_  
Notary Public

**SAMUEL MENDEZ**  
Notary Public-Arkansas  
Washington County  
My Commission Expires 08-08-2027  
Commission # 12701792

+++++

**PLANNING & COMMUNITY  
DEVELOPMENT DIVISION**

# Memo

**To:** PLANNING COMMISSION MEMBERS  
**From:** Patsy Christie, Planning Director  
**Date:** July 7, 2020  
**Re:** R20-26 Rezone

A request by John Lopez Properties, LLC for Planning Commission approval of a zone change from Agricultural District (A-1) to General Commercial District (C-2) for a tract of land containing 1.5 acres.

## LOT LOCATION AND SIZE

The 1.5 acre tract is located on the north side of McRay Avenue between 3550 and 3700 McRay Avenue.

A vicinity map is attached.

## EXISTING ZONING

The existing zoning on this tract is an A-1, Agricultural district. This district is designed to protect agricultural land until an orderly transition to urban development has been accomplished. It provides a usable district for certain uses which may be annexed to the city. The regulations of the agricultural district are designed to protect agricultural land until an orderly transition to urban development has been accomplished. This zone will encourage single family residential usage on large tracts. In addition, due to the low density of development, agricultural uses such as crop and livestock production are allowed.

Uses permitted: - 1, 6, 7, 8, 29

Conditional Uses Permitted on Appeal: - 2, 3, 4, 5, 9, 14, 17, 23, 28, 30, 33, 36, 37

Temporary Uses – 32, 34

## ACCESSORY USES

The following accessory structures and land uses shall be permitted only where clearly incidental to the permitted primary use, except as otherwise permitted herein:

- (1) Accessory buildings, including private garages, storage facilities and children's playhouses.
- (2) Private greenhouses.
- (3) Swimming pools, tennis courts and similar recreation facilities.

**SITE PLAN REVIEW**

When a conditional use is proposed in an A-1 district, except for Use Unit 28 home occupation and Use Unit 36, horses kept in residential areas; a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**AREA REGULATIONS**

- (1) LOT AREA. There shall be a lot area of not less than two acres for both residential and non-residential use. In addition, there shall be a minimum lot width of not less than two hundred (200) feet on a public street at the front setback line.
- (2) DENSITY. One (1) unit per two acres.
- (3) FRONT SETBACK. There shall be a front setback having a depth of not less than thirty-five (35) feet. In keeping with the definition of a corner lot, all sides adjacent to streets shall be required to have front setbacks of thirty-five (35) feet.
- (4) SIDE SETBACK. There shall be a side setback on each side of the lot having a width of not less than twenty (20) feet.
- (5) REAR SETBACK. There shall be a rear setback having a depth of not less than thirty-five (35) feet.

	LOT MINIMUMS		SETBACKS				
	Widths	Area	Front	Back	Side		
					Corner		
					Interior	Exterior	
One Family	200	2 acre	35	35	20/20	20	35

**REQUESTED ZONING**

The requested zoning of this tract is a C-2 General Commercial District. The District is established in order to be a broader range of retail uses, which comprise the commercial function of the city including groupings of freestanding commercial structures. Permitted uses include most types of retail activity except those involving open displays of merchandise and those which generate large volumes of vehicular traffic or are otherwise incompatible with the purpose and intent of the C-2 general commercial district. Retail areas zoned C-2 shall be generally concentrated as to geographical configuration. It is anticipated, however, that in some situations, change to another commercial or office classification may be appropriate to permit the transition of strip retail areas to other productive forms of land use. It is the intent of these regulations that the C-2 district be concentrated at the intersections of arterial streets. Extension of the district along major arterial streets in linear fashion shall be discouraged.

Uses permitted: - 1, 4, 16, 17, 19, 20, 21, 22, 27, 32, 35

Conditional Uses Permitted on Appeal: - 2, 3, 12, 33

**ACCESSORY USES**

See Article 6 Section 3.1 of this chapter.

**SITE PLAN REVIEW**

When a conditional use is proposed in a C-2 district, except for home occupation a site plan review shall be required. See Article 2, Section 13 of this chapter for the procedure and requirements of a site plan review.

**HEIGHT REGULATIONS**

There shall be no maximum height limits in C-2 district; provided, however, that any building which exceeds the height of twenty (20) feet shall be set back from any boundary line of any residential district a distance of one (1) foot for each foot of height in excess of twenty (20) feet.

**AREA REGULATIONS**

**SETBACKS:**

Front setback	30'
Front setback if parking is allowed between R-O-W 50' and the building	
Side setback (subject to applicable fire and building codes)	0
Side setback when contiguous to a residential district	20'
Rear setback	20'

**GREENSPACE**

Each developed lot shall provide and maintain:

1. A landscaped buffer, not less than ten (10) feet wide, along the front property line. When adjacent to the property line of a residential use a 5' landscaped area and a six (6) foot opaque screen shall be required.
2. Landscaping, including grass, shrubs and trees, and without structure or pavement, of a minimum of ten percent of the total surface area of the lot or development.

**OFF-STREET PARKING**

See Article 7 of this chapter.

**SURROUNDING ZONING AND LAND USE**

Zoning of the surrounded area is shown on the attached map. The tract is undeveloped. The area to the north and south is undeveloped in A-1 zoning. The area to the east and west contain single family dwellings in A-1 zoning.

**LAND USE PLAN AND MASTER STREET PLAN**

The adopted Comprehensive Land Use Plan indicates Commercial use.

The Master Street Plan indicates McRay Avenue as a minor collector.

**STAFF COMMENTS AND RECOMMENDATIONS**

The rezoning request is in keeping with the following goals and policies of the Comprehensive Land Use Plan and is recommended for approval:

Protect the positive aspects of neighborhood character throughout the City.

Appropriate locations for single-family and multi-family residential development should be provided based on accessibility, site suitability, utility availability, neighborhood compatibility and environmental factors.

Assure adequate land allocation for residential purposes by providing lots of adequate size.

Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Ⓢ Public Hearing Sign Location



0 25 50 100 150 200  
Feet  
For Location Reference Only

**FILE NO. R20-26**  
**APPLICANT: John Lopez Properties, LLC**  
**REQUEST: Rezone parcel from A-1 to C-2**

PLANNING COMMISSION MEETING  
July 7, 2020

File No. \_\_\_\_\_

## PETITION FOR REZONING

Petition is hereby made to the City Council of the City of Springdale, through the Springdale Planning Commission, pursuant to the provisions of Act 186 of 1957, as amended, and Chapter 130 of the City of Springdale code of Ordinances, as amended, by John Lopez Properties, LLC, the record property owner, petitioning to rezone the following described area:

Legal Description:

See Attached Legal Description

Layman's Description: Approximately 1.5 acres located between 3550 McRay Avenue and 3700 McRay Avenue along the north side of the street in Springdale, Washington County, Arkansas. Property is part of Washington County Parcel 815-29876-230 and is approximately 274 feet wide and 240 feet deep.

The **Petitioner** hereby states by oath that:

1. The Petitioner is the record title holder of the above described property evidenced by the attached copy of a **Warranty Deed** as Exhibit A.
2. A **scaled drawing** showing accurate dimensions, lot lines, surrounding zoning, adjacent owners, north arrow and graphic scale is attached as Exhibit B.
3. The names and addresses of all adjacent owners of the above described property **certified by a licensed abstractor or licensed land surveyor** within the past sixty (60) days are attached as evidenced by Exhibit C.

The **Petitioner** requests the following zoning classifications:

FROM (current zoning) A-1 (Agricultural District)

TO (proposed zoning) C-2 General Commercial District

The **Petitioner's** immediate intentions are to:

1. **Sell** the property NO (Yes or No), and if so, is the property subject to an offer and acceptance, escrow contract, option agreement, or other contract for conveyance of title \_\_\_\_\_ (Yes or No).
2. **Develop** the property YES (Yes or No), and if so, the proposed use is Commercial.
3. **Effect** of the proposed zoning upon the adjacent property and neighborhood is anticipated to be as follows: None - the majority of properties in this area that aren't still in the default A-1 District are either C-2 or O-1 and the land uses in this part of town are mostly commercial.

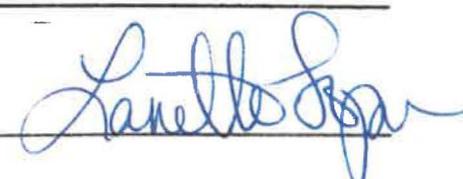
The **Petitioner** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Petitioner.

The **Petitioner** understands that he/she should be present at the meeting in order to answer questions. If the **Petitioner** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the petitioner.

Authorized Representative: \_\_\_\_\_

Address: \_\_\_\_\_

PETITIONER/OWNER:

  
(Authorized Signature) 

MAILING ADDRESS:

2005 Carnes Drive, Springdale, AR 72762

TELEPHONE: (479) 871-1963

DATE: 6-17-20

# VERIFICATION

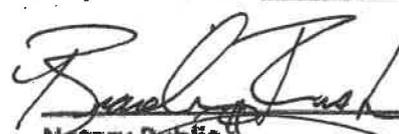
I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

  
\_\_\_\_\_  
(Property Owner Signature)

  
\_\_\_\_\_  
(Property Owner Signature)

State of Arkansas            )  
  ) ss.  
County of Washington        )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 14<sup>th</sup> day of June 2020.

  
\_\_\_\_\_  
Notary Public



**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: Arkansas Conference Association of Seventh-day Adventists  
 Address: 4001 W don Tyson Pkwy  
Springdale, AR 72762  
 Phone: 479-530-5757 Profit:        Non-Profit
2. Property Location (street address or layman's description):  
206 Westwood  
Springdale, AR 72762
3. Record Title Holder of Property: Arkansas Conference Association of Seventh-day Adventists  
 (A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested        in        Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
The church is requesting to split the property. Tract 1 would stay as the church property  
and Tract 2 would be sold.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
There would be little to no effect on the neighborhood.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

Roger Quinn  
Tony Cook

\_\_\_\_\_  
\_\_\_\_\_

Date: 04/23/2020

Date: \_\_\_\_\_

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

P91

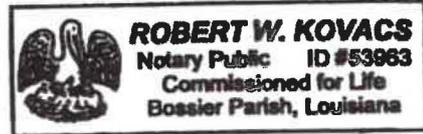
\_\_\_\_\_  
\_\_\_\_\_

State of LOUISIANA )  
~~Arkansas~~ )  
County of CADDO ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 23 day of APRIL, 2020

[Signature]  
Notary Public

My commission expires: FOR LIFE





0 25 50 100 150 200  
Feet

**FILE NO. C20-12**  
**APPLICANT: Seventh Day Adventist Church**  
**REQUEST: Conditional use for**  
**a Tandem Lot Split in an SF-2 District**

**PLANNING COMMISSION MEETING**  
July 7, 2020

**APPLICATION FOR CONDITIONAL USE**  
CITY OF SPRINGDALE, ARKANSAS

1. APPLICANT: ALAN REID & ASSOCIATES PROFESSIONAL LAND SURVEYORS  
Address: 118 S. COLLEGE AVE  
FAYETTEVILLE, AR 72701  
Phone: 479-444-8784 Profit:  Profit  Non-Profit
2. Property Location (street address or layman's description):  
5292 N GRAHAM ROAD  
SPRINGDALE, AR 72762
3. Record Title Holder of Property: SOLI DEO GLORIA LLC  
(A copy of the warranty deed should be attached as Exhibit "A")
4. Use Unit requested \_\_\_\_\_ in \_\_\_\_\_ Zoning District.
5. Description of the conditional use sought and the reasons why it should be approved:  
TANDEM LOT PARCEL SPLIT FROM CURRENT 15 ACRES TO MAINTAIN 5.24+/- ACRES  
WITH EXISTING SINGLE FAMILY HOUSE AND ADDING TWO 4.75 +/- ACRE TRACTS  
FOR NEW CONSTRUCTION OF SINGLE FAMILY RESIDENTIAL HOUSE ON EACH  
NEW PARCEL.
6. What effects would the proposed conditional use have on the character of the neighborhood and residents?  
TWO NEW HOUSES ON 4.75+/- ACRE PARCELS WILL BE VALUABLE ADDITION TO THE  
AREA AND WILL NOT ADD ANY KNOWN ADDITIONAL BURDEN TO CITY STREETS  
OR ADJACENT LANDOWNERS.
7. If the conditional use is to only a portion of the land described on the warranty deed, then an accurate legal description provided by a copy of a recent survey certified by a registered land surveyor will be required.
8. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days.
9. All adjacent property owners are to be notified by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. The applicant must provide evidence in the form of a signed affidavit, that notice has been given to all adjacent property owners subject to the conditional use.

10. Attach a site plan for the proposed conditional use. A site plan shall apply to all conditional uses as specified in each of the zoning districts.

Signature of Record Property Owner(s)

Signature of Applicant

Anna Duggar  
SOLI DEO GLORIA LLC, LEGAL AGENT

\_\_\_\_\_

Date: 06-17-2020

Date: 06-17-2020

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the attached application for a conditional use permit and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

Anna Duggar  
SOLI DEO GLORIA LLC, LEGAL AGENT

State of Arkansas )  
County of WASHINGTON ) ss.

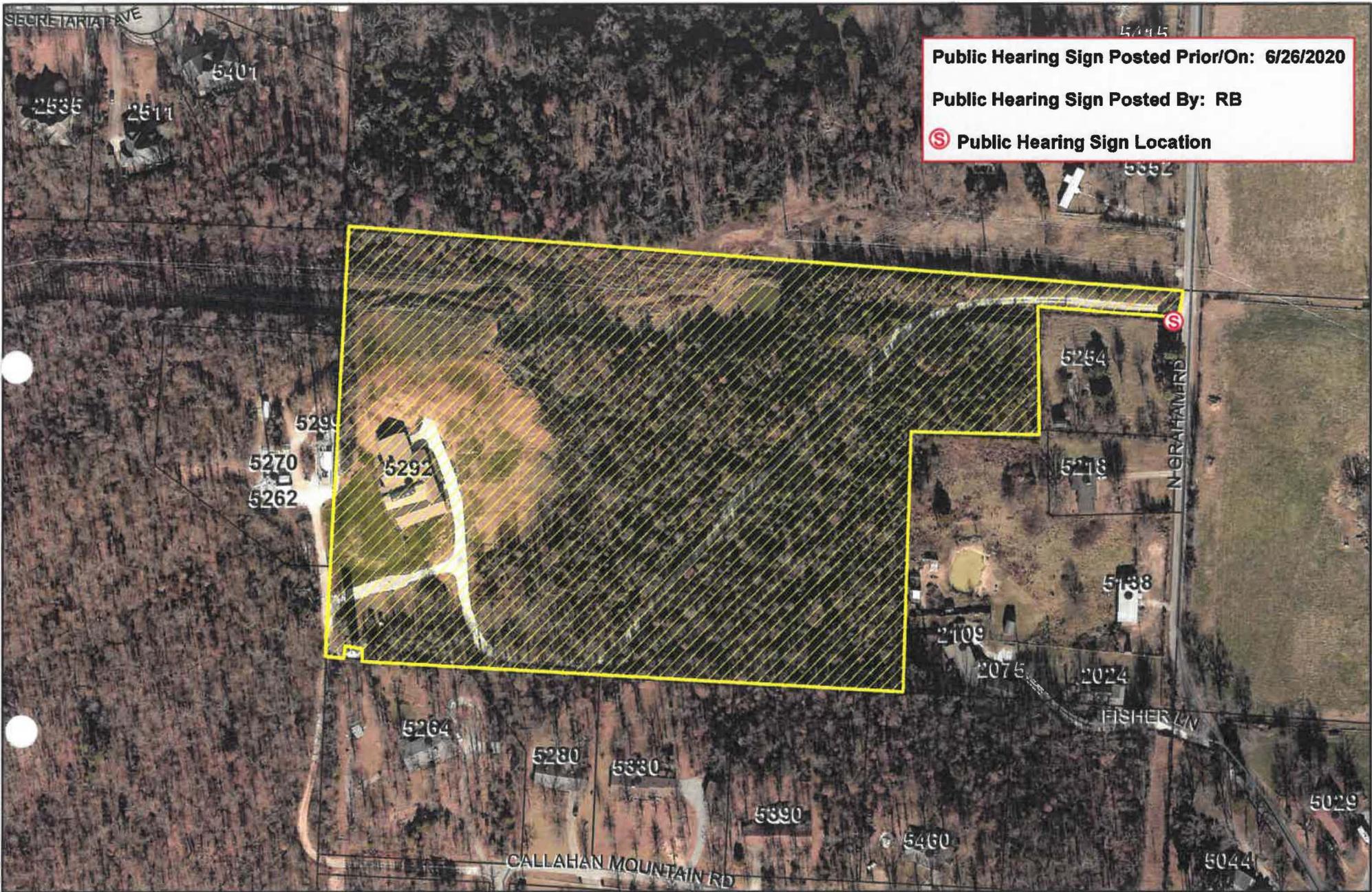
SUBSCRIBED AND SWORN TO before me, a Notary Public, this the 17TH day of JUNE, 20 2020.

Notary Public

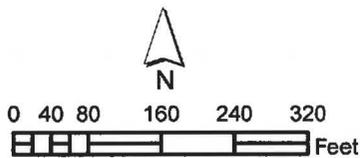
My commission expires: 09-05-2022



P94



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
S Public Hearing Sign Location



**FILE NO. C20-14**  
**APPLICANT: Soli Deo Gloria, LLC**  
**REQUEST: Conditional use for**  
**a Tandem Lot Split in an A-1 District**

PLANNING COMMISSION MEETING  
July 7, 2020

# Memo

**To:** Planning Commission

**From:** Staff

**Date:** July 7, 2020

**RE:** RP20-06 Replat

**Lots 1 & 2 Parkway Plaza**

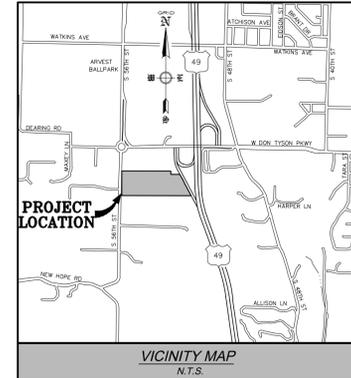
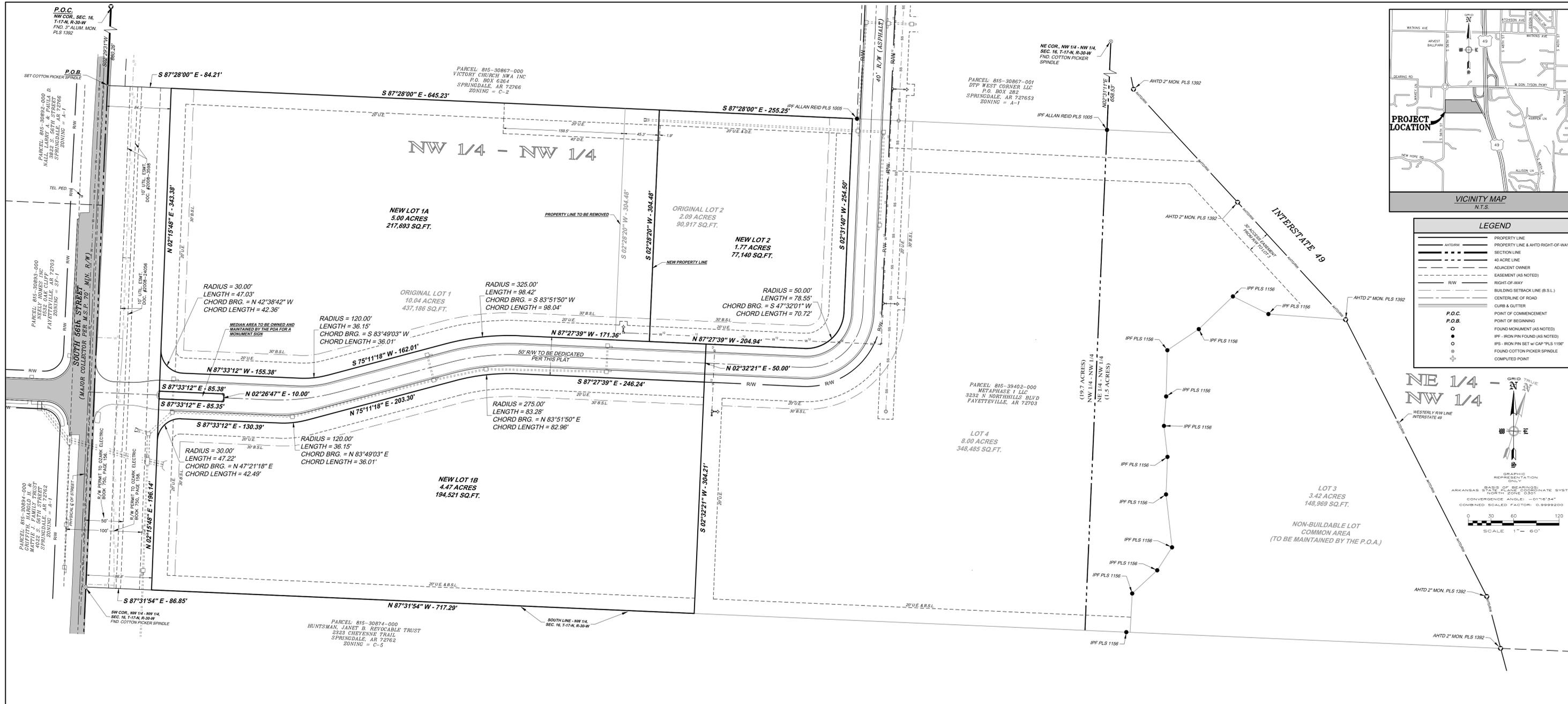
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**Planning Comments**

1. No Comments

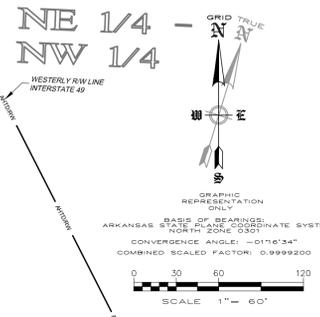
**Engineering Comments**

- 1) Provide required signatures.



**LEGEND**

—	PROPERTY LINE
—	PROPERTY LINE & AHTD RIGHT-OF-WAY
—	SECTION LINE
—	40 ACRE LINE
—	ADJACENT OWNER
—	EASEMENT (AS NOTED)
—	RIGHT-OF-WAY
—	BUILDING SETBACK LINE (B.S.L.)
—	CENTRELINE OF ROAD
—	CURB & GUTTER
—	POINT OF BEGINNING
—	POINT OF COMMENCEMENT
—	FOUND MONUMENT (AS NOTED)
—	IPF - IRON PIN SET w/ CAP PLS 1156
—	FOUND COTTON PICKER SPINDLE
—	COMPUTED POINT



**SURVEYOR'S NOTES:**  
THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR. THE ORIGINAL SIGNATURE, IF NOT BLUE IN COLOR, IS NOT VALID.

**PLAT CLOSURE CERTIFICATION:**  
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 451,440 FEET.

**FEMA FLOOD PLAIN ZONE:**  
THIS PROPERTY IS WITHIN THE FLOOD PLAIN ZONE 'X' (NO SHADING) DESIGNATED AS AN AREA DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE F.I.R.M. MAP # 08143C0005 F, PANEL 65 OF 575, WASHINGTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: MAY 16, 2008.

**UTILITIES:**  
THE UTILITY INFORMATION, IF ANY SHOWN HEREON, IS BASED ON ABOVE GROUND UTILITY FEATURES, CITY OF SPRINGDALE G.I.S., AND FIELD DESIGNATIONS/MARKINGS BY ARKANSAS ONE CALL. THE DESIGNATIONS AND LOCATIONS OF THESE UTILITY FEATURES SHOWN HEREON ARE NOT TO BE CONSTRUED AS ALL INCLUSIVE OR ABSOLUTE AND ARE PROVIDED WITHOUT WARRANTY.

**REFERENCES:**  
EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED BELOW. THE SURVEYOR RESEARCHED OR WAS PROVIDED NECESSARY DEEDS, RIGHT-OF-WAY MAPS, AND OTHER PERTINENT INFORMATION AS SHOWN BELOW. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR COURT CASE DECREES, ADVERSE POSSESSION CLAIMS, SURFSURFACE RIGHTS OR OWNERSHIP, ENCUMBRANCES, OR RESTRICTIVE COVENANTS.

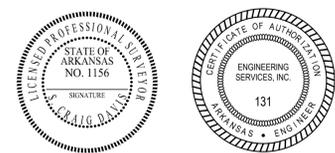
ALL RECORDS LISTED BELOW ARE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF WASHINGTON COUNTY, ARKANSAS UNLESS OTHERWISE NOTED.

**A. FINAL PLAT:** PARKWAY PLAZA, RECORDED MARCH 6, 2019, DOCUMENT FILE NUMBER 0024-223.

**B. WARRANTY DEED:** SOUTHWEST SPRINGDALE FORTY-NINE, LLC, RECORDED SEPTEMBER 1, 2017, DOCUMENT FILE NO. 2017-27094.

**SURVEYOR'S DECLARATION:**  
I HEREBY DECLARE THAT I HAVE THIS DAY COMPLETED A SURVEY OF THE ABOVE DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED, AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN ON THIS PLAT. I FURTHER DECLARE THAT THIS SURVEY MEETS THE CURRENT "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" PER THE STATE OF ARKANSAS.

S. CRAIG DAVIS, L.P.S. NO.1156, AR. DATE



**CERTIFICATE OF ACCEPTANCE:**  
THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLAT AND TO THE OFFICES OF RESPONSIBILITY SHOWN BELOW.

DATE	SIGNATURE
ACCEPTANCE OF DEDICATIONS	CITY CLERK CITY OF SPRINGDALE
APPROVAL FOR RECORDING	MAYOR CITY OF SPRINGDALE
COMMISSION	DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DIVISION
WATER AND SEWER	CHAIRMAN PLANNING COMMISSION
STREETS AND DRAINAGE	SECRETARY, PLANNING ENGINEER SPRINGDALE WATER UTILITIES DIRECTOR, PUBLIC WORKS

**SOUTHWEST SPRINGDALE FORTY-NINE, LLC**  
**CERTIFICATION OF TRANSMITTAL, OWNERSHIP, AND ORDINANCE:**  
THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE, FOR APPROVAL AND ACCEPTANCE AND CERTIFY TO BE THE OWNER OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LAW OR OTHER LAW. THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS IN ORDER HAVING BEEN APPROVED BY THE CITY ATTORNEY ON \_\_\_\_\_.

AUTHORIZED REPRESENTATIVE DATE

RESOLUTION: RESOLVED THAT \_\_\_\_\_ IS HEREBY AUTHORIZED TO EXECUTE THE CERTIFICATE OF OWNERSHIP AND DEDICATION SHOWN ON THIS PLAT.

**OWNER:** SOUTHWEST SPRINGDALE FORTY-NINE, LLC  
P.O. BOX 107  
SPRINGDALE, AR 72765  
56 DTE LLC  
1923 N. BARRINGTON DRIVE  
FAYETTEVILLE, AR 72701

**SURVEYOR:** ENGINEERING SERVICES, INC.  
1207 S. OLD MISSOURI ROAD  
P.O. BOX 282  
SPRINGDALE, AR 72762

**WORK ORDER #:** 17916  
**CITY ZONING:** C-5  
**SETBACKS:** FRONT - 30'  
30' w/ PARKING BETWEEN BLDG AND RW  
SIDE - 0'  
20' WHEN CONTIGUOUS TO RESIDENTIAL DISTRICT  
REAR - 20'

RECORDING INFORMATION

**REPLAT OF LOTS 1 & 2**  
**PARKWAY PLAZA**  
SPRINGDALE, WASHINGTON COUNTY, ARKANSAS

SCALE: 1"=60' DATE: June 17, 2020 DRAWN BY: RKW

ENGINEERING SERVICES, INCORPORATED  
SPRINGDALE, ARKANSAS

W.O.# 19922 SHEET 1

PLAT CODE: 500-17N-30W-0-16-400-72-1156

# Memo

**To:** Planning Commission

**From:** Staff

**Date:** July 7, 2020

**RE:** FP20-03 Final Plat

**Cottages at the Park**

---

**Planning Comments**

1. Submit all items required within the final plat checklist prior to hearing.

**Engineering Comments**

2. No comments

# FINAL PLAT

OF

## COTTAGES AT THE PARK PHASE I

SPRINGDALE

BENTON COUNTY, ARKANSAS

**CERTIFICATION OF TRANSMITTAL, OWNERSHIP, AND ORDINANCE:**

THE UNDERSIGNED HEREBY TRANSMIT THIS PLAT TO THE CITY OF SPRINGDALE, FOR APPROVAL AND ACCEPTANCE AND CERTIFY TO BE THE OWNER OF THE PROPERTY DESCRIBED AND HEREBY DEDICATE ALL STREETS, ALLEYS, EASEMENTS, PARKS, AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED. THE UNDERSIGNED CERTIFY THAT THE PLATTING AS FILED ON RECORD CANNOT BE CHANGED UNLESS VACATED PURSUANT TO APPLICABLE LAW OR OTHER LAW. THE UNDERSIGNED FURTHER CERTIFY THAT THE REQUIRED ORDINANCE OF ACCEPTANCE IS IN ORDER HAVING BEEN APPROVED BY THE CITY ATTORNEY ON \_\_\_\_\_.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

RESOLUTION: RESOLVED THAT \_\_\_\_\_, MEMBER, IS HEREBY AUTHORIZED TO EXECUTE THE CERTIFICATE OF OWNERSHIP AND DEDICATION SHOWN ON THIS PLAT.

**CERTIFICATE OF ACCEPTANCE:**

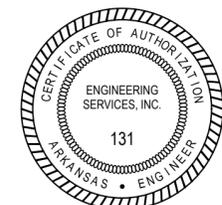
THE UNDERSIGNED HEREBY CERTIFY THAT THIS PLAT MEETS CURRENT REGULATIONS OF THE CITY OF SPRINGDALE AND REGULATIONS OF THE ARKANSAS STATE BOARD OF HEALTH AS EACH PERTAINS TO THIS PLAT AND TO THE OFFICES OF RESPONSIBILITY SHOWN BELOW.

	DATE	SIGNATURE
ACCEPTANCE OF DEDICATIONS	_____	CITY CLERK CITY OF SPRINGDALE
APPROVAL FOR RECORDING	_____	MAYOR CITY OF SPRINGDALE
COMMISSION	_____	DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DIVISION
	_____	CHAIRMAN PLANNING COMMISSION
	_____	SECRETARY, PLANNING
WATER AND SEWER	_____	ENGINEER SPRINGDALE WATER UTILITIES
STREETS AND DRAINAGE	_____	DIRECTOR, PUBLIC WORKS

**SURVEYOR'S DECLARATION:**

I HEREBY DECLARE THAT I HAVE THIS DAY COMPLETED A SURVEY OF THE ABOVE DESCRIBED PROPERTY. THE PROPERTY LINES AND CORNER MONUMENTS ARE TO THE BEST OF MY KNOWLEDGE AND ABILITY, CORRECTLY ESTABLISHED, AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN ON THIS PLAT. I FURTHER DECLARE THAT THIS SURVEY MEETS THE CURRENT "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS", PER THE STATE OF ARKANSAS.

S. CRAIG DAVIS, L.P.S. NO. 1156, AR. \_\_\_\_\_ DATE \_\_\_\_\_



SHEET 1 of 2

**SURVEYOR'S NOTES:**

THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE ORIGINAL SEAL AND SIGNATURE OF THE SURVEYOR. THE ORIGINAL SIGNATURE, IF NOT BLUE IN COLOR, IS NOT VALID.

**FEMA FLOOD PLAIN ZONE:**

THIS PROPERTY IS WITHIN THE FLOOD PLAIN ZONE 'X', (NO SHADING) DESIGNATED AS AN AREA DETERMINED TO BE OUTSIDE OF 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE F.I.R.M. MAP # 05007C0430J, PANEL 430 OF 560, BENTON COUNTY, ARKANSAS & INCORPORATED AREAS. EFFECTIVE DATE: SEPTEMBER 28, 2007.

**UTILITIES:**

THE UTILITY INFORMATION, IF ANY SHOWN HEREON, IS BASED ON ABOVE GROUND FEATURES ONLY.

**REFERENCES:**

EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED BELOW. THE SURVEYOR RESEARCHED OR WAS PROVIDED NECESSARY DEEDS, RIGHT-OF-WAY MAPS, AND OTHER PERTINENT INFORMATION AS SHOWN BELOW. THE SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR COURT CASE DECREES, ADVERSE POSSESSION CLAIMS, SUBSURFACE RIGHTS OR OWNERSHIP, ENCUMBRANCES, OR RESTRICTIVE COVENANTS.

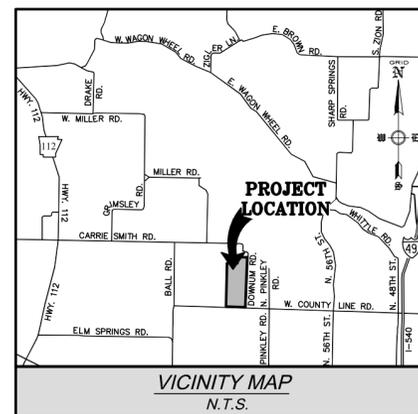
ALL RECORDS LISTED BELOW ARE IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF BENTON COUNTY, ARKANSAS UNLESS OTHERWISE NOTED.

- A. COMMISSIONERS DEED: LANDMARC CUSTOM HOMES, LLC RECORDED MARCH 1, 2018, DOCUMENT FILE NO. L201810451.
- B. REDEMPTION DEED NO. 333883: ERNEST GENE DOWNUM TRUST, RECORDED FEBRUARY 2, 2015, BOOK 2015, PAGE 4604.
- C. QUIT CLAIM DEED TO TRUSTEE: DOWNUM RD, TRUST #21-00167-548, UDT 07/19/2014, AND KEVAN RILEY, AS TRUSTEE, RECORDED 8/10/2015, BOOK 2015, PAGE 43672.
- D. WARRANTY DEED: CME QUALITY HOMES, LLC, RECORDED JANUARY 24, 2006, DOCUMENT BOOK 2006, PAGE 4656.
- E. BOUNDARY SURVEY: BY BILLY LAWRENCE SURVEYING, INC., RECORDED MARCH 11, 2016, BOOK 2016, PAGE 173.
- F. BOUNDARY SURVEY: BY SATTERFIELD LAND SURVEYORS, P.A., RECORDED JUNE 6, 2013, BOOK 2013, PAGE 314.
- G. RIGHT OF WAY EASEMENT: IN FAVOR OF CITY OF SPRINGDALE, RECORDED FEBRUARY 24, 2006, BOOK 2006, PAGE 10153.
- H. RIGHT OF WAY EASEMENT: IN FAVOR OF CITY OF SPRINGDALE, RECORDED FEBRUARY 24, 2006, BOOK 2006, PAGE 10146.
- I. EASEMENT AND RIGHT-OF-WAY GRANT: IN FAVOR OF SPRINGDALE WATER AND SEWER COMMISSION, RECORDED JANUARY 17, 2001, DOCUMENT NO. 1005184.
- J. EASEMENT: IN FAVOR OF SPRINGDALE WATER AND SEWER COMMISSION, RECORDED NOVEMBER 26, 1996, BOOK 96, PAGE 96263.
- K. EASEMENT: IN FAVOR OF SPRINGDALE WATER AND SEWER COMMISSION, RECORDED OCTOBER 16, 1996, BOOK 96, PAGE 85171.
- L. EASEMENT: IN FAVOR OF SPRINGDALE WATER AND SEWER COMMISSION, RECORDED OCTOBER 16, 1996, BOOK 96, PAGE 85173.
- M. EASEMENT: IN FAVOR OF SPRINGDALE WATER AND SEWER COMMISSION, RECORDED JULY 12, 1996, BOOK 96, PAGE 57095.

**SURVEY DESCRIPTION:**

A PART OF THE SOUTHWEST QUARTER (SW 1/4 ) OF SECTION TWENTY (20), TOWNSHIP EIGHTEEN NORTH (T-18-N), RANGE THIRTY WEST (R-30-W) OF THE FIFTH PRINCIPAL MERIDIAN, CITY OF SPRINGDALE, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 20, SAID POINT BEING A FOUND RAILROAD SPIKE IN WEST COUNTY LINE ROAD; THENCE ALONG THE SOUTH LINE OF SAID SW 1/4, S86°35'37"E A DISTANCE OF 659.90 FEET TO A FOUND RAILROAD SPIKE IN WEST COUNTY LINE ROAD; THENCE LEAVING SAID SOUTH LINE, N02°27'18"E A DISTANCE OF 1359.61 FEET TO THE POINT OF BEGINNING, SAID POINT BEING A SET IRON PIN WITH CAP "PLS 1156"; THENCE N02°27'18"E A DISTANCE OF 503.86 FEET TO A FOUND 5/8 INCH REBAR; THENCE S86°36'36"E A DISTANCE OF 330.63 FEET TO A FOUND 5/8 INCH REBAR; THENCE N01°55'30"E A DISTANCE OF 326.69 FEET TO A FOUND 1/2 INCH REBAR; THENCE S86°20'27"E A DISTANCE OF 159.36 FEET TO A FOUND 1/2 INCH REBAR; THENCE S02°28'07"W A DISTANCE OF 63.13 FEET TO A FOUND 1/2 INCH REBAR; THENCE S86°30'27"E A DISTANCE OF 500.08 FEET TO A FOUND COTTON PICKER SPINDLE IN SOUTH DOWNUM ROAD; THENCE S02°22'15"W A DISTANCE OF 749.61 FEET TO A SET COTTON PICKER SPINDLE; THENCE N87°32'42"W A DISTANCE OF 987.96 FEET TO THE POINT OF BEGINNING, CONTAINING 15.43 ACRES (672,337 SQ. FT.), MORE OR LESS.



BY  
ENGINEERING SERVICES INC.



CONSULTING ENGINEERS  
SPRINGDALE, ARKANSAS  
PHONE: 479-751-8733

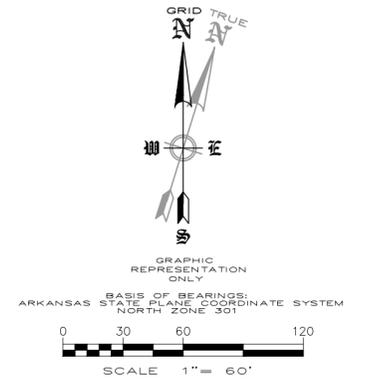
FAX: 479-751-8746

WWW.ENGINEERINGSERVICES.COM

Curve #	Length	Radius	Chord Length	Chord Bearing
C1	29.06'	18.50'	26.16'	S42°32'42"E
C2	29.06'	18.50'	26.16'	N47°27'18"W
C3	47.18'	30.00'	42.43'	S42°32'42"E
C4	9.95'	19.00'	9.84'	N12°32'42"W
C5	9.95'	19.00'	9.84'	S17°27'18"W
C6	47.12'	30.00'	42.43'	S42°32'42"E
C7	47.12'	30.00'	42.43'	S47°27'18"W
C8	47.12'	30.00'	42.43'	N47°27'18"E
C9	47.12'	30.00'	42.43'	N42°32'42"W
C10	47.07'	30.00'	42.39'	S42°35'45"E
C11	29.06'	18.50'	26.16'	S42°32'42"E
C12	5.72'	19.00'	5.70'	S11°05'11"W
C13	6.33'	21.00'	6.30'	S11°05'11"W
C14	19.04'	27.00'	18.65'	S22°39'21"W
C15	19.04'	27.00'	18.65'	N17°44'46"W
C16	29.06'	18.50'	26.16'	N47°27'18"E
C17	47.12'	30.00'	42.43'	S42°32'42"E
C18	47.12'	30.00'	42.43'	S47°27'18"W
C19	47.12'	30.00'	42.43'	N42°32'42"W
C20	47.12'	30.00'	42.43'	N47°27'18"E

Curve #	Length	Radius	Chord Length	Chord Bearing
C21	29.06'	18.50'	26.16'	S42°32'42"E
C22	5.72'	19.00'	5.70'	S11°05'11"W
C23	6.33'	21.00'	6.30'	S11°05'11"W
C24	19.04'	27.00'	18.65'	S22°39'21"W
C25	19.04'	27.00'	18.65'	N17°44'46"W
C26	29.06'	18.50'	26.16'	N47°27'18"E
C27	19.04'	27.00'	18.65'	N17°44'46"W
C28	6.33'	21.00'	6.30'	N06°10'35"W
C29	5.72'	19.00'	5.70'	N06°10'35"W
C30	29.06'	18.50'	26.16'	N47°27'18"E
C31	29.06'	18.50'	26.16'	N42°32'42"W
C32	19.04'	27.00'	18.65'	N22°39'21"E
C33	47.12'	30.00'	42.43'	S42°32'42"E
C34	47.12'	30.00'	42.43'	N47°27'18"E
C35	19.04'	27.00'	18.65'	S17°44'46"W
C36	6.33'	21.00'	6.30'	S06°10'35"E
C37	5.72'	19.00'	5.70'	S06°10'35"E
C38	29.06'	18.50'	26.16'	S47°27'18"W
C39	29.06'	18.50'	26.16'	N42°32'42"W
C40	19.04'	27.00'	18.65'	N22°39'21"E

- NOTES:**
- SIDEWALK SHALL BE PLACED BY THE INDIVIDUAL LOT OWNER AS REQUIRED BY SPRINGDALE CITY ORDINANCE. THE SIDEWALK IS TO BE 5' WIDE AND 1' FROM THE RIGHT-OF-WAY. DEVELOPER SHALL PLACE SIDEWALK ON ALL PORTIONS OF THE STREETS THAT DO NOT HAVE LOT FRONTAGE.
  - LOTS 1, 25, 26 AND 59 SHALL NOT HAVE ACCESS TO SOUTH DOWNUM ROAD.
  - LOTS 13, 14 AND 60 TO BE MAINTAINED BY THE POA.
  - 6" WOODEN PRIVACY FENCE ALONG THE ENTIRE NORTH PROPERTY LINE OF SUBDIVISION. 4" WROUGHT IRON FENCE ALONG THE ENTIRE EAST AND WEST PROPERTY LINE OF SUBDIVISION.
  - ALL LOTS TO RECEIVE A SEWER BACKWATER VALVE. TO BE INSTALLED ON THE PRIVATE SERVICE LINE BY A LICENSED PLUMBER. (4" PVC EXTENDABLE BACKWATER VALVE BY CLEAN CHECK, MODEL NO. 97304)



**OWNER/DEVELOPER:** LANDMARC CUSTOM HOMES  
1224 S MAESTRI RD (HIGHWAY 112)  
SPRINGDALE, AR 72762

**ENGINEER/SURVEYOR:** ENGINEERING SERVICES, INC.  
1207 S. OLD MISSOURI RD.  
PO BOX 282  
SPRINGDALE, AR 72762

**ACREAGE:** 15.43 ACRES

**ZONING:** PUD

BUILDING SETBACKS ZONING PUD	
FRONT	12"
REAR	23"
SIDE	5"
EXTERIOR SIDE	5"

\*UNLESS A UTILITY EASEMENT IS GREATER

**LEGEND**

- PROPERTY LINE
- ADJACENT OWNER
- EASEMENT (AS NOTED)
- BUILDING SETBACK LINE
- WATER LINE
- SANITARY SEWER LINE
- P.O.C.
- P.O.B.
- POINT OF COMMENCEMENT
- POINT OF BEGINNING
- IPF - IRON PIN FOUND (AS NOTED)
- IPS - IRON PIN SET w/ CAP \*PLS 1156
- FOUND/SET NAIL (AS NOTED)
- MANHOLE
- FIRE HYDRANT



**FINAL PLAT OF COTTAGES AT THE PARK PHASE I**  
SPRINGDALE, BENTON COUNTY, ARKANSAS

SCALE: 1"=60' DATE: June 18, 2020 DRAWN BY: RWK  
ENGINEERING SERVICES, INCORPORATED  
SPRINGDALE, ARKANSAS  
W.O.# 18958 SHEET 2/2



© COPYRIGHT 2013, ENGINEERING SERVICES, INC. 6/18/2020 2:11 PM  
C:\USERS\ADMIN\Gis\Projects\The Park\Final Plats\B99 - FINAL PLAT PAGE 1.dwg

# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** July 7, 2020  
**RE:** L20-17      **Large Scale Development**      **Las Margaritas Plaza**

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Variance for deviation of offsite parking.

Variance for deviation of Commercial Design Standards – Foundation Landscaping

---

**Large-Scale Comments:**

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment)
4. This development has been given the number L20-17. This number should be placed on the plans and all future correspondence and plats pertaining to this development. (standard comment)
5. Offsite parking requested. (Variance Item)

**Chapter 56 Landscaping**

1. Show perimeter landscaping on the Southern lot line.

## Commercial Design Comments (Site)

1. Will the shown internal walkway be scored or stamped? Please provide details.
2. Sidewalks, no less than five (5) feet in width, shall be provided along the full length of the building along any façade featuring a customer entrance, and along any façade abutting public parking areas. Such sidewalk shall be located at least six (6) feet from the façade of the building to provide planting beds for foundation landscaping, except where features such as arcades or entryways are part of the façade. (Variance Item)

## Engineering Comments

### 1. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **106.1** - The Grading Plan & SWPPP and Specifications shall be prepared by the Engineer of Record, who is a licensed professional engineer of the State of Arkansas.
  - ~~o Requires a 1"=200' minimum scale 2-foot contour map.~~
  - ~~o Show existing and proposed contours.~~

### 2. Chapter 106 – Stormwater Drainage

(Ord. No. 2999, § 1, 6-27-00; Ord. No. 5245, § 1, 1-23-18)

- **Determine outlet location of box structure into Spring Creek**

### 3. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
  - o The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.

### 4. Chapter 110 – Streets, Sidewalks and Other Public Places

(Ord. No. 3258, § 1, 11-12-02)

- **110.31** - Sidewalks are required one-foot (1') inside the right-of-way line.
  - o Sidewalks shall be constructed with a minimum transverse slope of one-fourth inch (1/4") per foot.
  - o The sidewalk shall have a minimum width of five feet (5') and a minimum thickness of four inches (4").
  - o The sidewalk shall have expansion joints at each structure, curb and at minimum intervals of 200 feet. Transverse joints between expansion joints shall be scored at five-foot (5') intervals.

- o Need to show details of sidewalks on the right-of-way.
- **110.54** - All crossings under roadways by open cut must be backfilled with flowable fill.
- **110.111** - The developer is required to improve the abutting street to the City of Springdale standards and in accordance with the Master Street Plan, including constructing sidewalks, curb and gutter, pave or widen the existing street, or install or construct drainage facilities.
  - **Please see the City Master Street Plan to determine what improvements are required on abutting streets.**

## 5. Chapter 112 – Subdivisions

(Code 1973, § 30-1)

- **112-4** - Streetlights are required at each intersection and along the street at intervals of 300 to 350 feet as measured along the centerline of the street.
  - o The minimum initial rating for the streetlight shall be 6,800 lumens for a local street, 11,000 lumens for a collector street, or 20,000 lumens for an arterial street.
    - Label all lights as Proposed or Existing
    - Show the direction of the mast arm
    - Show the size and type of lights based on the location and classification of the street
    - Add note to determine if the light is designed for area parking lot lights or as a street illuminator
    - Include a note stating if the lights are public or private lights and who will be responsible for maintenance and billing
- **112.7 - Street Design Standards**
  - o ~~Sight Distance: 90-ft Ordinary / 70-ft hilly~~
  - o ~~Max grades w/in 100 ft of intersection: 4%~~
  - o ~~Min intersection angle: 75°~~
  - o Min curb radius ~~25-ft~~ **28-ft** minor St / 50-ft collector St
    - **These requirements are for all entrances that abut Public R.O.W.**
  - o The right-of-way must be graded so that the entire width slopes toward the street at a 2% slope toward the street centerline.

## 6. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.9** Entrance/Exit Drives
  - o Need to note that modified curb is required at the drives and a modified curb detail.
- **130.7.6.1** ADA requirements.

- Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current *ADA* and as may from time to time be amended.
  - **This note is left in place throughout the design process to insure that access is maintained.**

**7. Other:**

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
  - **Show existing and proposed street lights.**
  - **Add a note that all storm sewers inside of this project will be private.**
  - **Add ADA parking details.(Verify the parking stall and aisle widths shown).**
  - **Show bearings and distances on all property lines. It appears that the north property line runs through a structure?**
  - **What is the sidewalk width at the proposed planters?**
  - **Show what the 25' drainage easement for ARDOT contains.**
  - **Set monuments at the outer boundary.**
  - **Add a note that the manhole at the Harris entrance will need to be adjusted.**
  - **Add modified curb to side entrance.**
  - **Concrete to the R.O.W. line on entrances/exits.**
  - **Add stop bars/signs at exits.**
  -

May 2020

# LARGE SCALE DEVELOPMENT PLANS

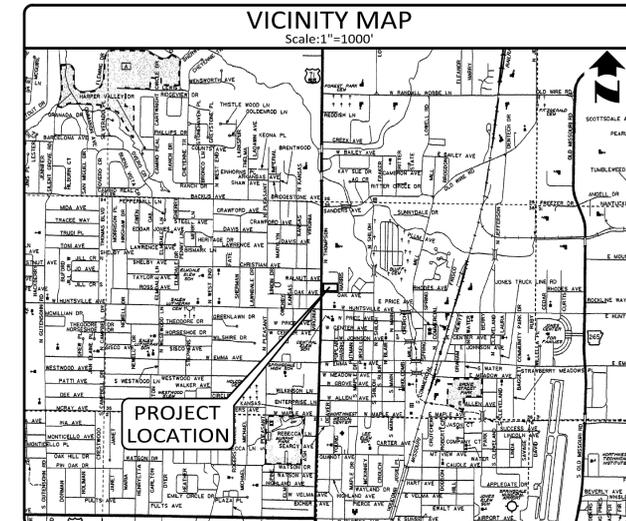
for

## LAS MARGARITAS PLAZA US HWY 71B / Oak Avenue

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### Springdale, Arkansas

#### Springdale Project #L20-17



**INDEX OF SHEETS**

1. Cover, Vicinity Map, & Sheet Index
2. Informal Plat
3. Informal Plat
4. Existing Conditions
5. Site Demolition Plan
6. Site Dimension And Paving Plan
7. Site Grading And Drainage Plan
8. Site Utility Plan
9. Site Erosion Control Plan
10. Miscellaneous Details
11. ARDOT Detail DR-1
12. ARDOT Detail FPC-9S
13. Drainage Details
14. Utility Details
15. Erosion Details
16. City Of Springdale Details 1
17. City Of Springdale Details 2
18. Site Landscaping Plan

**SURVEY DESCRIPTION - LOT 1**  
 A part of the Southwest Quarter of the Northwest Quarter Section 36, Township 18 North, Range 30 West of the Fifth Principal Meridian and also being a part of Warranty Deed File # 2013-00023761 filed for record July 15, 2013 in the office of the Circuit Clerk of Washington County being more particularly described as follows:

Commencing at a calculated position for the Southwest Corner of the Southwest Quarter of the Northwest Quarter of Section 36 as depicted on a State Plat Depository Document No. 201503090068, thence North a distance of 440 feet; thence South 87°33'28" East a distance of 45.0 feet to a railroad spike being on the East Right of Way of Highway 71; thence along said Right of Way, North 01°59'13" East a distance of 2.50 feet to a mag nail with 1834 washer and the Point of Beginning; thence along said Right of Way, North 01°59'13" East a distance of 117.39 feet to a railroad spike; thence continuing along said Right of Way, South 88°12'27" East a distance of 9.97 feet to a railroad spike; thence continuing along said Right of Way, North 02°01'25" East a distance of 65.60 feet to a one-half inch (1/2") rebar with 1834 cap; thence departing from said Right of Way, South 87°50'43" East a distance of 338.33 feet to a one-half inch (1/2") rebar with 1834 cap being on the West Right of Way of Harris Street; thence along Harris Street Right of Way, South 02°05'37" West a distance of 184.80 feet to a one-half inch (1/2") rebar at the intersection of the dedicated Oak Street Right of Way and Harris Street Right of Way; thence along the North Right of Way of Oak Street, North 87°33'28" West a distance of 348.00 feet to the Point of Beginning, containing 1.46 acres +/-.

**PROPOSED ZONING REGULATIONS (C-5)**  
**REGIONAL AND OPEN-DISPLAY COMMERCIAL**

- Building setbacks for C-2 Commercial Light zoning district are 30 feet in front or 50 feet in front if parking is allowed between right-of-way and the building, 0 foot side yard (subject to applicable fire and building codes) or 20 feet for side yard along a residential district, and 20 feet rear.

*Issued For Review - 5.28.2020*

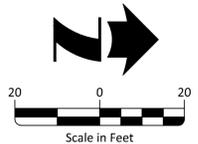
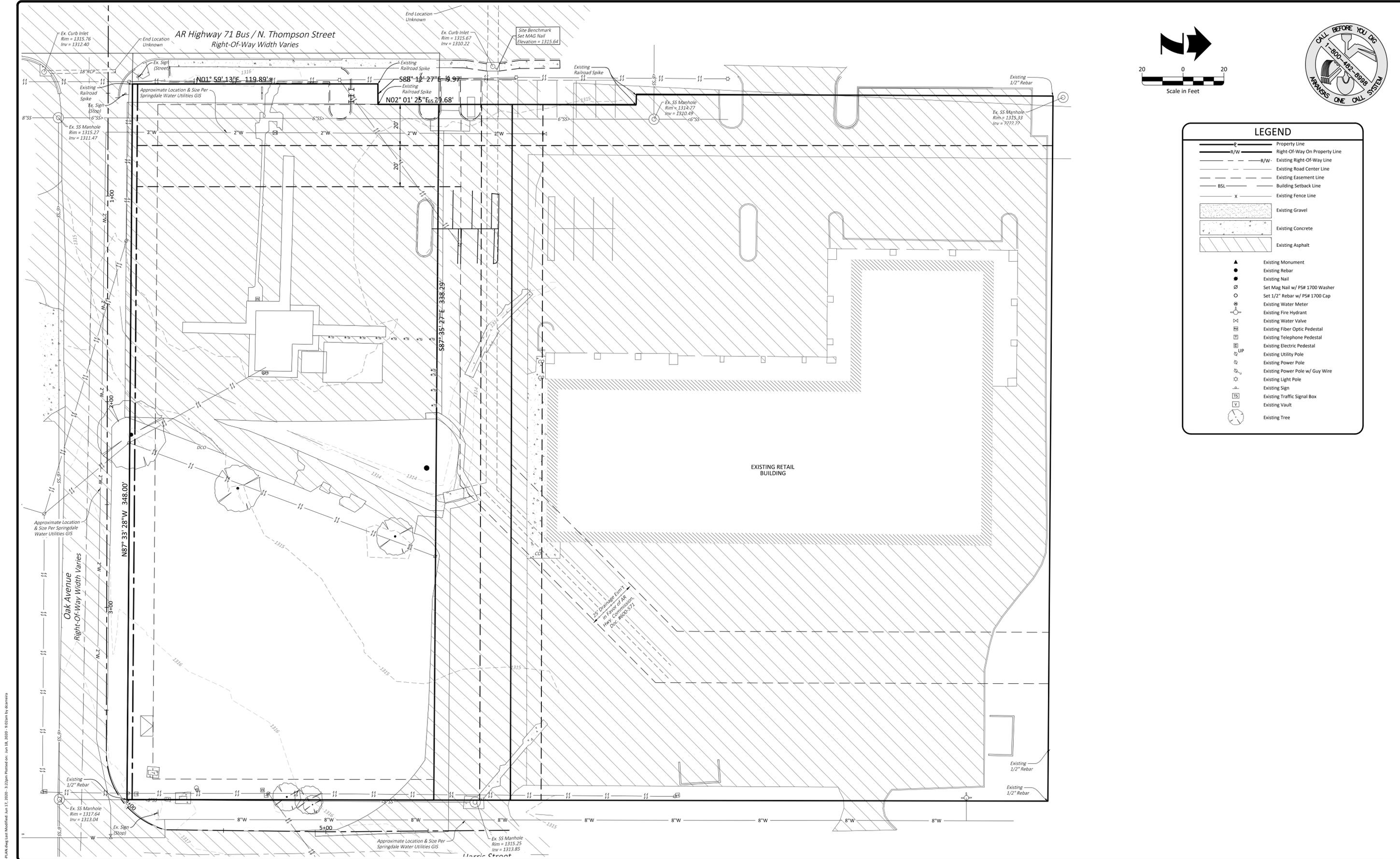


**MORRISON SHIPLEY**

**ARCHITECT**  
 BOTI Architecture  
 5214 W. Village Parkway, Suite 201  
 Rogers, AR 72758  
 Contact: Casey Clipping  
 Telephone: (877) 297-2684, 201 (ext.)  
 casey@boti.studio

**OWNER**  
 Mancía Properties LLC  
 2021 West Sunset Ave.  
 Springdale, AR 72762  
 Contact: David Mancía  
 Telephone: (479) 788-6123

SITE UTILITY CONTACTS CITY OF SPRINGDALE, AR	
<p><b>NATURAL GAS</b>                      BLACK HILLS ENERGY                      CONTACT: DON BRADSHAW                      1811 E. BORICK FAYETTEVILLE, AR                      PHONE: 479-575-1460</p> <p><b>TELEPHONE</b>                      AT&amp;T CONTACT:                      DON L. NOBLIN                      P.O. BOX 7449 SPRINGDALE, AR 72766                      PHONE: 479-442-1964</p>	<p><b>ELECTRIC</b>                      AEP-SWEPSCO                      CONTACT: JOHN LE                      101 W. TOWNSHIP STREET                      FAYETTEVILLE, AR 72703 PHONE:                      479-973-2426</p>
GOVERNING AGENCIES	
<p><b>CITY OF SPRINGDALE</b>                      201 SPRING STREET                      SPRINGDALE, ARKANSAS 72764                      PHONE: 479-750-8114</p> <p><b>PLANNING</b>                      CONTACT: AUSTIN THOMAS                      PHONE: 479-750-8550                      athomas@springdalear.gov</p> <p><b>ENGINEERING</b>                      CONTACT: CARL COONEY, JR; P.E.                      PHONE: 479-756-7716                      ccooney@springdalear.gov</p> <p><b>BUILDING DEPARTMENT</b>                      CONTACT: MARK CHAMLEE                      PHONE: 479-750-8154                      mchamlee@springdalear.gov</p>	<p><b>SPRINGDALE WATER UTILITIES - ENGINEERING</b>                      CONTACT: LARRY PECKHAM 526 OAK AVENUE                      SPRINGDALE, AR 72764 PHONE: 479-927-4173                      lpeckham@springdalewater.com</p> <p><b>SPRINGDALE WATER UTILITIES - PRETREATMENT</b>                      CONTACT: BRADLEY STEWART                      P.O. BOX 769 SPRINGDALE, AR 72765                      PHONE: 479-756-3657                      bstewart@springdalewater.com</p> <p><b>FIRE DEPARTMENT</b>                      CONTACT: MIKE IRWIN                      PHONE: 479-751-4510                      mirwin@springdalear.gov</p> <p><b>DEPARTMENT OF HEALTH</b>                      ARKANSAS DEPARTMENT OF HEALTH                      DIVISION OF ENGINEERING, SLOT 37                      4815 W. MARKHAM LITTLE ROCK, AR                      72205 PHONE: 501-661-2623</p>



LEGEND	
	Property Line
	Right-Of-Way On Property Line
	Existing Right-Of-Way Line
	Existing Road Center Line
	Existing Easement Line
	Building Setback Line
	Existing Fence Line
	Existing Gravel
	Existing Concrete
	Existing Asphalt
	Existing Monument
	Existing Rebar
	Existing Nail
	Set Mag Nail w/ PS# 1700 Washer
	Set 1/2\" Rebar w/ PS# 1700 Cap
	Existing Water Meter
	Existing Fire Hydrant
	Existing Water Valve
	Existing Fiber Optic Pedestal
	Existing Telephone Pedestal
	Existing Electric Pedestal
	Existing Utility Pole
	Existing Power Pole
	Existing Power Pole w/ Guy Wire
	Existing Light Pole
	Existing Sign
	Existing Traffic Signal Box
	Existing Vault
	Existing Tree

Drawing Name: M:\USDRP\PLANS\01\DWG\01-01-PLANS.dwg Last Modified: Jun 17, 2020 - 3:22pm Plotted on: Jun 18, 2020 - 9:02am by dsarreira

Revision	By	Date
REVISD PLAN PER CITY COMMENTS	TLB	6.17.2020

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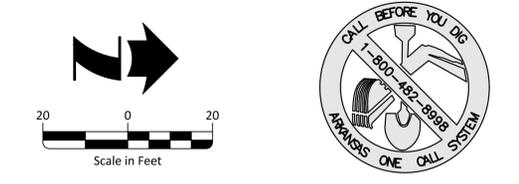
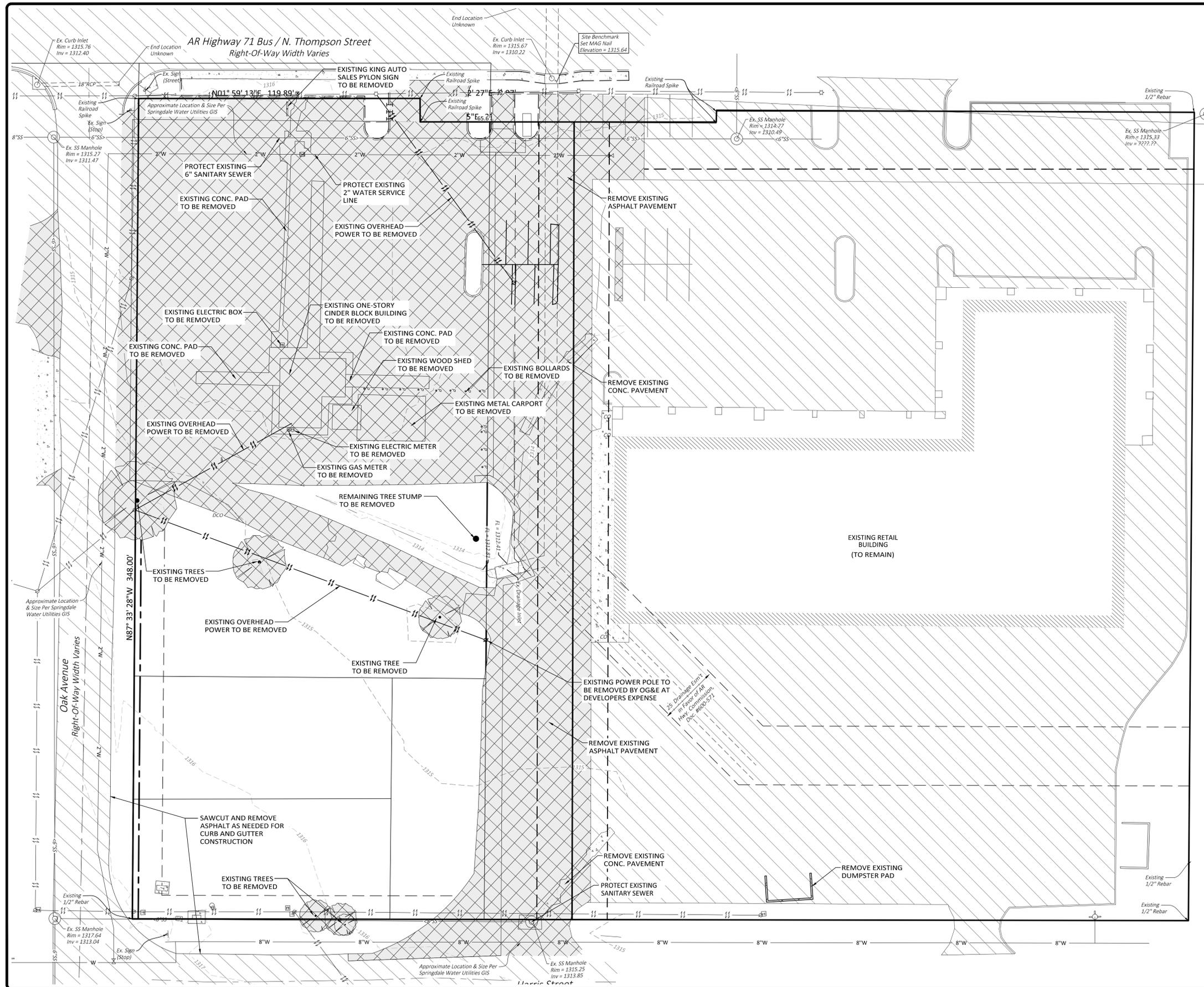
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Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
Project No.: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17  
Springdale, Washington County, Arkansas

EXISTING CONDITIONS  
Issued for Review - 5.28.2020

Sheet No.:  
**4**  
18  
of



LEGEND			
	Boundary Line		Existing Monument
	R/W Right-Of-Way Line		Existing Rebar
	Road Center Line		Existing Nail
	Easement Line		Set Mag Nail w/ PS# 1507 Washer
	Existing Gravel		Set 1/2" Rebar w/ PS# 1507 Cap
	Existing Concrete		Existing Water Meter
	Existing Asphalt		Existing Fire Hydrant
	24" W Existing Water Line		Existing Water Valve
	12" SS Existing San. Sewer Line		Existing Sewer Manhole
	G Existing Gas Line (Approx. Location)		Existing Sewer Clean Out
	Existing Overhead Power Line		Existing Gas Meter
	24" RCP Existing Drainage Pipes		Existing Telephone Pedestal
	X Existing Fence Line		Existing Electric Pedestal
	Flow Line		Existing Utility Pole
	Existing Contours		Existing Power Pole
	Proposed Demolition		Existing Power Pole w/ Guy Wire
			Existing Sign
			Existing Tree

- Site Demolition General Notes**
- The Contractor Is Responsible For The Demolition, Removal, And Disposing In A Location Approved By All Governing Authorities, Of All Buildings, Footings, Structures, Pads, Walls, Flumes, Foundations, Parking, Drives, Sidewalks, Drainage, Structures, Utilities, Etc., Such That The Improvements Shown On The Remaining Plans Can Be Constructed. All Facilities To Be Removed Shall Be Undercut To Suitable Material And Brought To Grade With Suitable Compacted Fill Material Per The Project Details.
  - The Contractor Is Responsible For Removing All Debris From The Site And Disposing Of The Debris In A Lawful Manner. The Contractor Is Responsible For Obtaining All Permits Required For Demolition And Disposal.
  - The Contractor Shall Maintain All Utility Services To The Surrounding Property Owners At All Times. Utility Services Shall Not Be Interrupted Without Coordination Through The Respective Utility Companies And Affected Property Owners.
  - The Contractor Shall Coordinate With Respective Utility Companies Prior To The Removal/Relocation Of Utilities. The Contractor Shall Coordinate With The Utility Company Concerning Portions Of Work Which May Be Performed By The Utility Company's Forces And Any Fees Which Are To Be Paid To The Utility Company For Their Services. The Contractor Is Responsible For Paying All Fees And Charges.
  - The Locations Of All Existing Utilities Shown On This Plan Have Been Determined From The Best Information Available And Are Given For The Convenience Of The Contractor. The Engineer Assumes No Responsibility For Their Accuracy. Prior To The Start Of Any Demolition Activity, The Contractor Shall Notify The Utility Companies For Marking Onsite Locations Of Existing Utilities.
  - All Existing Sewers, Piping And Utilities Shown Are Not To Be Interpreted As The Exact Location, Or As The Only Obstacles That May Occur On The Site. Verify Existing Conditions And Proceed With Caution Around Any Anticipated Features. Give Notice To All Utility Companies Regarding Destruction And Removal Of All Service Lines And Cap All Lines Before Proceeding With The Work. Utilities Determined To Be Abandoned And Left In Place Shall Be Grouted If Under The Building.
  - Prior To Demolition Occurring, All Erosion Control Devices Shall Be Installed.
  - Should Removal And/or Relocation Activities Damage Fencing, Lighting, Utilities, Storm Inlet Structures, Etc, Then The Contractor Shall Provide New Materials/ Structures. Except For Materials Designed To Be Relocated On This Plan, All Other Construction Materials Shall Be New.
  - Contractor Shall Limit Saw-cut & Pavement Removal To Only Those Areas Where It Is Required As Shown On These Construction Plans. If Any Damage Is Incurred On Any Of The Surrounding Pavement, The Contractor Shall Be Responsible For It's Removal And Repair.
  - The Contractor Shall Coordinate Water Main Work With The City Of Springdale Water Department To Plan Proposed Improvements And To Ensure Adequate Fire Protection Is Constantly Available To The Surrounding Property Owners And Site Through-Out This Specific Work And Through All Phases Of Construction. Contractor Will Be Responsible For Arranging/Providing Any Required Water Main Shut Offs (If Any) With The City Water Department And Fire Department During Construction.
  - Damage To Any Existing Conditions that are to Remain Shall Be Replaced at the Contractor's Expense.
  - A Permit Shall Be Required For All Work Performed With ARDOT Right-Of-Way. All Construction In Said Right-Of-Way Shall Be In Accordance With ARDOT Regulations.

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REVISED PLAN PER CITY COMMENTS	TLB	6.17.2020

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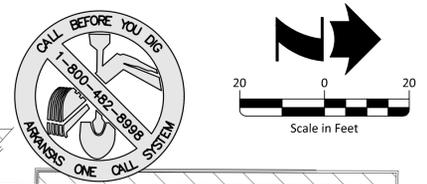
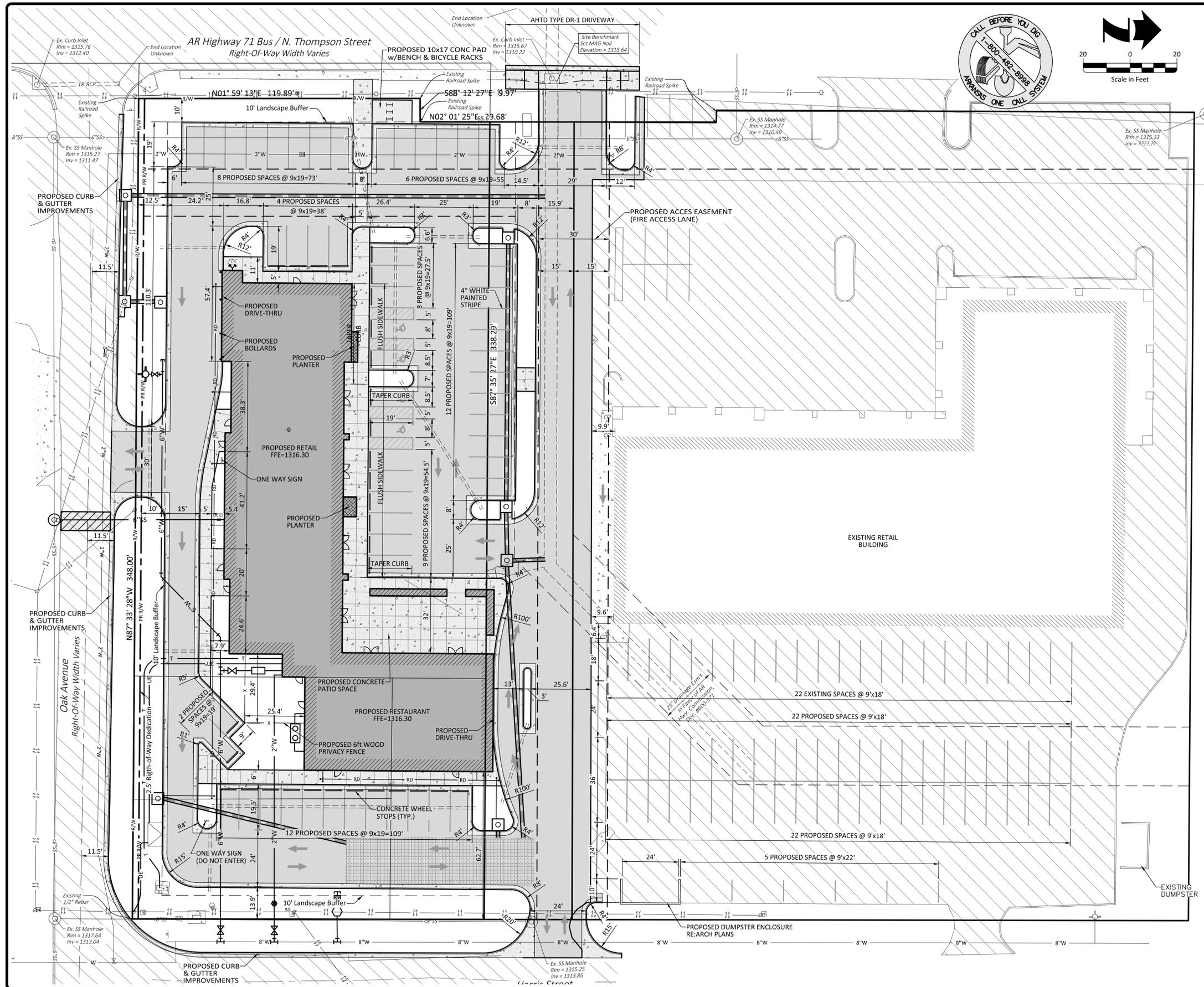
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Date: 5.28.2020	Plotting Scale: 1
Project No.: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17  
Springdale, Washington County, Arkansas

SITE DEMOLITION PLAN  
Issued for Review - 5.28.2020

Sheet No:  
**5**  
18  
of



LEGEND	
	Proposed Building
	Standard Duty Asphalt Paving 1" ACMH Surface Course (AHTD Type 3) 1" ACMH Surface Course (AHTD Type 2) 7" Crushed Base Course (AHTD Class 7)
	Proposed Concrete Pavement With 6" Conc. Curb
	Standard Duty Concrete Paving 7" PCP 4" Crushed Stone Base Course (AHTD Class 7)
	Proposed Sidewalk
	PR R/W Right-Of-Way (Proposed)
	R/W Right-Of-Way (Existing)
	RD Proposed Roof Drain
	Proposed Storm Drain
	Proposed Curb Inlet
	Proposed Sign, See Plan For Type Light Pole, Re: Lighting Plan
	Proposed PVC SDR-35 Sanitary Sewer Service (Private)
	Proposed Domestic Water Service Line (Private)
	Proposed Gas Service Line
	Proposed Underground Electric
	Proposed Telephone Service Line
	Proposed Water Meter
	Proposed Irrigation Meter
	Proposed Gas Meter
	Irrigation Conduit 2 Ea. 4" Sch. 40 PVC (Typ.)
	Proposed Easement Line
	Existing Concrete
	Existing Asphalt
	Existing Easement Line
	Existing Fence Line
	Existing Monument
	Existing Rebar
	Existing Nail
	Set Mag Nail w/ PS# 1507 Washer
	Set 1/2" Rebar w/ PS# 1507 Cap
	Existing Water Meter
	Existing Fire Hydrant
	Existing Water Valve
	Existing Sewer Manhole
	Existing Sewer Clean Out
	Existing Gas Meter
	Existing Telephone Pedestal
	Existing Utility Pole
	Existing Electric Pedestal
	Existing Power Pole
	Existing Power Pole w/ Guy Wire
	Existing Sign
	Existing Tree

\*See Cover Sheet for Site Legal Description. The subject site will be platted as a part of this project.

**Site General Notes:**

- The Contractor Shall Be Solely And Completely Responsible For Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. This Requirement Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
- It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damage To Adjacent Properties During The Construction Phases Of This Project.
- All Dimensions, Unless Otherwise Noted, Are To The Back Of Curb, Face Of Building, Edge Of Pavement, Or Centerline Of Stripe.
- Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
- See Architectural Plans For Exact Building Dimensions and Layout.
- Refer to Lighting Plan For Proposed Parking Lot Lighting Locations And For Pole, Pole Footing, And Pole Fixture Details.
- Refer To Architectural Plans For Details Of The Proposed Entrance Sign, and Dumpster Enclosure.
- A Permit Is Required For All Construction Within ARDOT Right-Of-Way. Said Construction Shall Be In Accordance With ARDOT Regulations.
- All Signage, Pavement Markings, And Striping Shall Conform To The Manual Of Uniform Traffic Control Devices (MUTCD) Standards And Regulations.
- A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department.

PARKING SUMMARY					
Description	Parking Requirement	Parking Spaces Required	Spaces Provided Onsite	Spaces Provided Offsite	Total Spaces Provided
Restaurant S.F. = (3,900) 238 Occupants, 12 employees	1 Per each of four occupants at the max occupancy plus One space per employee on largest shift	72	58	72	133
Retail Sales S.F. = (4,800)	1 Per two hundred S.F. of net floor area up to 10,000 sf	24			
<b>Parking Totals:</b>		<b>96</b>	<b>58</b>	<b>72</b>	<b>129</b>

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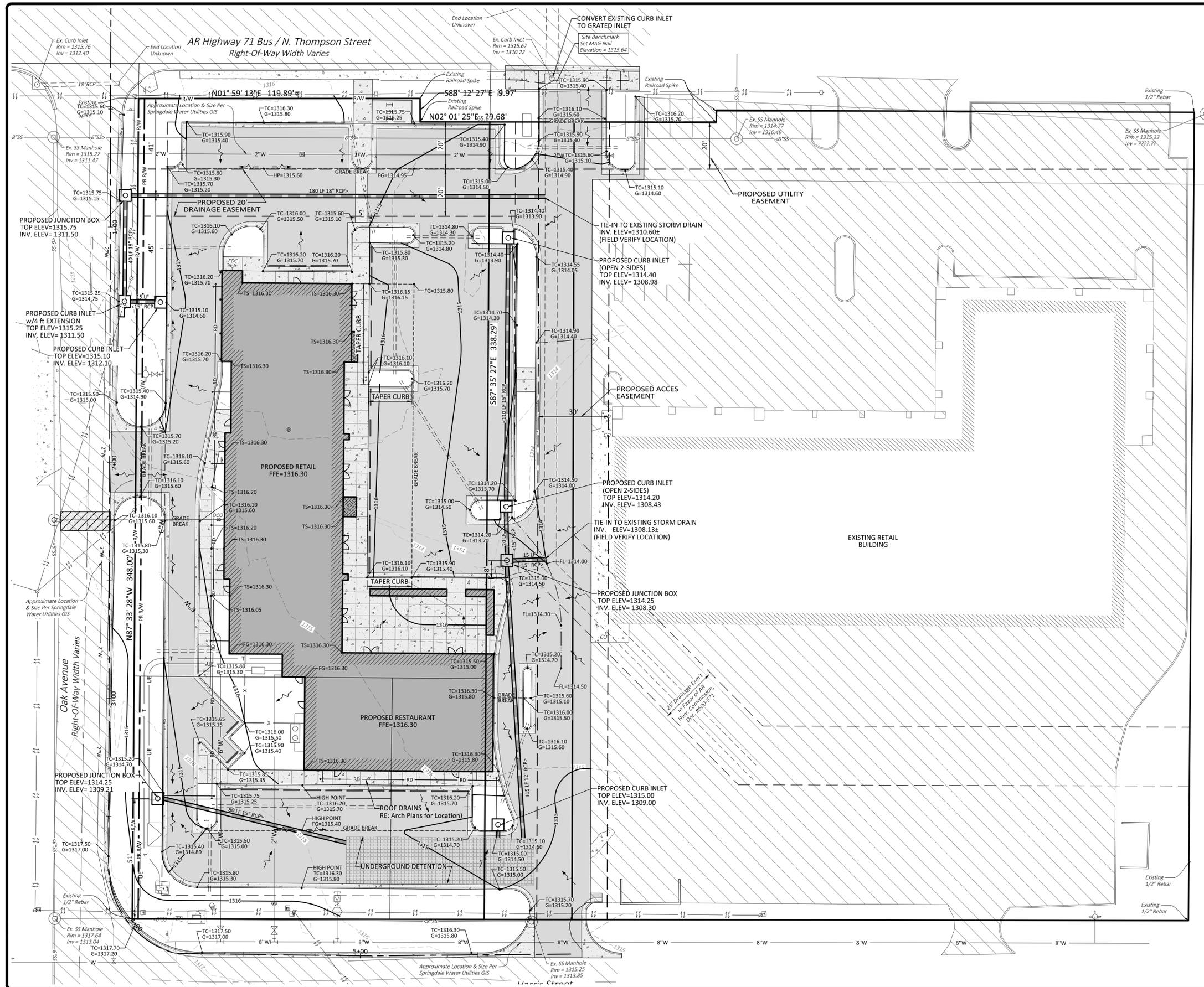
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Project No.: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
 Springdale Project #L20-17  
 Springdale, Washington County, Arkansas

**SITE DIMENSION AND PAVING PLAN**  
 Issued for Review - 5.28.2020

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 of 18



### LEGEND

	Proposed Building		Existing Concrete
	Standard Duty Asphalt Paving 1" ACHM Surface Course (AHTD Type 3) 1" ACHM Surface Course (AHTD Type 2) 7" Crushed Base Course (AHTD Class 7)		Existing Asphalt
	Proposed Concrete Pavement With 6" Conc. Curb		Existing Easement Line
	Standard Duty Concrete Paving 7" PCCP 4" Crushed Stone Base Course (AHTD Class 7)		Existing Fence Line
	Proposed Sidewalk		Flow Line
	PR R/W Right-Of-Way (Proposed)		Existing Contours 475 474
	R/W Right-Of-Way (Existing)		Existing Monument
	RD Proposed Roof Drain		Existing Rebar
	Proposed Storm Drain		Existing Nail
	Proposed Curb Inlet		Set Mag Nail w/ PS# 1507 Washer
	Proposed Top of Curb Elevation TC=1132.69		Set 1/2" Rebar w/ PS# 1507 Cap
	Proposed Gutter Elevation G=1132.19		Existing Water Meter
	Proposed Top of Sidewalk Elevation TS=1132.19		Existing Fire Hydrant
	Proposed Finished Surface Elevation FG=1132.19		Existing Water Valve
	Proposed Contour Line 1135		Existing Sewer Manhole
	Finished Grade Slope		Existing Sewer Clean Out
	Proposed Sign, See Plan For Type		Existing Gas Meter
	Light Pole, Re: Lighting Plan		Existing Telephone Pedestal
	Proposed Water Meter		Existing Electric Pedestal
	Proposed Irrigation Meter		Existing Utility Pole
	Irrigation Conduit 2 Ea.- 4" Sch. 40 PVC (Typ.)		Existing Power Pole
			Existing Power Pole w/ Guy Wire
			Existing Sign
			Existing Tree

- Site Grading and Drainage General Notes:**
- No Land Clearing Shall Begin Until All Erosion Control Measures Have Been Installed. The Contractor Shall Take All Precautions To Prevent Soil Sediment From Leaving The Site. All Erosion Control Measures Shall Be Maintained Until All Contributing Areas Are Graded And Stabilized.
  - All Disturbed Areas And Slopes Shall Be Graded Smooth, Receive 4" Topsoil And Sod. Refer To The Landscape Plan.
  - All Storm Sewer Distances Are From Center Of Inlet To Center Of Inlet Or From Center Of Inlet To End Of Flared-End-Section.
  - All Existing Utility Vaults, Valves, Meters, And Boxes To Be Adjusted To Finished Grades In Accordance With City Of Springdale Regulations And To The Corresponding Utility Companies Requirements.
  - No Finished Grade Slopes Shall Exceed 3:1.
  - All Soils Under The Building And Pavement Shall Be Structural Fill Approved By The Soils Engineer. Contractor Will Be Required To Provide Proctor Tests To Be Reviewed/Approved By The Soils Engineer.
  - Refer To The Architecture Plans For Exact Location Of Roof Drain Downspouts.
  - An ARDOT Permit Is Required For All Work Performed Within Highway Department Right-Of-Way. All Work In Said Right-Of-Way Shall Be In Accordance With ARDOT Regulations.
  - Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:
    - Development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
    - The disturbed soil area is observed to have 80% grass coverage and 100% stability, and
    - No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
    - Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
    - All heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site.
  - A City of Springdale Detention/Retention Certification form must be completed, stamped, and signed by a Certified Professional Engineer, post-development and submitted to the City of Springdale Engineering Department.

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Date: 5.28.2020	Plotting Scale: 1
Project No.: LJC-01	Drawing Name: PLAN

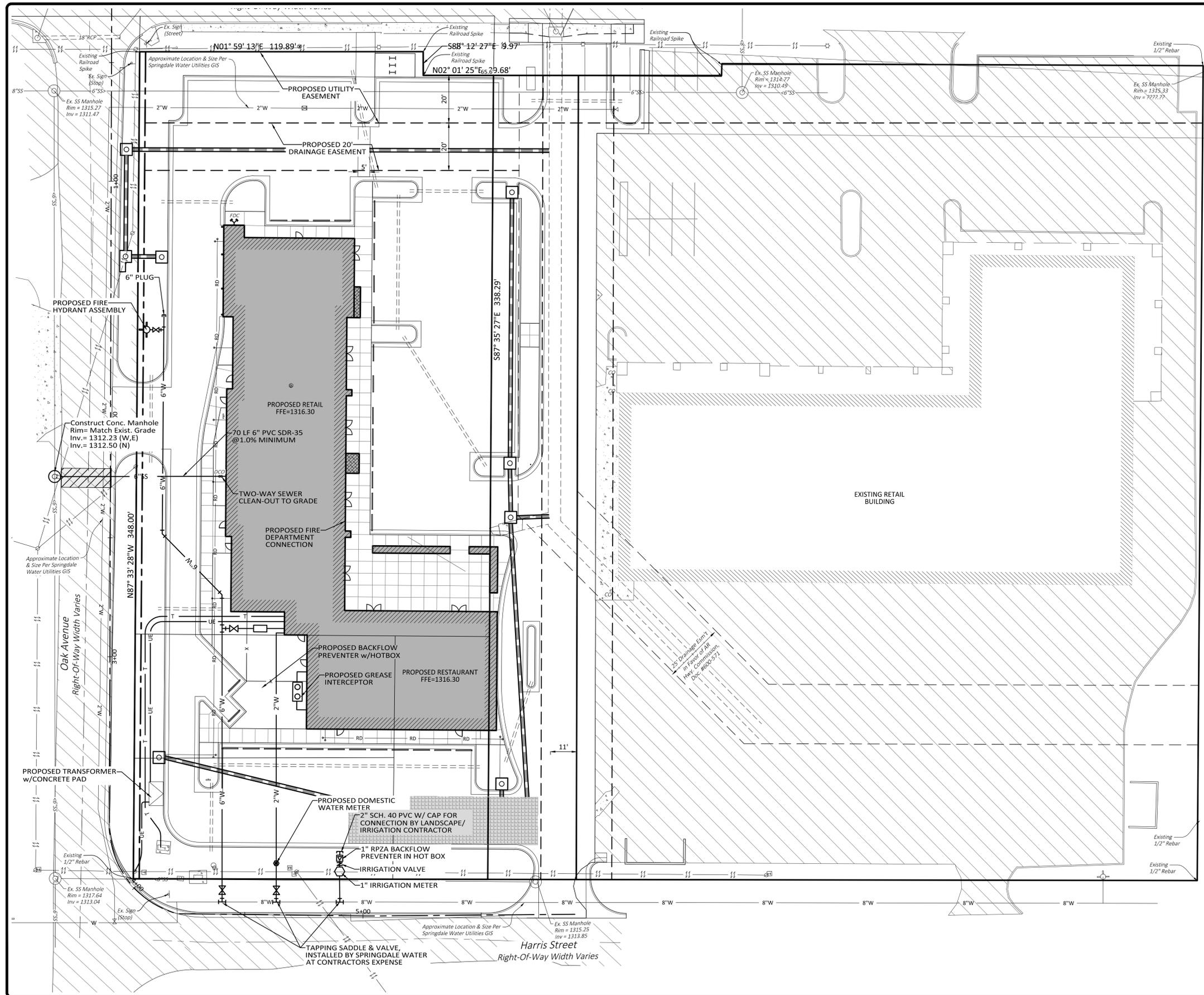
**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17

Springdale, Washington County, Arkansas

**SITE GRADING AND DRAINAGE PLAN**

Issued for Review - 5.28.2020

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of  
**18**



### LEGEND

	Proposed Building		Existing Concrete
	Standard Duty Asphalt Paving 1" ACHM Surface Course (AHTD Type 3) 1" ACHM Surface Course (AHTD Type 2) 7" Crushed Base Course (AHTD Class 7)		Existing Asphalt
	Proposed Concrete Pavement With 6" Conc. Curb		Existing Easement Line
	Standard Duty Concrete Paving 7" PCCP 4" Crushed Stone Base Course (AHTD Class 7)		Existing Fence Line
	Proposed Sidewalk		Existing Monument
	PR R/W Right-Of-Way (Proposed)		Existing Rebar
	R/W Right-Of-Way (Existing)		Existing Nail
	RD Proposed Roof Drain		Set Mag Nail w/ PS# 1507 Washer
	Proposed Storm Drain		Set 1/2" Rebar w/ PS# 1507 Cap
	Proposed Curb Inlet		Existing Water Meter
	Proposed Sign, See Plan For Type Light Pole, Re: Lighting Plan		Existing Fire Hydrant
	Proposed PVC SDR-35 Sanitary Sewer Service (Private)		Existing Water Valve
	Proposed Domestic Water Service Line (Private)		Existing Sewer Manhole
	Proposed Gas Service Line		Existing Sewer Clean Out
	Proposed Underground Electric		Existing Gas Meter
	Proposed Telephone Service Line		Existing Telephone Pedestal
	Proposed Water Meter		Existing Electric Pedestal
	Proposed Irrigation Meter		Existing Utility Pole
	Proposed Gas Meter		Existing Power Pole
	Irrigation Conduit 2 Ea. - 4" Sch. 40 PVC (Typ.)		Existing Power Pole w/ Guy Wire
	Proposed Easement Line		Existing Sign
			Existing Tree

- Site Utility General Notes:**
- Existing Utilities Across Or Along The Line Of The Proposed Work Are Shown Only In An Approximate Location On These Plans. The Contractor Shall Call The State One-call System Prior To Construction @ 1-800-482-8998. The Contractor Shall, On His Own Initiative And At No Additional Cost, Locate All Underground Lines And Structures As Necessary. The Contractor Shall Verify And Calculate All Points Of Connection And All Utility Crossings And Inform Morrison-ShIPLEY Engineers, Inc. And/or The Owner Of Any Conflicts Or Required Deviations From The Plans. Morrison-shIPLEY Engineers, Inc. Shall Be Held Harmless In The Event The Contractor Fails To Make Such Notification.
  - All Electric, Telephone, And Gas Extensions Including Service Lines Shall Be Installed To The Appropriate Utility Company Specifications And Requirements. All Utility Company Disconnections Shall Be Coordinated With The Designated Utility Company.
  - It Shall Be Distinctly Understood That Failure To Specifically Indicate Work Which Is Required To Complete This Project Shall Not Relieve The Contractor Of His Responsibility To Perform Such.
  - All Utilities Shall Terminate Five (5) Feet Outside The Building Unless Otherwise Noted. The End Of All Service Lines Shall Be Tightly Capped Or Plugged And Marked Until Such Time As Connections Are Made Inside The Building. Coordinate All Entrances To The Building With The Architectural Plans And M.E.P. Plans.
  - All Private Water And Sewer Materials And Construction Shall Be In Accordance With Local, State, And Federal Plumbing Code.
  - All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To Final Connection Of Utility Services.
  - It Is The Responsibility Of The Property Owner To Obtain All Utility Easements That Are Necessary For The Installation And Maintenance Of All Proposed Utilities. The Easements Must Be Obtained Prior To Beginning Any Public Utility Installation.
  - The Domestic Water Service Line Shall Include An Internal RP Type Backflow Preventor. Provisions Shall Be Provided For Thermal Expansion And Drainage With The Domestic Water Service Line To The RPZ. Refer To M.E.P. Plans.
  - The Irrigation System Shall Be Protected By An RP Type Backflow Preventor. Irrigation System To Be Designed By Others.
  - Backflow Prevention Assemblies Installed Outdoor Shall Be Protected By An Enclosure Which Complies With The Standards And Specifications Set Forth By The American Society Of Sanitary Engineering (ASSE) Code 1060.
  - The Estimated Peak Water Demand For This Project Is XX GPM.
  - The Estimated Electric Total Connected Load For This Project Is 3 Phase, XXX Amp, 120/208 Volts.
  - The Estimated Gas Service Total Connected Load Is XXX MBH, XXX,000 BTU, And XXX Cubic Feet Per Hour.

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Date: 5.28.2020	Plotting Scale: 1
Project No.: LJC-01	Drawing Name: PLAN

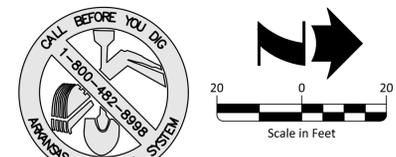
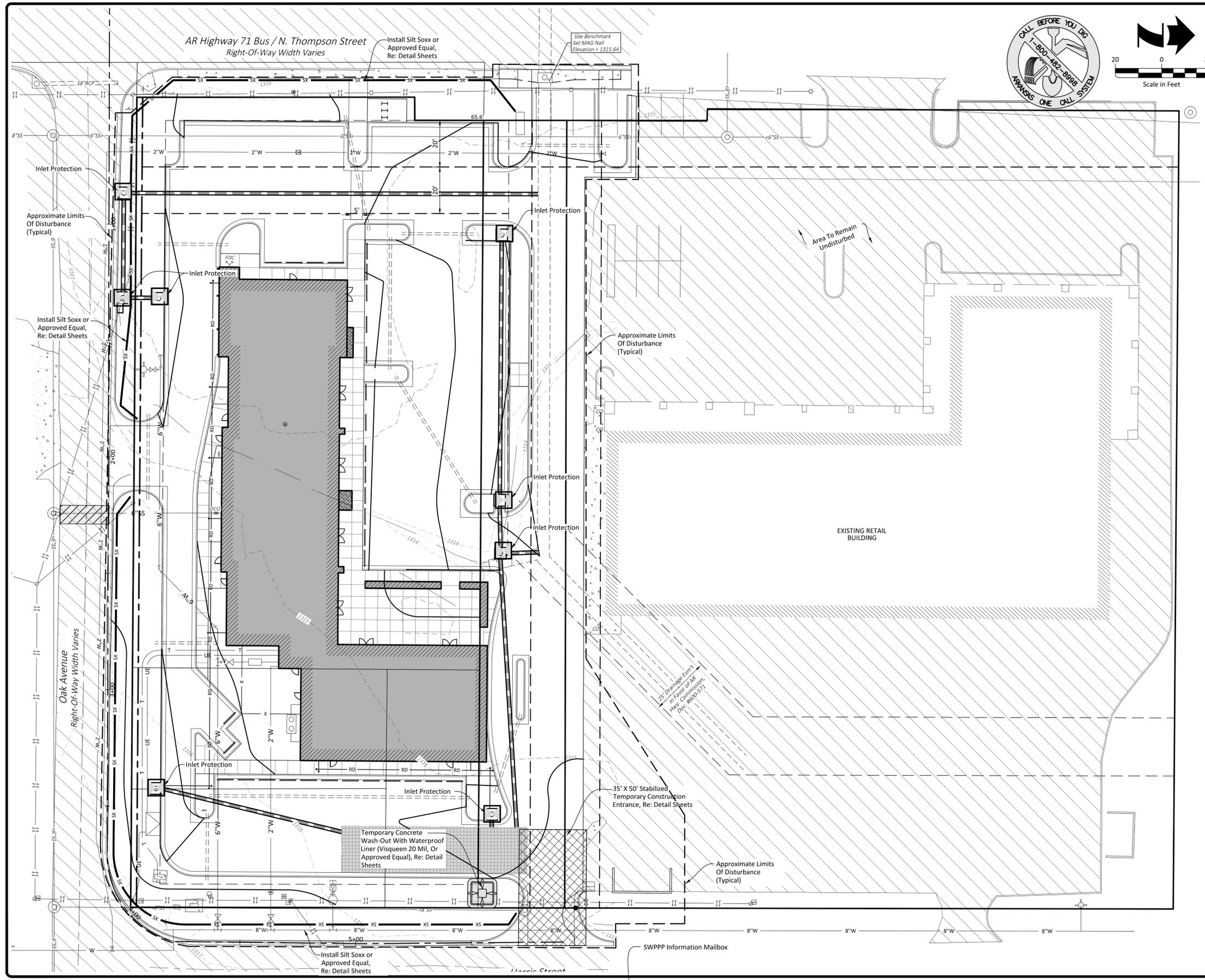
**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17

Springdale, Washington County, Arkansas

SITE UTILITY PLAN

Issued for Review - 5.28.2020

Sheet No. 8 of 18



LEGEND	
	Easement Line
	Proposed Building
	Proposed Concrete Pavement W/ 6" Conc. Curb & Gutter
	Proposed Concrete Sidewalk
	Proposed Contour Line
	Finished Grade Slope
	Proposed Curb Inlet
	Proposed Drainage Pipe
	Proposed Temporary Construction Entrance
	Proposed Concrete Washout Area
	Proposed Silt Soxx, Or Approved Equal
	Proposed Inlet Protection
	Flow Arrows
	Proposed Limits of Disturbance
	Boundary Line
	Right-Of-Way Line
	Road Center Line
	Easement Line
	Existing Gravel
	Existing Concrete
	Existing Asphalt
	Existing Drainage Pipes
	Existing Fence Line
	Flow Line
	Existing Contours
	Existing Sign
	Existing Tree

- Site Erosion Control General Notes:**
1. Stabilization Measures Shall Be Initiated As Soon As Practicable In Portions Of The Site Where Construction Activities Have Temporarily Or Permanently Ceased, But In No Case More Than Seven (7) Days After Work Has Ceased. Following Initial Soil Disturbance Or Redisturbance, Permanent Or Temporary Stabilization Shall Be Completed Within Seven Calendar Days For The Surface Of All Perimeter Slopes.
  2. All Sediment And Erosion Control Devices Shall Be Inspected Every Seven (7) Days And Within 24 Hours Of Each Rainfall Occurrence That Exceeds One-half (0.5) Inch, Or Greater. Damaged Or Ineffective Devices Shall Be Repaired Or Replaced, As Necessary.
  3. Provide Temporary Construction Entrance, Silt Fence, Inlet Protection, And Other Erosion Control Devices, As May Be Required, To Control Soil Erosion During All Phases Of Construction. All Disturbed Areas Shall Be Cleaned Of Debris, Finish Graded, And Stabilized With Permanent Vegetation Immediately After Completion Of Construction.
  4. All Erosion Control Devices Shall Be Properly Maintained Until The Completion Of All Phases Of Construction And All Disturbed Areas Have Been Stabilized. Additional Control Devices May Be Required During Construction In Order To Control Erosion And/Or Off-Site Sedimentation. All Temporary Control Devices Shall Be Removed Once Permanent Vegetation Is Established.
  5. All Areas Not To Be Paved Or Landscape Beds Shall Be Sodded With Bermuda Grass. Refer To The Landscape Plan.
  6. The Contractor Shall Inspect, Repair, And Add Stone To The Stabilized Construction Entrance When It Becomes Saturated With Mud To Ensure It Works As Intended.
  7. The Topsoil Stockpile Shall Be Graded To Drain And Seeded With A Temporary Seed Mix. Silt Soxx, Or Approved Equal, Shall Be Installed On The Downhill Side Of The Topsoil Stockpile.
  8. Dust Control On-site Shall Be Minimized By Spraying Water On Dry Areas Of The Site. The Use Of Oils And Other Petroleum Based Or Toxic Liquids For Dust Suppression Is Prohibited. Any Sediment Track-Out Shall Be Corrected Immediately By Sweeping, Shoveling, Or Vacuuming Surfaces. Hosing Or Sweeping Sediment Into Downstream Storm Water Conveyance Areas Is Prohibited.
  9. If The Majority Of Mud Or Dirt Is Not Removed From Traffic Exits, Contractor Shall Establish Additional Vehicle Wash Areas At Construction Traffic Exit Points. Rinse-Off Will Not Be Allowed Outside The Project Construction Limits.
  10. All Erosion And Sedimentation Controls Shown On The Plans Shall Be Constructed In Accordance With Governing Authorities And Maintained As Part Of This Contract. Contractor To Install Erosion Control In Accordance With The Erosion Sedimentation Control Plan As A Minimum. Other Measures May Be Required To Assure That Silt Is Controlled On-site.
  11. Hazardous Construction Materials And Waste Must Be Stored In A Manner That Minimizes Contact With Storm Water. Refer To Part 3.3.3 Of The ARK General Permit, Section F, e. Of The SWPPP, And The Spill Prevention And Response Checklist-Appendix B Of The SWPPP.

**Soil Data:**  
 The Existing On-Site Soils Are Bengal-Clebit Association (3-15% Slopes), Cowton Loam (3-5% Slopes), Stigler silt loam (1-3%), Nuff-Rexor Soils (0-1%) These Soil Types Belongs To Hydrologic Soil Group D, Which Has A Very Slow Infiltration Rate When Thoroughly Wet And A Very Slow Rate Of Water Transmission.

**Note To Contractor:**  
 All Erosion Control Shown Functions As A Guide. It Is The Contractor's Responsibility To Ensure That The Requirements Of The Arkansas Department Of Environmental Quality Storm Water Permit Are Maintained. Actual Erosion Control Devices May Vary Due To The Contractor's Sequence Of Demolition And Construction. Additional Measures May Become Necessary During Construction.

- Sequence Of Construction:**
1. Install Temporary Construction Entrance For Construction Traffic At Location Shown In The Plans.
  2. Install Silt Soxx (Or Approved Equal), Inlet Protection, And Other Erosion Control Measures.
  3. Begin Demolition. Rough-grade The Driveways, Parking Lot, And Building Pad. Perform Mass Grading Of The Site.
  4. Install Storm Sewer, Water, Sanitary Sewer, And Other Utility Lines. When Underground Utility Installation Is Complete, Fine-grade The Paved Areas To Subgrade And Install The Stone Base Course. Construct The Curb And Gutter And Backfill The Curbs. Install The Concrete Pavement For The Project.
  5. As These Phases Progress, Intermittent Storm Water Controls Should Be Installed To Prevent Silt From Washing Off The Construction Site And Entering The Streets, Storm Sewer System, Or Adjacent Properties.
  6. Finish Grade The Site And Perform Final Cleanup. Spread Topsoil And Sod All Areas Disturbed By Construction That Will Not Be Paved Or Landscape Beds. Refer To The Landscape Plan.
  7. Remove Temporary Erosion Control Measures After Permanent Stand Of Vegetation Is Established.

Drawing Name: M:\USDP\PROJECTS\01\DWG\01-01\PLAN\ANG Last Modified: Jun 17, 2020, 3:22pm Plotted on: Jun 18, 2020, 10:30am by dsarrera

Revision	By	Date
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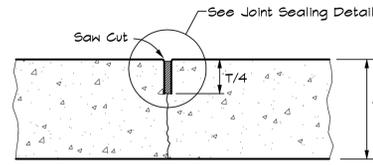
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Drawn By: DRC	Vertical Scale: -
Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
Project No: LJC-01	Drawing Name: PLAN

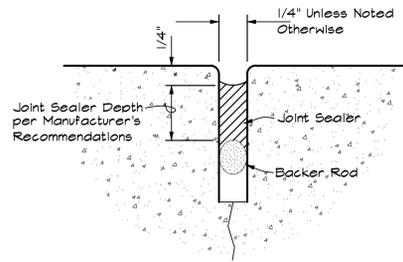
**LAS MARGARITAS PLAZA**  
 Springdale Project #L20-17  
 Springdale, Washington County, Arkansas

**SITE EROSION CONTROL PLAN**  
 Issued for Review - 5.28.2020

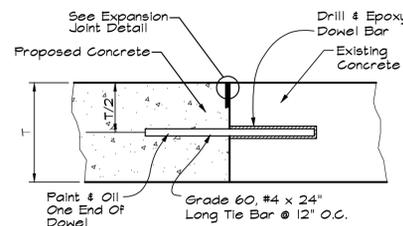
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 of **18**



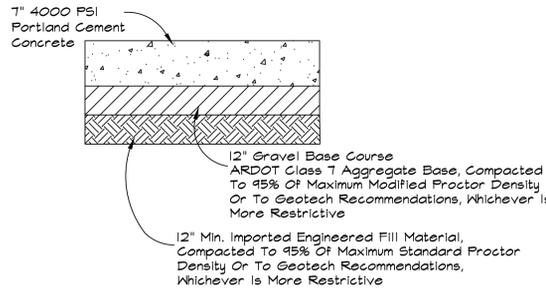
**ST-60: CONTRACTION JOINT**  
Not to Scale



**ST-120: CONCRETE JOINT SEALING**  
Not to Scale

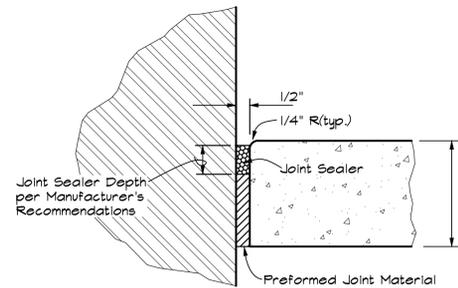


**DOWELED CONSTRUCTION JOINT**  
Not to Scale

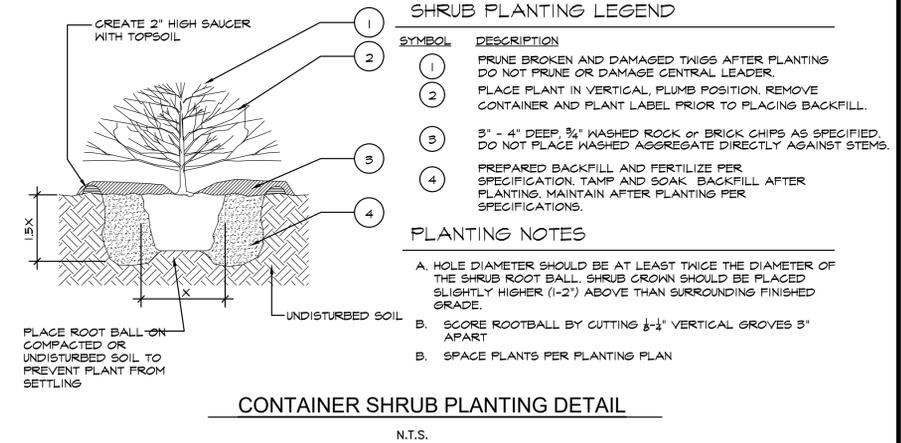


The Portland Cement Concrete Pavement Should Be Designed To Develop A Minimum Compressive Strength Of 4000 PSI @ 28 Days With A 3 To 5 Inch Slump And 5% Air Entrainment.

**CONCRETE PAVEMENT DETAIL**  
**(WITHIN RIGHT-OF WAY)**  
Not to Scale



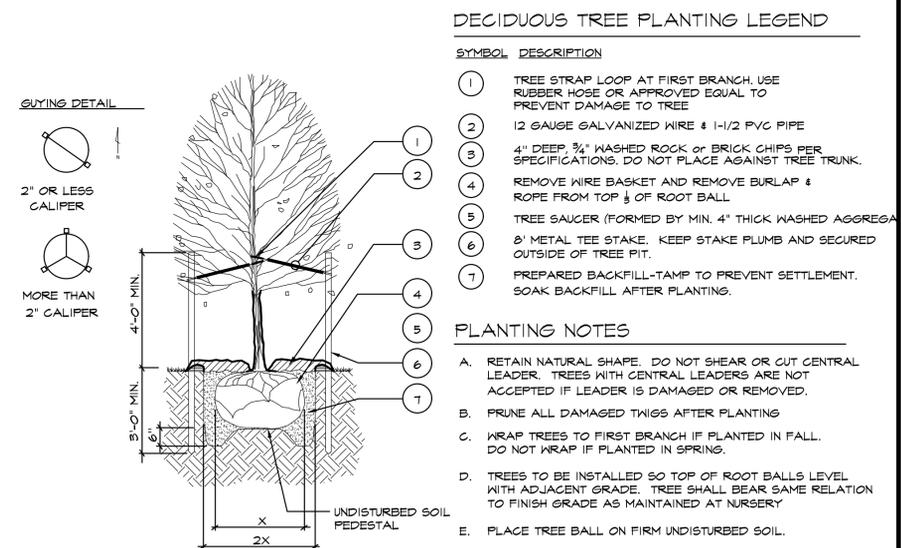
**ST-111: EXPANSION JOINT**  
Not to Scale



- SHRUB PLANTING LEGEND**
- | SYMBOL | DESCRIPTION  |
|--------|--|
| 1      | PRUNE BROKEN AND DAMAGED TWIGS AFTER PLANTING. DO NOT PRUNE OR DAMAGE CENTRAL LEADER.  |
| 2      | PLACE PLANT IN VERTICAL, PLUMB POSITION. REMOVE CONTAINER AND PLANT LABEL PRIOR TO PLACING BACKFILL.                                   |
| 3      | 3" - 4" DEEP 3/4" WASHED ROCK OR BRICK CHIPS AS SPECIFIED. DO NOT PLACE WASHED AGGREGATE DIRECTLY AGAINST STEMS.                       |
| 4      | PREPARED BACKFILL AND FERTILIZE PER SPECIFICATION. TAMP AND SOAK. BACKFILL AFTER PLANTING. MAINTAIN AFTER PLANTING PER SPECIFICATIONS. |

- PLANTING NOTES**
- HOLE DIAMETER SHOULD BE AT LEAST TWICE THE DIAMETER OF THE SHRUB ROOT BALL. SHRUB CROWN SHOULD BE PLACED SLIGHTLY HIGHER (1-2") ABOVE THAN SURROUNDING FINISHED GRADE.
  - SCORE ROOTBALL BY CUTTING 1/2" VERTICAL GROVES 3" APART
  - SPACE PLANTS PER PLANTING PLAN

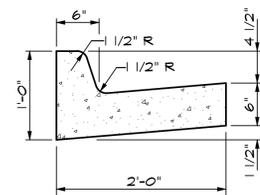
**CONTAINER SHRUB PLANTING DETAIL**  
N.T.S.



- DECIDUOUS TREE PLANTING LEGEND**
- | SYMBOL | DESCRIPTION  |
|--------|--|
| 1      | TREE STRAP LOOP AT FIRST BRANCH. USE RUBBER HOSE OR APPROVED EQUAL TO PREVENT DAMAGE TO TREE |
| 2      | 12 GAUGE GALVANIZED WIRE # 1-1/2 PVC PIPE  |
| 3      | 4" DEEP 3/4" WASHED ROCK OR BRICK CHIPS PER SPECIFICATIONS. DO NOT PLACE AGAINST TREE TRUNK. |
| 4      | REMOVE WIRE BASKET AND REMOVE BURLAP & ROPE FROM TOP 1/2 OF ROOT BALL                        |
| 5      | TREE SAUCER (FORMED BY MIN. 4" THICK WASHED AGGREGATE)                                       |
| 6      | 8" METAL TEE STAKE. KEEP STAKE PLUMB AND SECURED OUTSIDE OF TREE FIT.                        |
| 7      | PREPARED BACKFILL-TAMP TO PREVENT SETTLEMENT. SOAK BACKFILL AFTER PLANTING.                  |

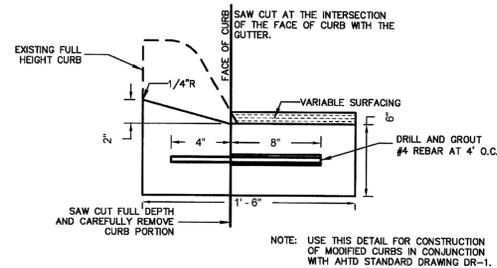
- PLANTING NOTES**
- RETAIN NATURAL SHAPE. DO NOT SHEAR OR CUT CENTRAL LEADER. TREES WITH CENTRAL LEADERS ARE NOT ACCEPTED IF LEADER IS DAMAGED OR REMOVED.
  - PRUNE ALL DAMAGED TWIGS AFTER PLANTING
  - WRAP TREES TO FIRST BRANCH IF PLANTED IN FALL. DO NOT WRAP IF PLANTED IN SPRING.
  - TREES TO BE INSTALLED SO TOP OF ROOT BALLS LEVEL WITH ADJACENT GRADE. TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS MAINTAINED AT NURSERY
  - PLACE TREE BALL ON FIRM UNDISTURBED SOIL.
  - IF POSSIBLE MARK TREE TRUNK ON THE NORTHERN SIDE AT THE NURSERY AND PLANT TREE WITH MARK FACING NORTH
  - TOPSOIL USED SHALL BE AS SPECIFIED IN THE LANDSCAPE SPECIFICATIONS.

**TREE PLANTING DETAIL**  
N.T.S.

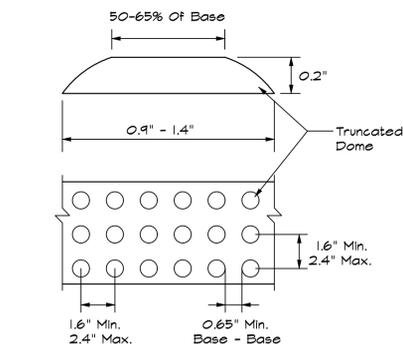


**6" BARRIER CURB & GUTTER (PUBLIC)**  
Not to Scale

- Notes:**
- Provide 1" Deep Sawed Joint At 20' Intervals.
  - Provide 1/2" Preformed Expansion Joint At 100' Intervals And Between Curb And Gutter and Fixed Objects.
  - Curb and Gutter Shall Be Constructed Of Concrete Having A Minimum Compressive Strength of 3,500 PSI.



**ARDOT DETAIL OF CURB REPLACEMENT FOR NEW DRIVEWAY CONSTRUCTION**  
NOT TO SCALE



- NOTES:**
- The Detectable Warning Device Shall Be Located So That The Nearest Edge Of The Device Is 6 To 8 Inches From The Face Of The Curb.
  - Truncated Domes In The Detectable Warning Surface Shall Meet The Requirements Of The Geometric Configuration Shown.
  - Domes Shall Be Aligned On A Square Grid In The Predominant Direction Of Travel To Permit Wheels To Roll Between Domes.
  - Detectable Warning Device Shall Be 24 Inches In The Direction Of Travel And Extend The Full Width Of The Curb Ramp Or Flush Surface.
  - Detectable Warning Devices Shall Be Installed On Accessible Ramps As Required By Local And ADA Codes.

**DETECTABLE WARNING DEVICE**  
Not to Scale

Drawing Name: M:\DDP\PROJECTS\01\DWG\01-01\PLAN\ANG Last Modified: Jun 17, 2020, 3:22pm Printed on: Jun 18, 2020, 9:03am by dsarrafra

Revision	By	Date
REVISED PLAN PER CITY COMMENTS	TLB	6.17.2020

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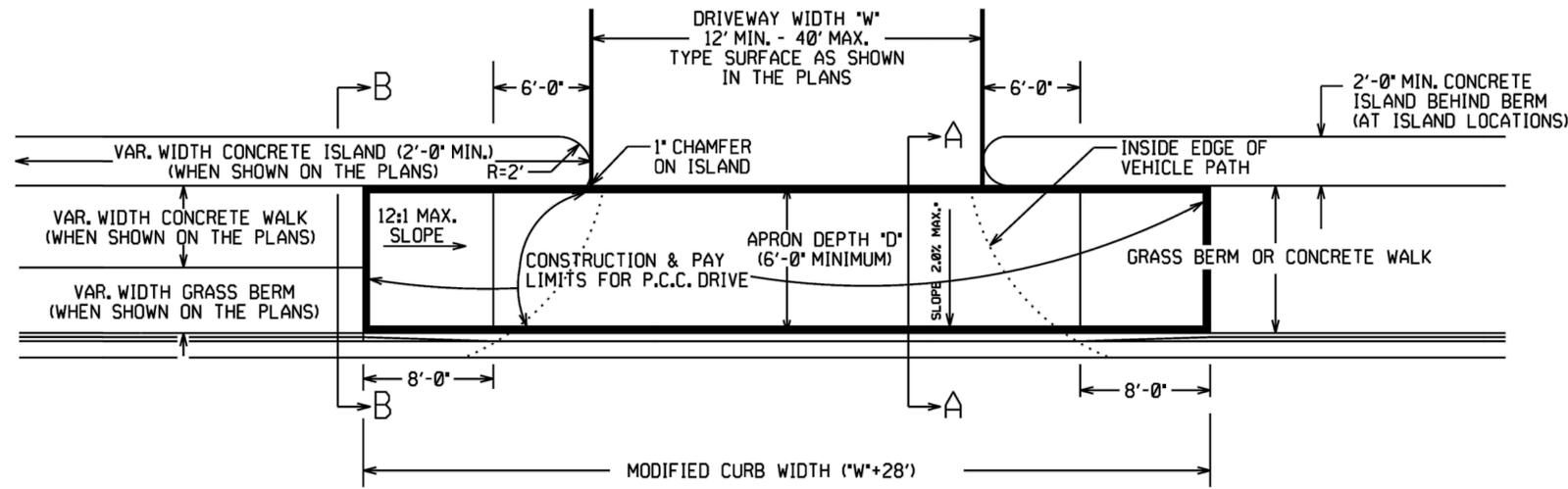
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Approved By:	TLB
Date:	5.28.2020
Project No.:	LJC-01
Vertical Scale:	-
Horizontal Scale:	1"=20'
Plotting Scale:	1
Drawing Name:	PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17  
Springdale, Washington County, Arkansas

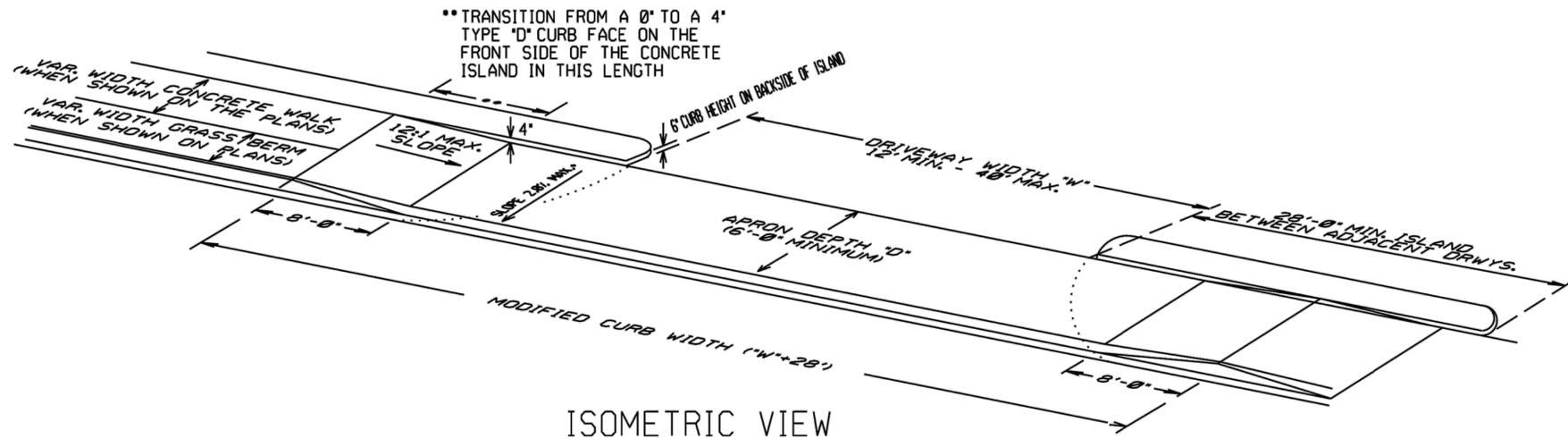
MISCELLANEOUS DETAILS

Issued for Review - 5.28.2020

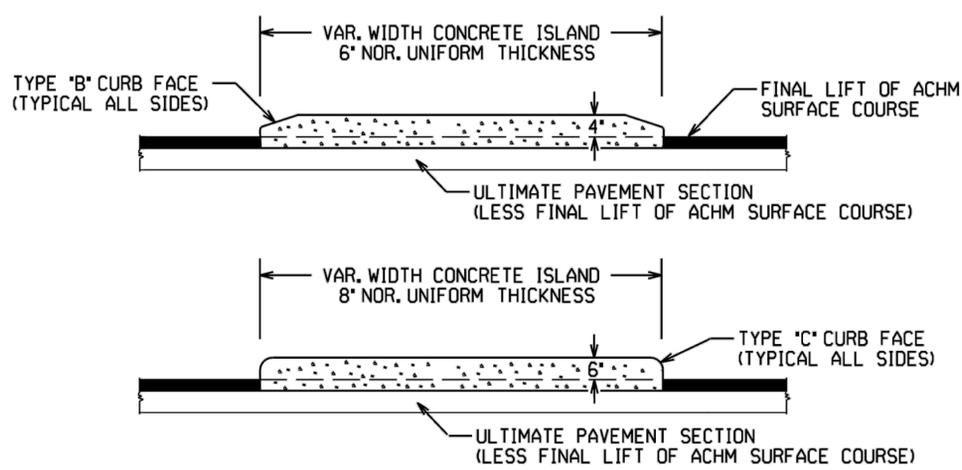
Sheet No. 10 of 18



PLAN VIEW

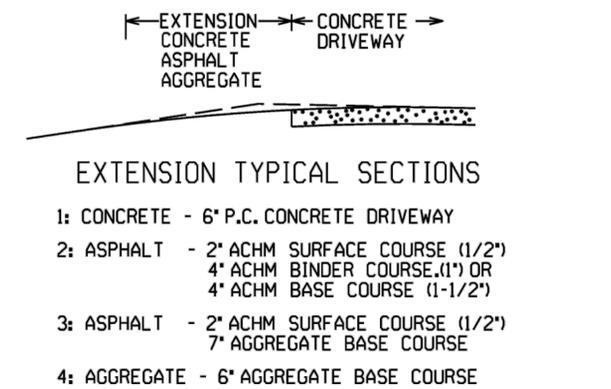


ISOMETRIC VIEW



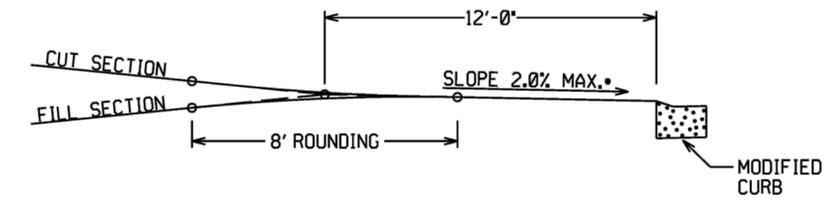
CURBED ISLANDS FOR CHANNELIZATION

REFER TO PLANS FOR TYPE OF CURB FACE TO BE USED.  
NO DIRECT PAYMENT WILL BE MADE FOR THE CURB FACES  
SHOWN ON THE ISLAND DETAILS. PAYMENT FOR THE CURB  
FACE WILL BE INCLUDED IN THE UNIT PRICE BID FOR THE  
ITEM "CONCRETE ISLAND".



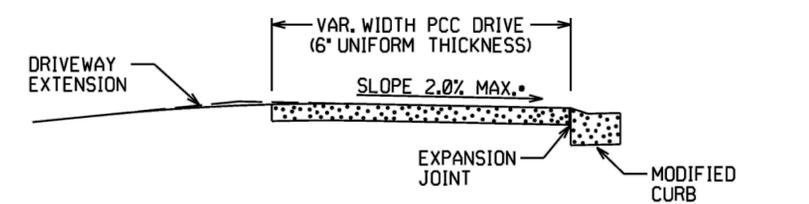
THE TYPE OF EXTENSION SHALL BE AS SHOWN IN THE PLANS.  
THE CONTRACTOR MAY, WITH THE APPROVAL OF THE ENGINEER,  
SUBSTITUTE A LOWER NUMBERED TYPE OF EXTENSION IN LIEU  
OF THE TYPE SPECIFIED IN THE PLANS, BUT AT NO ADDITIONAL  
COST TO THE DEPARTMENT.

DRIVEWAY EXTENSION DETAILS

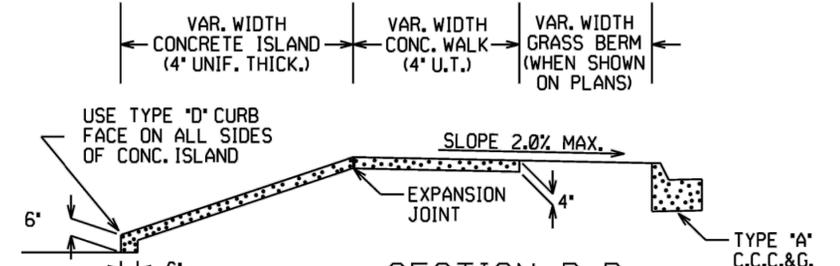


DRIVEWAY VERTICAL ALIGNMENT DETAILS

NOTE: DRIVEWAYS MAY NOT BE SLOPED AWAY  
FROM THE ROADWAY UNLESS APPROVED  
BY THE ENGINEER.



SECTION A-A



SECTION B-B  
CURBED ISLAND BEHIND WALK

DATE	REV	DATE FILMED	DESCRIPTION
2-27-14			REVISED PLAN & ISOMETRIC VIEW
11-29-07			ADDED CHANNELIZATION ISLAND WITH TYPE C CURB FACE & REVISED DRIVEWAY SLOPE NOTE & VERTICAL ALIGNMENT DETAIL
11-10-05			REV. APRON SLOPE & DEPTH OF AGG. BASE.
8-22-02			ADDED ISLAND DETAILS & NOTES
3-30-00			REV. MOD. CURB WIDTH & TRANS. NOTE
11-19-98			REVISED NOTES
11-18-98			REDRAWN AND REISSUED

ARKANSAS STATE HIGHWAY COMMISSION  
DETAILS OF DRIVEWAYS & ISLANDS  
STANDARD DRAWING DR-1

Drawing Name: M:\ASD\PROJECTS\01-DWG\01-DR-1\ASD.dwg Last Modified: Jun 17, 2020, 3:22pm Plotted on: Jun 18, 2020, 9:03am by dcastrina

Revision	By	Date
REVISD PLAN PER CITY COMMENTS	TLB	6.17.2020

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Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
Project No: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17

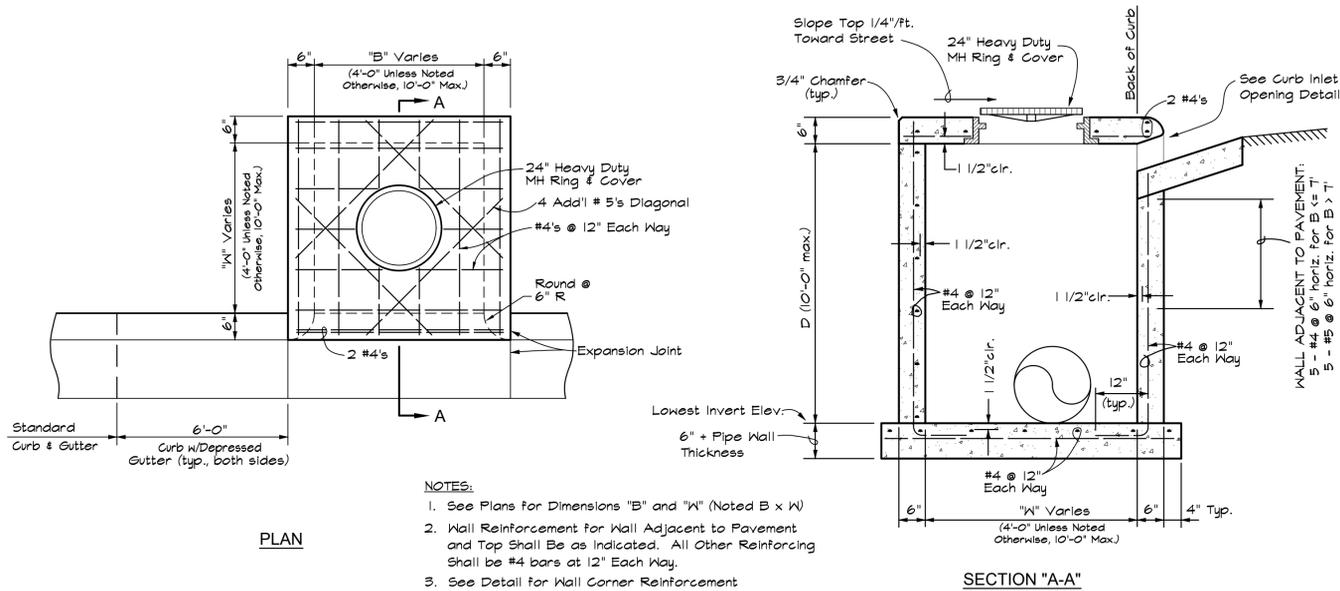
Springdale, Washington County, Arkansas

ARDOT DETAIL DR-1

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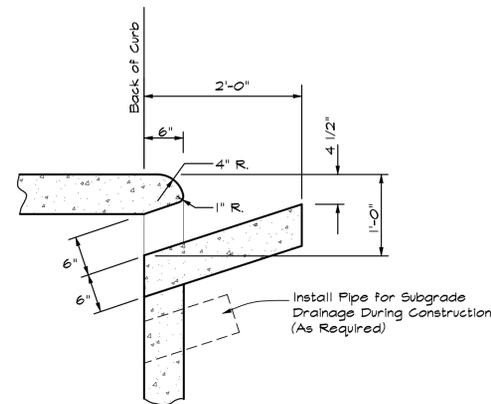
Sheet No:  
11  
18





- NOTES:**
1. See Plans for Dimensions "B" and "W" (Noted B x W)
  2. Wall Reinforcement for Wall Adjacent to Pavement and Top Shall Be as Indicated. All Other Reinforcing Shall be #4 bars at 12" Each Way.
  3. See Detail for Wall Corner Reinforcement

**DR-10: CURB INLET**  
Not to Scale



**DR-40: CURB INLET OPENING DETAIL**  
Not to Scale

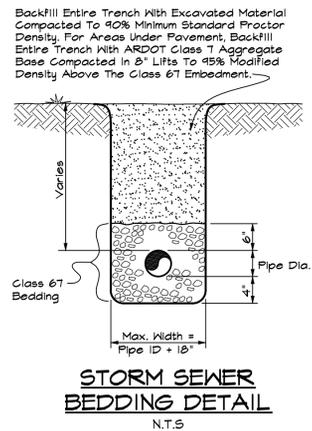
**TOP REINFORCING FOR INLETS & JUNCTION BOXES**  
For Locations Subject to Traffic Loading (HS-20)

B or W	Thickness	Short Span Reinforcing	Long Span Reinforcing
Up to 4'0"	10"	#6 @ 5"	#4 @ 12"
4'1" to 5'0"	10"	#7 @ 5"	#4 @ 12"
5'1" to 7'0"	12"	#7 @ 5"	#4 @ 12"
7'1" to 9'0"	12"	#8 @ 5"	#4 @ 12"
9'1" to 10'0"	13"	#8 @ 5"	#4 @ 12"

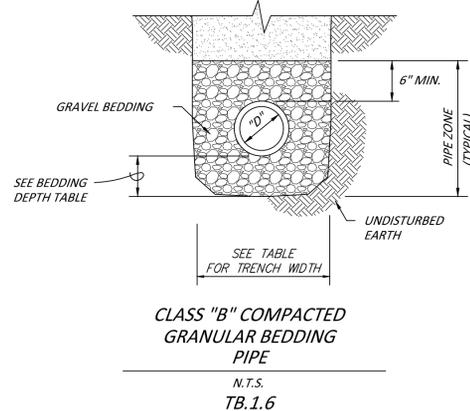
**TOP REINFORCING FOR INLETS & JUNCTION BOXES**  
For Locations NOT Subject to Traffic Loading

Max. Span (B or W)	Thickness	Short Span Reinforcing	Long Span Reinforcing
Up to 7'0"	6"	#4 @ 12"	#4 @ 12"
7'1" to 8'0"	6"	#4 @ 10"	#4 @ 12"
8'1" to 9'0"	6"	#4 @ 8"	#4 @ 12"
9'1" to 10'0"	6"	#4 @ 6"	#4 @ 12"

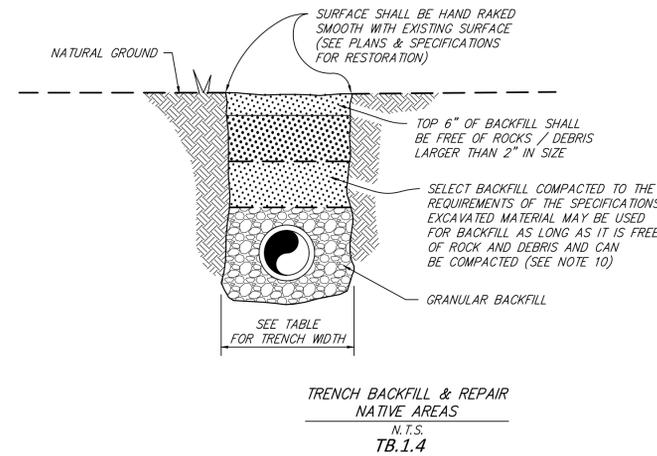
**DR-90: JUNCTION BOX or GRATED INLET TOP REINFORCING**



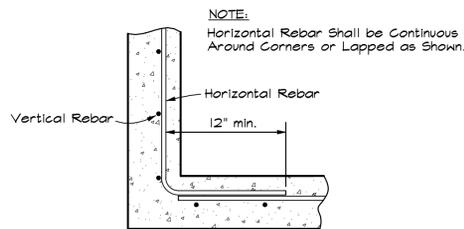
**STORM SEWER BEDDING DETAIL**  
N.T.S.



**CLASS "B" COMPACTED GRANULAR BEDDING PIPE**  
N.T.S.  
TB.1.6



**TRENCH BACKFILL & REPAIR NATIVE AREAS**  
N.T.S.  
TB.1.4



**DR-100: PLAN - JUNCTION BOX, GRATED INLET or CURB INLET WALL CORNER REINFORCING**  
Not to Scale

**NOTES:**

1. FLOWABLE FILL SHALL BE PROTECTED WITH BRIDGE PLATES OR A TEMPORARY SURFACE SEAL OF COLD MIX ASPHALT CONCRETE UNTIL FINAL REPAIR IS INSTALLED. COLD MIX ASPHALT CONCRETE IS NOT ACCEPTABLE FOR FINAL REPAIR. FLOWABLE FILL SHALL BE ALLOWED TO CURE FOR A PERIOD OF NOT LESS THAN 24 HOURS PRIOR TO PLACEMENT OF SURFACE.
2. FLOWABLE FILL IS TO BE INSTALLED TO NEAT LINES. PAY LIMITS WILL NOT EXCEED THE MAXIMUM TRENCH WIDTH.
3. FLOWABLE FILL SHALL BE PROTECTED FROM FREEZING OR TOO RAPID CURING.
4. CONCRETE REPAIR SURFACE SHALL BE FINISHED WITH A ROUGH BROOMED TEXTURE, OR MATCHING EXISTING ADJACENT SURFACES.
5. CONCRETE REPAIRS SHALL NOT BE OPENED FOR TRAFFIC FOR A PERIOD OF NOT LESS THAN 72 HOURS FOLLOWING PLACEMENT. BRIDGE PLATES SHALL BE USED TO PROTECT CONCRETE ON ANY LANES REQUIRED TO BE OPENED.
6. NO STONES OR LUMPS GREATER THAN 3" PERMITTED IN TRENCH 2' OR LESS IN WIDTH.
7. BEDDING, BACKFILL AND COMPACTION WITH NATIVE MATERIALS IS CONSIDERED INCIDENTAL TO THE PIPE OR STRUCTURE ITEM. MATERIAL COSTS FOR SELECT AND FLOWABLE FILL WILL BE PAID SEPARATELY.
8. GRANULAR BACKFILL AND BEDDING SHALL BE 3/4" MAX. TO NO. 4 MATERIAL PER THE SPECIFICATIONS.
9. IF PIPE OR INLETS ARE LOCATED UNDER OR ADJACENT TO SIDEWALK, FLOWABLE FILL OR GRANULAR BACKFILL SHALL BE USED FOR BACKFILL TO WITHIN 2' OF FINISH GRADE.

11. FOR DEEP TRENCHES, DEPTH OF FLOWABLE FILL SHALL BE A MAXIMUM OF 4' DEEP, AS MEASURED DOWN FROM THE SUBGRADE, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. GRANULAR BACKFILL MATERIAL SHALL BE USED FROM BOTTOM OF FLOWABLE FILL TO THE TOP OF PIPE ZONE.
12. SURFACE PATCH AND DEEP PATCH SHALL EXTEND A MINIMUM OF 18" OUTSIDE EDGE OF EXCAVATION. FOR CONCRETE PAVEMENT AND APRONS, SAWCUTS WITHIN 5 FEET OF AN EXISTING JOINT SHALL BE REMOVED AND REPLACED TO THE EXISTING JOINT. FOR ALL ASPHALT STREETS, IF THE SAWCUT IS WITHIN 3 FEET OF THE EDGE OF THE EXISTING ASPHALT CONCRETE SURFACE OR OTHER PATCH, THE EXISTING ASPHALT SHALL BE REMOVED TO THAT EDGE AND THE ENTIRE SECTION REPLACED. LONGITUDINAL SAWCUTS SHALL NOT FALL WITHIN 12 INCHES OF THE TIRE PATH.

**BEDDING DEPTH TABLE**

PIPE TYPE	MINIMUM BEDDING DEPTH
STORM DRAIN	10" X PIPE I.D. (4" MIN)
WATER LINE	25" X PIPE I.D. (4" MIN)
SEWER LINE	6" MIN.

**TRENCH WIDTH TABLE**

PIPE TYPE	MINIMUM TRENCH WIDTH
STORM DRAIN	OD + 18" MIN. OD + 36" MAX.
WATER LINE	MINIMUM 18" OR OD + 12" OD + 24" MAX.
SEWER LINE	OD + 18" MIN. OD + 30" MAX.

Drawing Name: M:\DSD\PROJECTS\01\DWG\01\PLAN\ANG Last Modified: Jun 17, 2020, 3:22pm Plotted on: Jun 18, 2020, 9:03am by dcazarria

Revision	By	Date
REVISED PLAN PER CITY COMMENTS	TLB	6.17.2020



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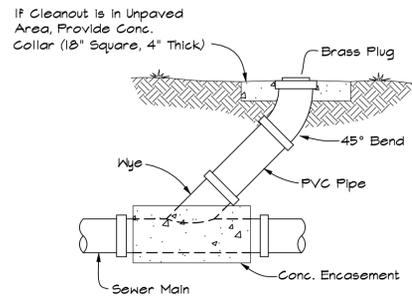
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Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
Project No.: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17  
Springdale, Washington County, Arkansas

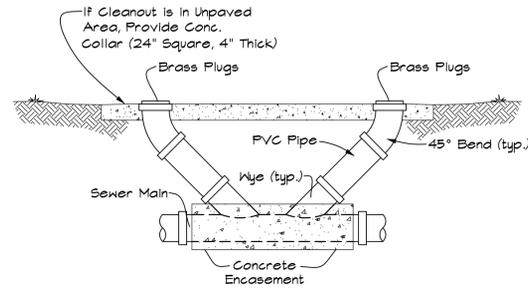
DRAINAGE DETAILS

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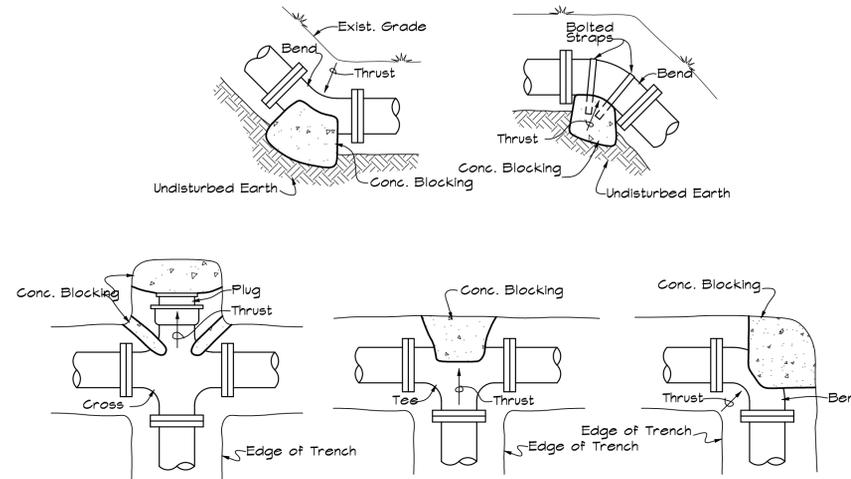
Sheet No.:	13
of	18



**SS-60: SANITARY SEWER CLEANOUT**  
Not to Scale



**DOUBLE SANITARY SEWER CLEANOUT DETAIL**  
Not to Scale



**WS-10: BLOCKING FOR BENDS, CROSSES & TEES**  
Not to Scale

**Thrust per psi of Water Pressure (Coefficient)**

PIPE SIZE	DEAD END OR TEE	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
2	4	5	3	2	1
3	7	10	6	3	2
4	13	18	10	5	3
6	21	40	22	11	6
8	34	84	39	20	10
10	51	112	61	31	16
12	72	160	87	45	23
14	97	219	119	61	31
16	126	285	155	79	40
18	159	361	196	100	51
20	195	446	242	123	62
22	234	539	292	149	75
24	276	642	348	177	90

**Bearing Strength of Soils**

SOIL TYPE	SAFE BEARING LOAD, LBS./SQ. FT.
Muck	0
Soft Clay	1,000
Medium Clay or Sand	2,500
Compacted Sand	3,000
Hard Clay	6,000
Shale	10,000

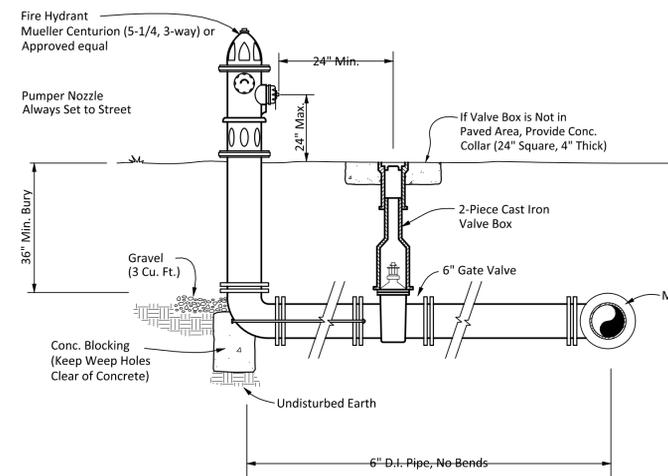
- NOTES:**
- A Properly Designed Mechanical Restraint System Using Mega-Lugs by EBAA Iron or Approved Equal May be Used in Lieu of Concrete Blocking.
  - No Concrete Blocking Shall be Used if a Mechanical Restraint System is Shown on the Plans.
  - An Allowance for Water Hammer of 50% of the Pressure Condition Shall be Made in Sizing all Thrust Blocks Unless Otherwise Directed. For Bends in Which the Resultant Thrust is Horizontal or Downward, The Area of Undisturbed Trench Backing for Thrust Blocks Shall be in Accordance with the Following Formula:  

$$\text{Sq. Ft. of Undisturbed Trench Backing} = \frac{\text{Pressure Condition} \times 1.5 \times \text{Coefficient}}{\text{Safe Bearing Load of Soil}}$$
 EXAMPLE: 90° Bend, 8" Line, 100 psi Line Pressure, Medium Clay  

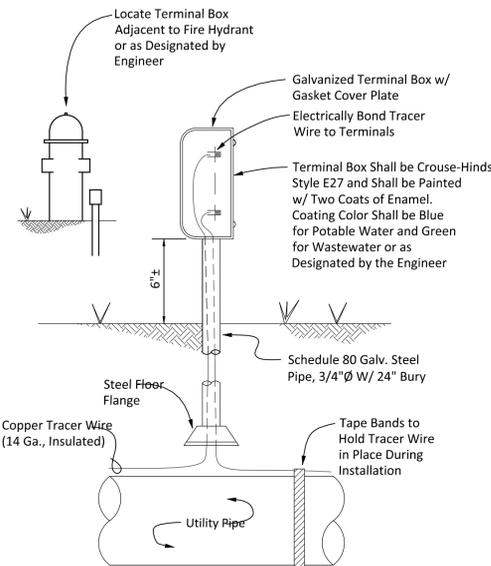
$$\text{Sq. Ft. of Trench Backing} = \frac{100 \times 1.5 \times 84}{2500} = 5.0 \text{ Sq. Ft.}$$
  - The Minimum Area of Trench Backing for Thrust Blocks Shall be 1.0 Sq. Ft. Regardless of Size Given by Formula.
  - For Vertical Bends in Which the Resultant Thrust is Upward, the Thrust Block Shall be Sized in Accordance with the Following Formula:  

$$\text{Size of Block (Cu. Ft.)} = \frac{\text{Pressure Condition} \times 1.5 \times \text{Coefficient}}{150}$$
 EXAMPLE: 11-1/4° Vertical Bend w/ Upward Thrust, 16" Pipe, 100 psi (Soil Type is not Considered)  

$$\text{Size of Block} = \frac{100 \times 1.5 \times 40}{150} = 40 \text{ Cu. Ft.}$$
  - The Straps for Vertical Bends Shall be of Galvanized Steel with Minimum Dimensions of 3/16" x 2-1/2". The Length of the Straps Shall be Sufficient to Provide for 12 inches of Embedment of Each End into the Concrete Block. The End 2 inches of the Strap shall be Bent at 90 Degrees to the Axis of the Strap to Provide for Anchorage. Costs of Straps is to be included in the Unit Price for Concrete Blocking.

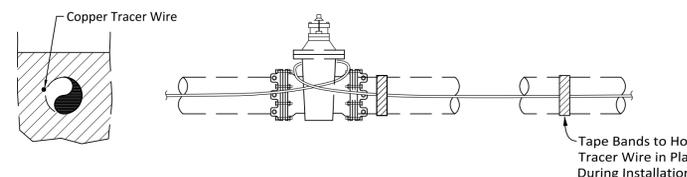


**WS-30: FIRE HYDRANT & VALVE CONNECTIONS**  
Not to Scale  
02-01-18



**WS-80: TRACER WIRE TERMINAL BOX "A"**  
Not to Scale  
02-01-18

- NOTES:**
- Wire Splices Shall be Electrically Bonded and Shall be Secured With Splicing Clips to Relieve any Tension on the Splice.
  - Terminal Boxes Shall be Located at Approximate Intervals of 500' of Pipe Length, and at Each End of the Piping Installation.
  - The Contractor Shall Provide an Instrument and Demonstrate the Electrical Continuity of all Tracer Wires Prior to the Final Acceptance by the Owner.
  - Tracer Wires Shall be Installed on all PVC Water Lines and Installed in the Location Directed by the Engineer, but Shall Generally be Located Immediately Adjacent to the Pipe and at the Same Depth.



**WS-70: TRACER WIRE DETAIL**  
Not to Scale  
02-01-18

**WS-20: CONCRETE BLOCKING DATA**

Drawing Name: M:\USDRP\PROJECTS\01\DWG\01-01\PLAN.dwg Last Modified: Jun 17, 2020, 3:22pm Plotted on: Jun 18, 2020, 9:03am by dsarreira

Revision	By	Date
REVISED PLAN PER CITY COMMENTS	TLB	6.17.2020

**MORRISON SHIPLEY**

2407 SE COTTONWOOD STREET • BENTONVILLE, AR 72712 • 479.273.2209 • MORRISONSHIPLEY.COM

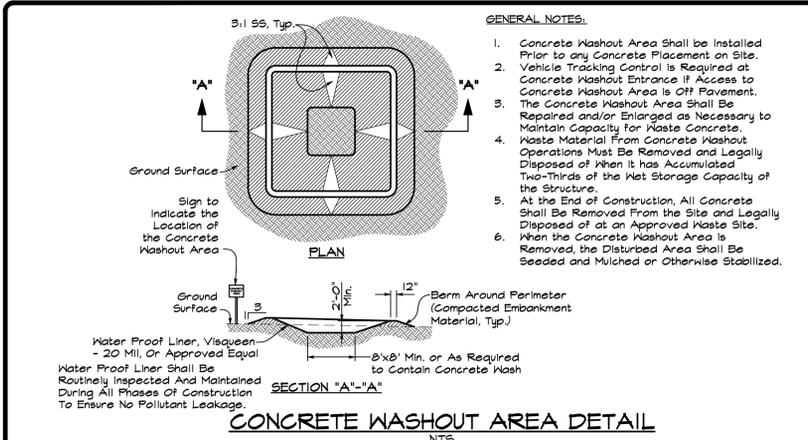
Drawn By: DRC	Vertical Scale: -
Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
Project No: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17  
Springdale, Washington County, Arkansas

UTILITY DETAILS

Issued for Review - 5.28.2020

Sheet No: 14
18

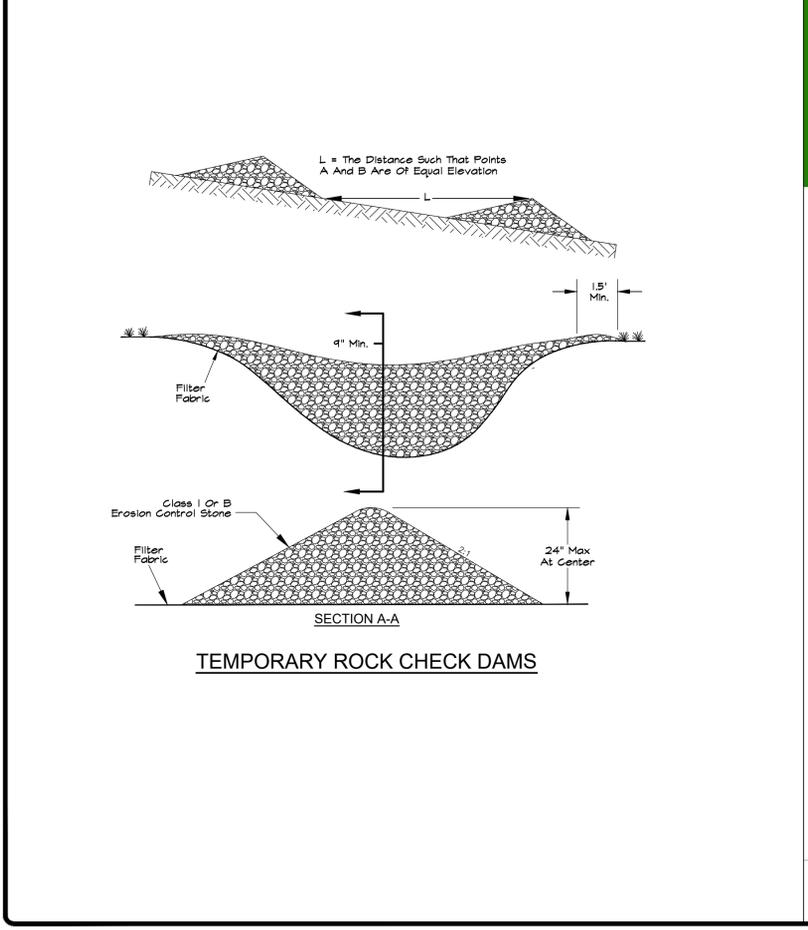
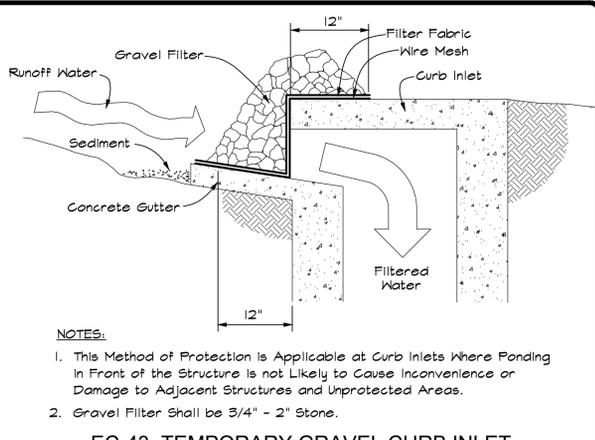
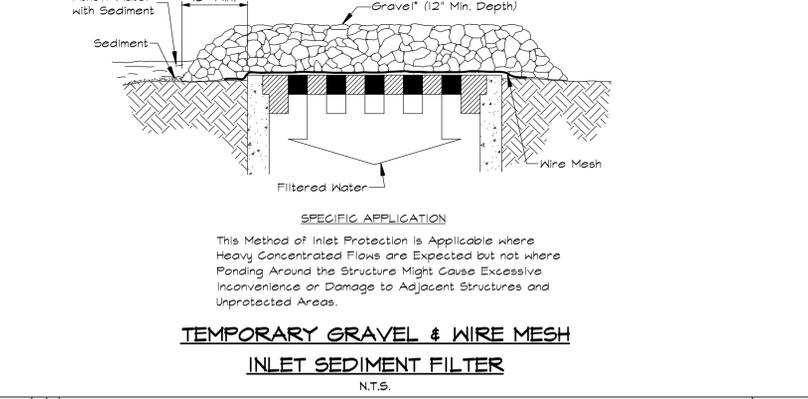
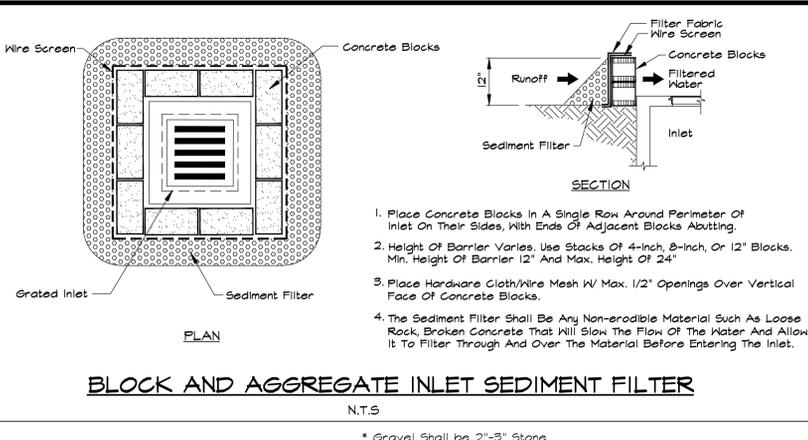
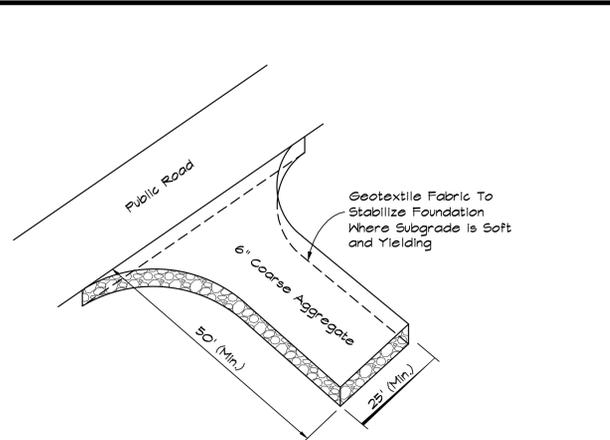


**SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE**

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPORARY CONSTRUCTION EXITS																								
TEMPORARY CONTROL MEASURES																								
SEDIMENT CONTROL BASINS																								
STRIP & STOCKPILE TOPSOIL																								
ROUGH GRADE																								
STORM FACILITIES																								
SITE CONSTRUCTION																								
PERMANENT CONTROL STRUCTURES																								
FOUNDATION / BUILDING CONSTRUCTION																								
FINISH GRADING																								
LANDSCAPING/SEED/FINAL STABILIZATION																								

1) CONTRACTOR SHALL UPDATE THE TABLE BY DATING THE APPLICABLE ACTIVITIES AS PROJECT PROGRESSES.  
2) TIME SCHEDULE MUST COINCIDE WITH SEQUENCE OF CONSTRUCTION.



**filtrex**  
LAND IMPROVEMENT SYSTEMS

**Section 1: Erosion & Sediment Control - Construction Activities**

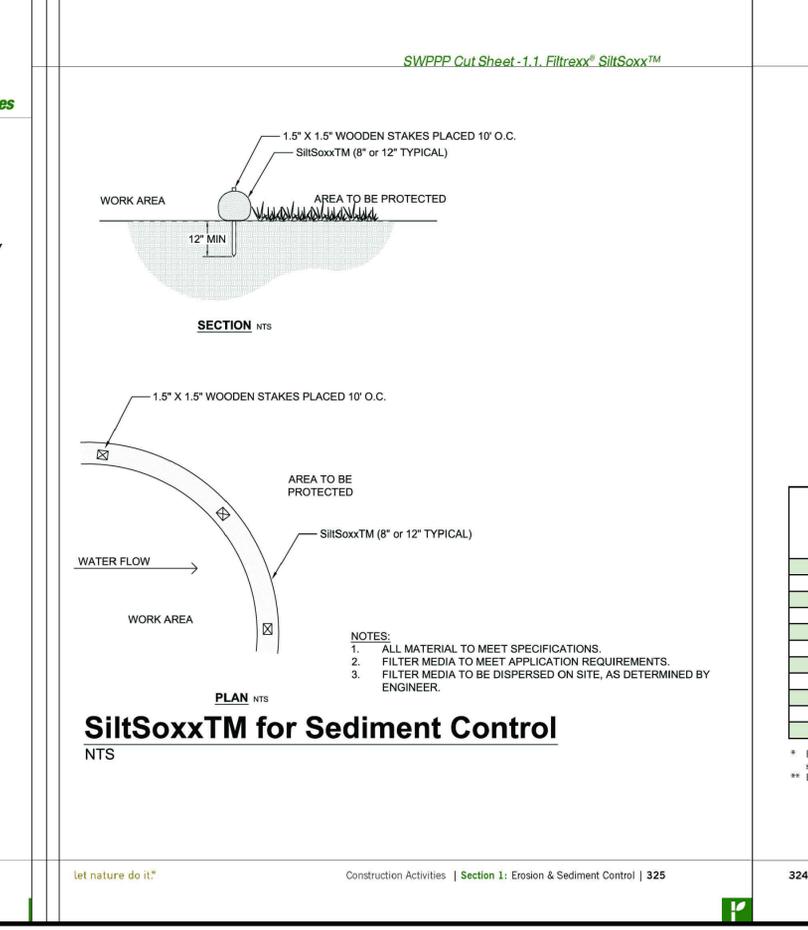
**SWPPP Cut Sheet: Filtrex® SiltSox™**  
Sediment & Perimeter Control Technology

**PURPOSE & DESCRIPTION**  
Filtrex® SiltSox™ are a three-dimensional tubular sediment control and storm water runoff filtration device typically used for perimeter control of sediment and other soluble pollutants (such as phosphorus and petroleum hydrocarbons), on and around construction activities.

**APPLICATION**  
Filtrex® SiltSox™ are to be installed down slope of any disturbed area requiring erosion and sediment control and filtration of soluble pollutants from runoff. SiltSox™ are effective when installed perpendicular to sheet or low concentrated flow. Acceptable applications include:  
• Site perimeters  
• Above and below disturbed areas subject to sheet runoff, interrill and rill erosion  
• Above and below exposed and erodible slopes  
• Around area drains or inlets located in a 'sump'  
• On compacted soils where trenching of silt fence is difficult or impossible  
• Around sensitive trees where trenching of silt fence is not beneficial for tree survival or may unnecessarily disturb established vegetation.  
• On frozen ground where trenching of silt fence is impossible.  
• On paved surfaces where trenching of silt fence is impossible.

**INSTALLATION**  
1. SiltSox™ are used for perimeter control of sediment and soluble pollutants in storm runoff shall meet Filtrex® SiltSox™ Material Specifications and use Certified Filtrex® FilterMedia™.  
2. SiltSox™ will be placed at locations indicated on plans as directed by the Engineer.

**INSPECTION AND MAINTENANCE**  
Routine inspection should be conducted within 24 hrs of a runoff event or as designated by the



regulating authority. SiltSox™ should be regularly inspected to make sure they maintain their shape and are producing adequate hydraulic flow-through. If ponding becomes excessive, additional SiltSox™ may be required to reduce effective slope length or sediment removal may be necessary. SiltSox™ shall be inspected until area above has been permanently stabilized and construction activity has ceased

- The Contractor shall maintain the SiltSox™ in a functional condition at all times and it shall be routinely inspected.
- If the SiltSox™ have been damaged, it shall be repaired, or replaced if beyond repair.
- The Contractor shall remove sediment at the base of the upslope side of the SiltSox™ when accumulation has reached 1/2 of the effective height of the SiltSox™, or as directed by the Engineer. Alternatively, a new SiltSox™ can be placed on top of and slightly behind the original one creating more sediment storage capacity without soil disturbance.
- SiltSox™ shall be maintained until disturbed area above the device has been permanently stabilized and construction activity has ceased.
- The FilterMedia™ will be dispersed on site once disturbed area has been permanently stabilized, construction activity has ceased, or as determined by the Engineer.
- For long-term sediment and pollution control applications, SiltSox™ can be seeded at the time of installation to create a vegetative filtering system for prolonged and increased filtration of sediment and soluble pollutants (contained vegetative filter strip). The appropriate seed mix shall be determined by the Engineer.

Slope Percent	Maximum Slope Length Above SiltSox™ in Feet (meters)*				
	8 in (200 mm) SiltSox™ 8.5 in (215 mm) **	12 in (300 mm) SiltSox™ 12.5 in (318 mm) **	18 in (450 mm) SiltSox™ 18.5 in (468 mm) **	24 in (600 mm) SiltSox™ 24.5 in (618 mm) **	32 in (800 mm) SiltSox™ 32.5 in (818 mm) **
2 (or less)	600 (180)	750 (225)	1000 (300)	1300 (400)	1650 (500)
5	400 (120)	500 (150)	650 (195)	850 (260)	1050 (320)
10	200 (60)	250 (75)	300 (90)	400 (120)	500 (150)
15	140 (40)	170 (50)	200 (60)	250 (75)	300 (90)
20	100 (30)	125 (38)	140 (42)	180 (54)	220 (66)
25	80 (24)	100 (30)	110 (33)	140 (42)	170 (51)
30	60 (18)	75 (22)	80 (24)	100 (30)	120 (36)
35	50 (15)	60 (18)	65 (19)	80 (24)	95 (29)
40	40 (12)	50 (15)	55 (17)	70 (21)	80 (24)
45	30 (9)	40 (12)	45 (13)	55 (17)	65 (20)
50	20 (6)	30 (9)	35 (11)	45 (13)	55 (17)

\* Based on a failure point of 36 in (9.1 m) super silt fence (wire reinforced) at 1000 ft (300 m) of slope, watershed width equivalent to receiving length of sediment control device, 1 in (25 mm) 24 hr rain event.  
\*\* Effective height of SiltSox™ after installation and with constant head from runoff as determined by Ohio State University.

Revision	By	Date
REVISED PLAN PER CITY COMMENTS	TLB	6.17.2020

**MORRISON SHIPLEY**

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Drawn By: DRC	Vertical Scale: -
Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
Project No.: LJC-01	Drawing Name: PLAN

**LAS MARGARITAS PLAZA**  
Springdale Project #L20-17

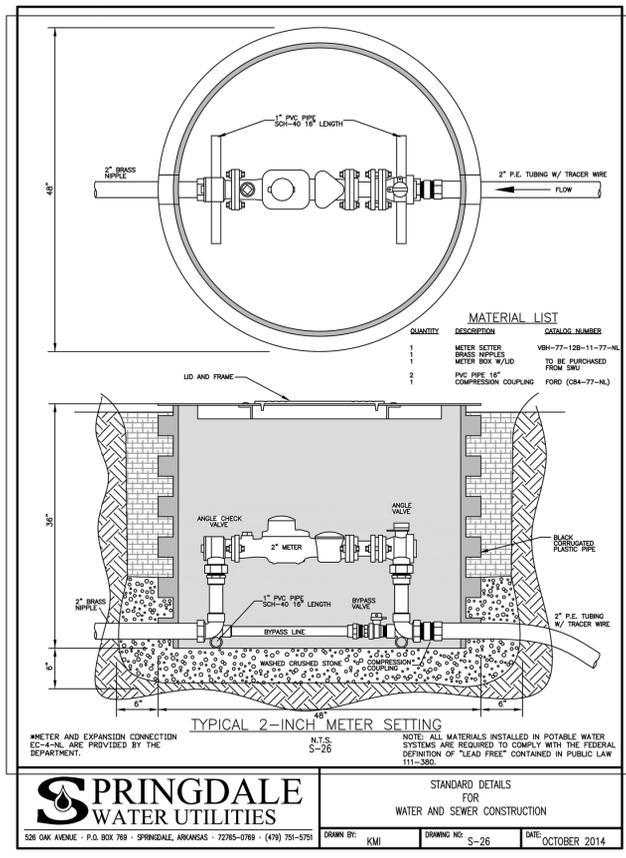
Springdale, Washington County, Arkansas

**EROSION DETAILS**

Issued for Review - 5.28.2020

Sheet No. 15 of 18



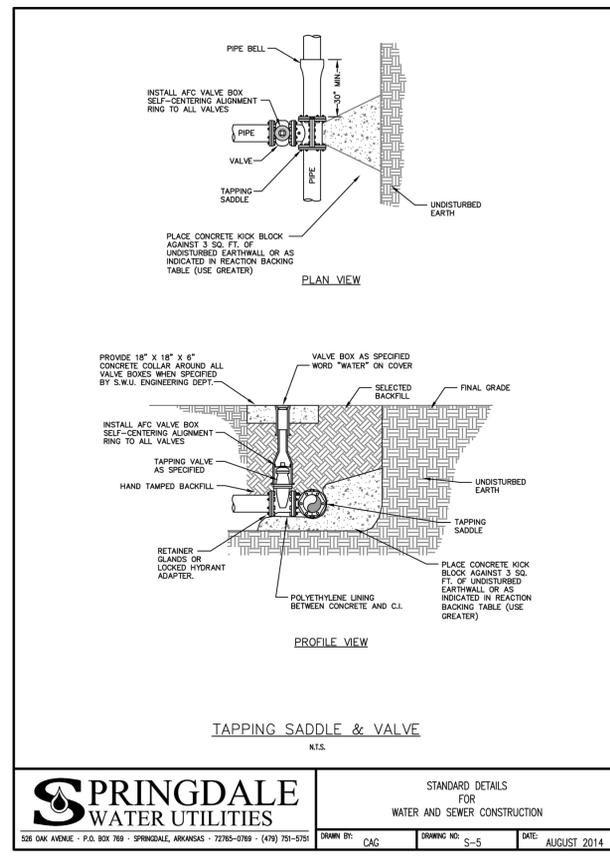


**SPRINGDALE WATER UTILITIES**

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

526 OAK AVENUE • P.O. BOX 769 • SPRINGDALE, ARKANSAS • 72765-0769 • (479) 751-5751

DRAWN BY: KMI DRAWING NO: S-26 DATE: OCTOBER 2014

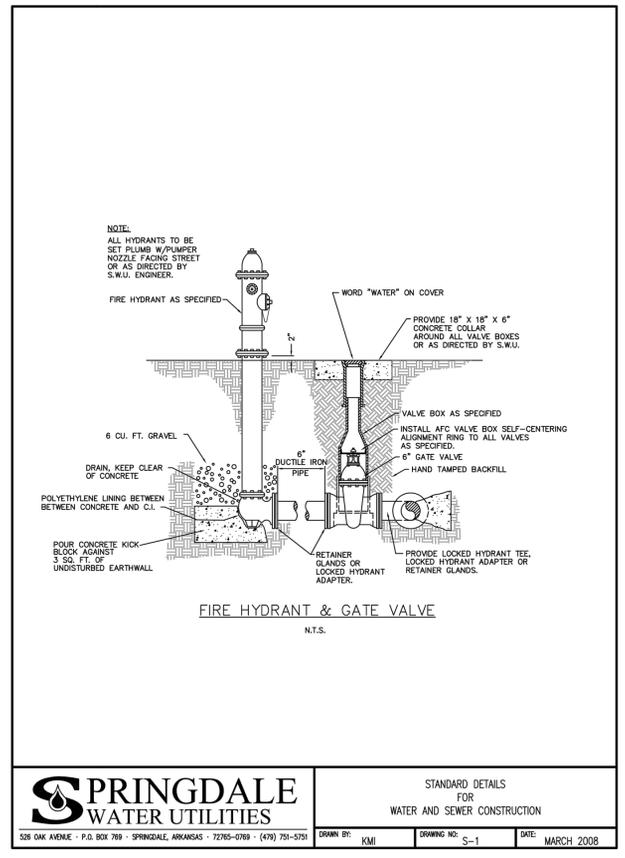


**SPRINGDALE WATER UTILITIES**

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

526 OAK AVENUE • P.O. BOX 769 • SPRINGDALE, ARKANSAS • 72765-0769 • (479) 751-5751

DRAWN BY: CAG DRAWING NO: S-5 DATE: AUGUST 2014

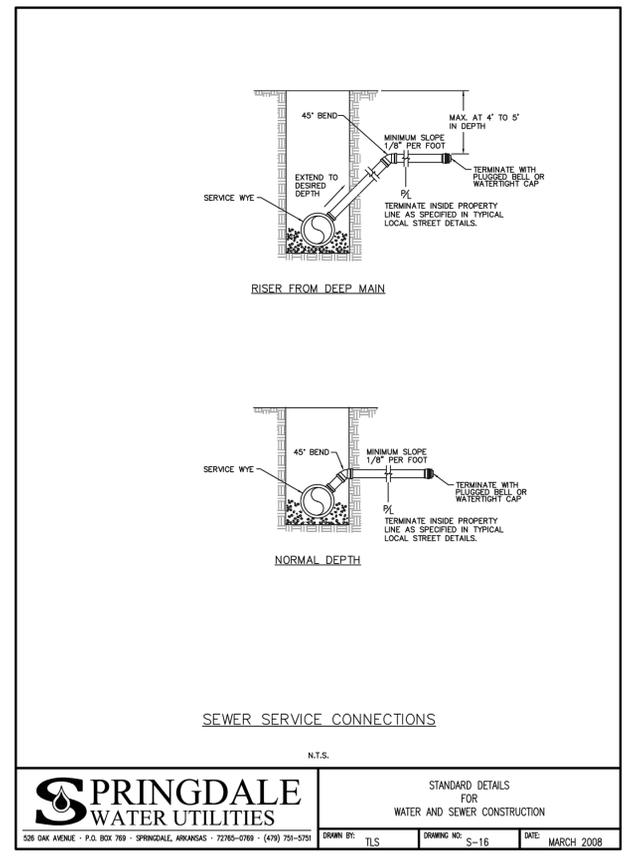


**SPRINGDALE WATER UTILITIES**

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

526 OAK AVENUE • P.O. BOX 769 • SPRINGDALE, ARKANSAS • 72765-0769 • (479) 751-5751

DRAWN BY: KMI DRAWING NO: S-1 DATE: MARCH 2008

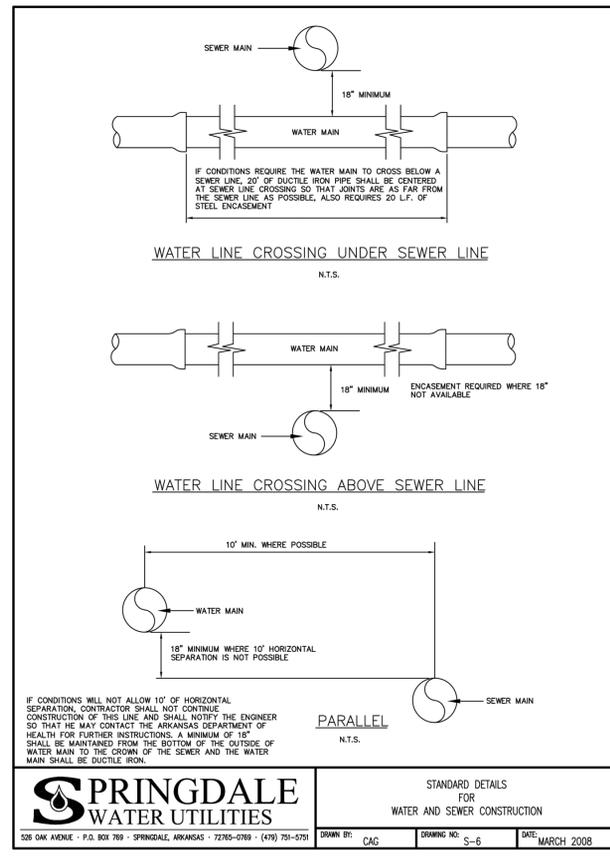


**SPRINGDALE WATER UTILITIES**

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

526 OAK AVENUE • P.O. BOX 769 • SPRINGDALE, ARKANSAS • 72765-0769 • (479) 751-5751

DRAWN BY: TLS DRAWING NO: S-16 DATE: MARCH 2008

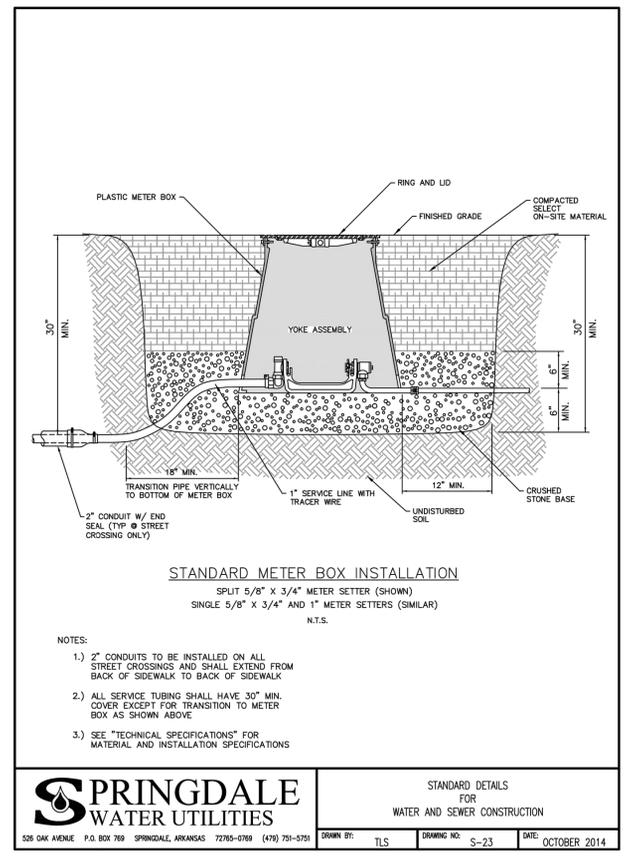


**SPRINGDALE WATER UTILITIES**

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

526 OAK AVENUE • P.O. BOX 769 • SPRINGDALE, ARKANSAS • 72765-0769 • (479) 751-5751

DRAWN BY: CAG DRAWING NO: S-6 DATE: MARCH 2008



**SPRINGDALE WATER UTILITIES**

STANDARD DETAILS FOR WATER AND SEWER CONSTRUCTION

526 OAK AVENUE • P.O. BOX 769 • SPRINGDALE, ARKANSAS • 72765-0769 • (479) 751-5751

DRAWN BY: TLS DRAWING NO: S-23 DATE: OCTOBER 2014

Drawing Name: M:\SDSPROJ\01\DWG\01\PLAN\ANG Last Modified: Jun 17, 2020 - 3:22pm Plotted on: Jun 18, 2020 - 9:06am by dcazerra

Revision	By	Date
REVISED PLAN PER CITY COMMENTS	TLB	6.17.2020

**MORRISON SHIPLEY**

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Approved By: TLB	Horizontal Scale: 1"=20'
Date: 5.28.2020	Plotting Scale: 1
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**LAS MARGARITAS PLAZA**

Springdale Project #L20-17

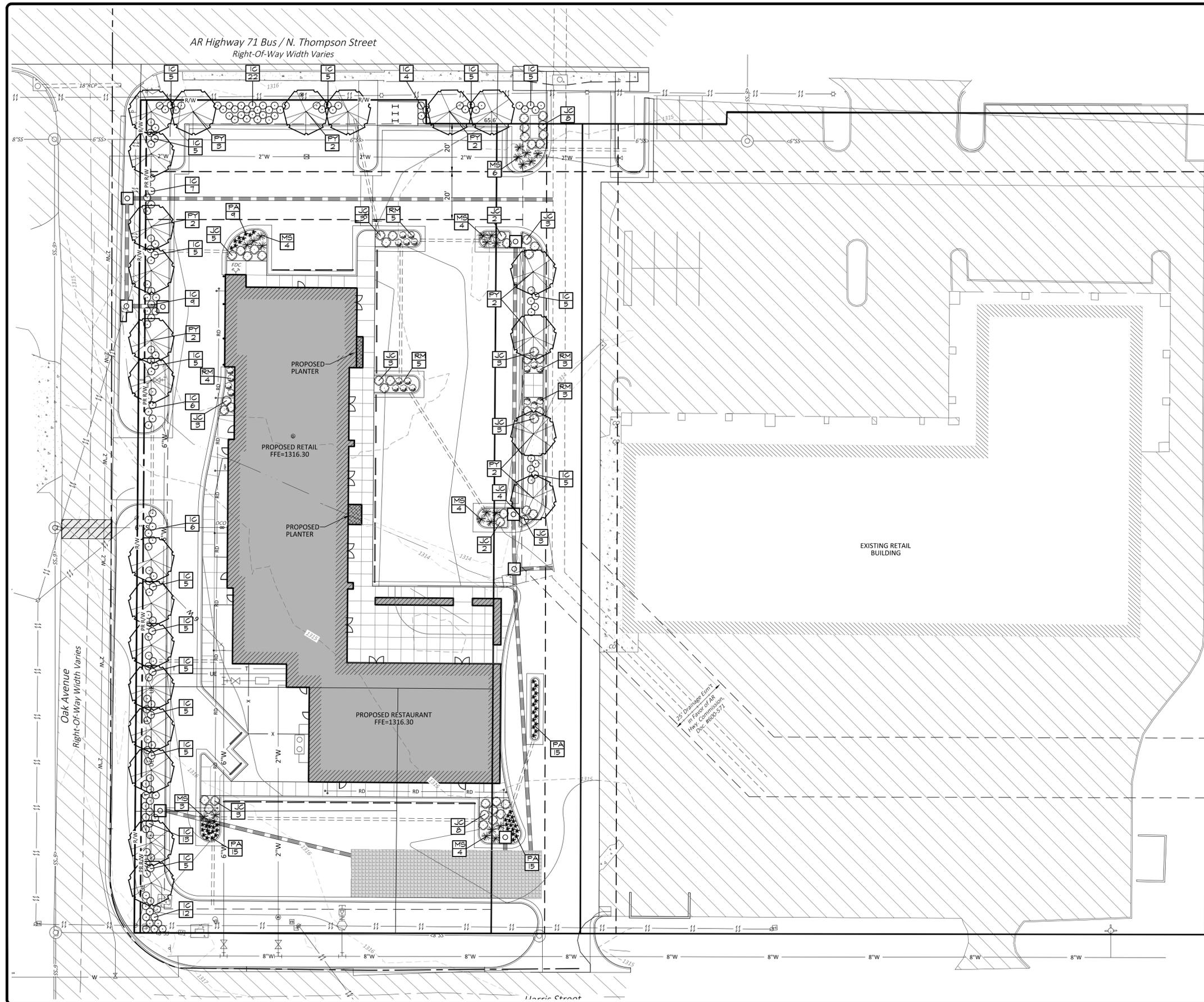
Springdale, Washington County, Arkansas

CITY OF SPRINGDALE DETAILS 2

Issued for Review - 5.28.2020

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### LEGEND

--- Easement Line	--- Property Line
▨ Proposed Building	--- Right-Of-Way On Property Line
▨ Proposed Concrete Pavement w/ 6" Type 'C' Conc. Curb	--- Right-Of-Way Line
▨ Proposed Concrete Sidewalk	--- Road Center Line
▨ Proposed Brick Chips	--- Easement Line
●(E) Light Pole, Re: Lighting Plan	--- 30"W --- Existing Water Line
--- Proposed Drainage Pipe	--- 10"SS --- Existing Sanitary Sewer Line
--- 6"RD --- Proposed 6" Sch. 40 PVC Roof Drain Line	--- G --- Existing Gas Line
--- 8"RD --- Proposed 8" Sch. 40 PVC Roof Drain Line	--- UT --- Existing Telephone Line
--- 6"SS --- Proposed 6" PVC SDR-35 Sanitary Sewer Service (Private)	--- --- Existing Overhead Power Line
--- 2"W --- Proposed Domestic Water Service Line (Private)	--- UGE --- Existing Underground Electric
--- --- Proposed 1-1/2" Gas Service Line	--- --- 24" RCP --- Existing Drainage Pipes
--- UGE --- Proposed Underground Electric	--- X --- Existing Fence Line
--- T --- Proposed Telephone Service Line	--- 1345 --- Existing Contours
○ Proposed Water Meter	○ Existing Water Meter
○ Proposed Irrigation Meter	○ Existing Fire Hydrant
○ Proposed Gas Meter	○ Existing Water Valve
--- Irrigation Conduit 2 Ea- 4" Sch. 40 PVC (Typ.)	○ Existing Sewer Manhole
	○ Existing Gas Meter
	○ Existing Gas Valve
	○ Existing Telephone Pedestal
	○ Existing Electric Pedestal
	○ Existing Power Pole
	○ Existing Power Pole w/ Guy Wire
	○ Existing Sign
	○ Traffic Signal Box
	▨ Existing Concrete
	▨ Existing Asphalt

**Site Area Calculations:**

- Total Site Area: 77,255 S.F.
- Proposed Green Space: 18,039 S.F.
- Green Space Percentage: 23%
- Proposed Impervious Space: 46,830 S.F.
- Impervious Space Percentage: 61%
- Total Building Area: 12,386 S.F.\*
- Building Area Percentage: 16%\*

\*Does Not Include Overhead Canopy

**Landscape Calculations:**

**Site Green Space:** 10% Of Site Shall Be Green Space  
 Required: Site Area: 51,845 S.F. = 5,184 S.F.  
 Provided: 13,578 S.F. (28%)

**Street Frontage Landscaping:**  
 Required: 1 Shade Tree and 7 Shrubs Per 25 L.F. Of Frontage  
 Required: 10' Green Space

**AR HWY 71:** 150 L.F. Of Street Frontage = 6 Trees, 42 Shrubs  
 Provided: \*10' Green Space, 6 Trees, And 46 Shrubs

**Oak Avenue:** 350 L.F. Of Street Frontage = 14 Trees, 98 Shrubs  
 Provided: \*10' Green Space, 14 Trees, And 98 Shrubs

\* Excludes Entrance Drive Width

**Interior Parking Lot Landscaping:** 8% Interior Green Space and 1 Landscape Island Per 15 Parking Stalls  
 Required: 36,353 S.F. Parking Lot = 2,908 S.F. Interior Green Space  
 Required: 64 Parking Stalls = 4 Landscape Islands

**Foundation Planting:**  
 Required: 6' Landscape Bed With Foundation Planting Between Building And Sidewalk Along Side W/ Customer Entrance.  
 A Foundation Planting Variance Is Being Requested As A Part Of This Project.

### PLANT SCHEDULE

Key	COMMON NAME	Botanical Name	Size	Spacing	Quantity
PA	DWARF FOUNTAIN GRASS	Pennisetum alopecuroides 'Hameln'	1 Gallon	2.5' O.C.	54
MS	MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	5 Gallon	4' O.C.	25
RM	CORAL DRIFT ROSE	Rosa 'Meidrifora'	5 Gallon	3' O.C.	20
JC	BLUE SARGENT JUNIPER	Juniperus chinensis sargentii 'Glaucua'	5 Gallon	4' O.C.	49
IC	HELLERI HOLLY	Ilex crenata 'Helleri'	5 Gallon	3' O.C.	154
PY	YOSHINO CHERRY	Prunus x yedoensis	2-1/2" Cal. B&B	As Shown	23

Drawing Name: M:\USDP\PROJECTS\01\DWG\01-01\PLAN.dwg Last Modified: Jun 17, 2020 - 3:22pm Plotted on: Jun 18, 2020 - 9:04am by dsarria

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## LAS MARGARITAS PLAZA

### Springdale Project #L20-17

Springdale, Washington County, Arkansas

SITE LANDSCAPING PLAN

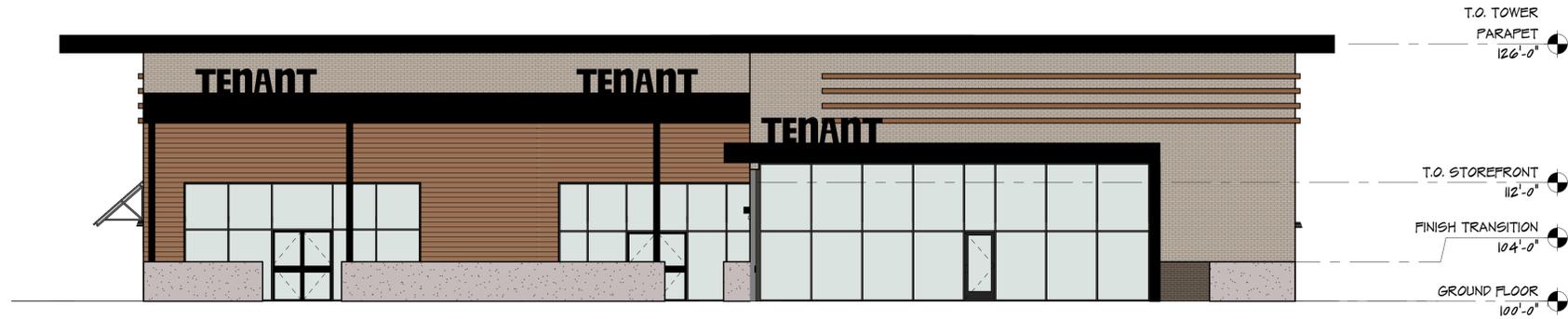
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Sheet No:

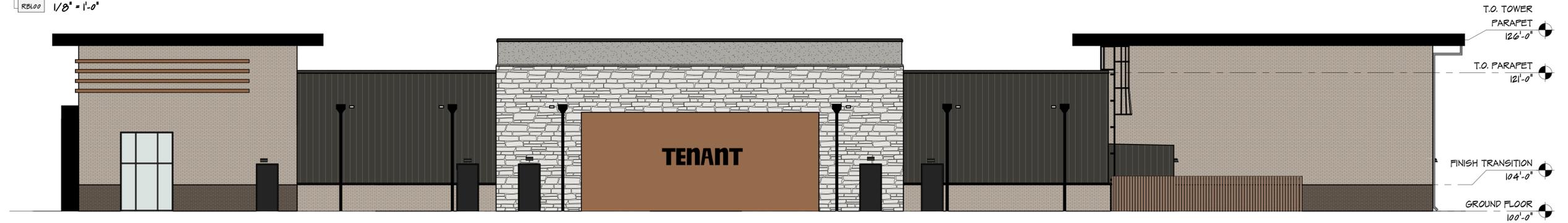
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of



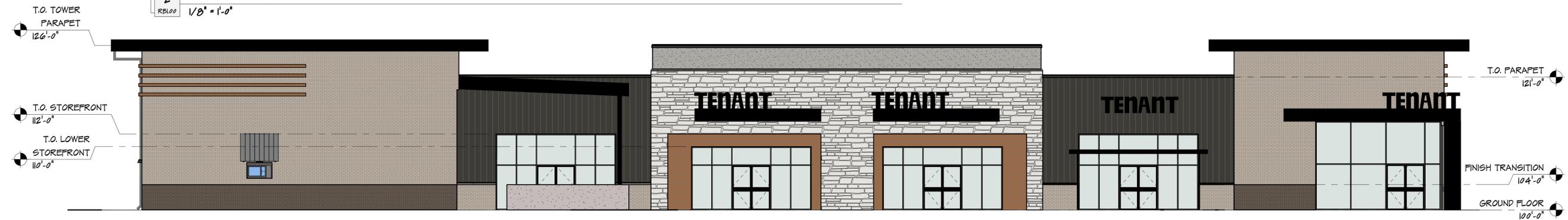
4 WEST EXTERIOR ELEVATION  
RBL00 1/8" = 1'-0"



3 SOUTH EXTERIOR ELEVATION  
RBL00 1/8" = 1'-0"



2 EAST EXTERIOR ELEVATION  
RBL00 1/8" = 1'-0"



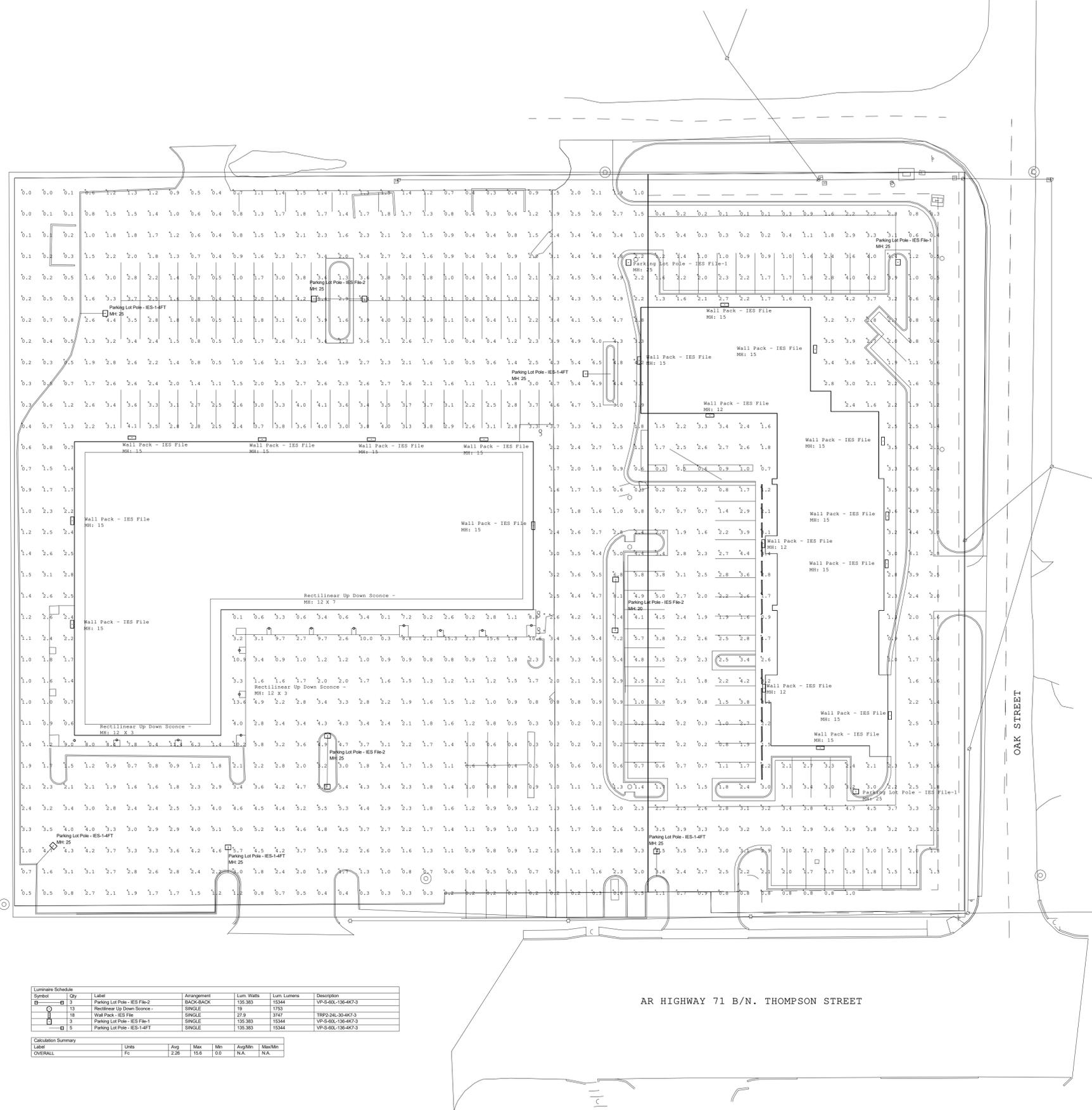
1 NORTH EXTERIOR ELEVATION  
RBL00 1/8" = 1'-0"

LAS MARGARITAS PLAZA  
601 N. THOMPSON ST.  
SPRINGDALE, ARKANSAS 72764

**B O T I**  
ARCHITECTURE







Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	Description
□	3	Parking Lot Pole - IES File-2	BACK-BACK	135.363	15344	VP-S-60L-136-4K7-3
○	13	Rectilinear Up Down Sconce -	SINGLE	18	1753	
□	18	Wall Pack - IES File	SINGLE	27.9	3747	TRP2-24L-30-4K7-3
□	3	Parking Lot Pole - IES File-1	SINGLE	135.363	15344	VP-S-60L-136-4K7-3
□	5	Parking Lot Pole - IES-1-4FT	SINGLE	135.363	15344	VP-S-60L-136-4K7-3

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL	Fc	2.26	15.6	0.0	N.A.	N.A.

AR HIGHWAY 71 B/N. THOMPSON STREET

OAK STREET

STEVEN M. COLVIN, PE  
 504 WEST COLLEGE  
 SPRINGFIELD, MO 658046  
 TEL: 877.297.2684  
 WWW.BOTI.STUDIO



LAS MARGARITAS PLAZA  
 601 N. THOMPSON ST.  
 SPRINGDALE, ARKANSAS 72764



**Staff Use Only**

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

**File #** B3026

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
**ZONING BOARD OF ADJUSTMENT**  
**SPRINGDALE PLANNING COMMISSION**  
**CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Mancia Properties

Applicant's Mailing Address:

2021 W. Sunset Avenue  
Street Address or P.O. Box  
Springdale, AR 72764  
City, State & Zip Code

479-419-9454  
Telephone Number

P125

Property Owner's Name  
(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:  
(If different from Applicant):

\_\_\_\_\_  
Street Address or P.O. Box

\_\_\_\_\_  
Telephone Number

\_\_\_\_\_  
City, State & Zip Code

Address of Variance Request: 601 N. Thompson Road

Zoning District: Currently C-6, requesting C-5 Thoroughfare Com. District

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit

5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.
6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required:            Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested:           Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance:            Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.*

**Off-site parking allowance (Ordinance Chapter 130, article 7, section 4)**

**No Foundation Landscaping (CDS III.D.5).**

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):** **Off-site parking:** The current layout of the two lots located on this site, creates a great a opportunity for a shared parking arrangement. The proposed improvements will create additional parking on property adjacent to the site that is not currently in use. Both properties are owned by the same owner.
2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**The small rectangle shape of the lot does not allow proper spacing for significant parking.
3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):** The owner will also create additional parking on the existing lot that is not currently in place.
4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):** Foundation Landscaping: The building concept provides sidewalk along the entire building frontage. The sidewalk serves for the placement of trash receptacles as well as store frontage. Foundation landscaping near the building creates some maintenance concerns. Additional landscaping will be provided to offset the absence of foundation landscaping.
  
2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):** This arrangement is typical of many new development concepts of this type.
  
3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**  
The nature of the services available along the front of development do not support the use of foundation landscaping.
  
4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
  
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
  
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

David Mancia  
Applicant Signature\*

  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

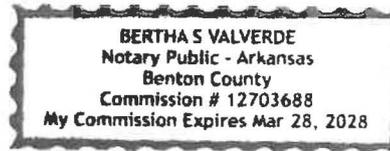
\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas )  
County of Benton ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 28 day of May, 2020.

Bertha S. Valverde  
Notary Public

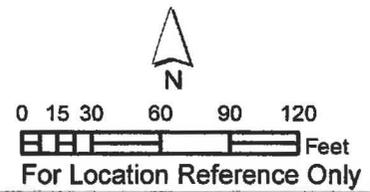




Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location

**FILE NO. B20-26**  
**APPLICANT: Mancia Properties**  
**REQUEST: Variance to allow for deviation of off-site parking & foundation landscaping**

PLANNING COMMISSION MEETING  
July 7, 2020



# Memo

**To:** Planning Commission  
**From:** Staff  
**Date:** July 7, 2020  
**RE:** L20-18 Large Scale Development 40<sup>th</sup> Street Commercial

---

Variance for deviation of Commercial Design Standards – Materials & Colors

---

## Large-Scale Comments:

1. Provide pdf files at time of resubmission. (standard comment)
2. All comments from the utility companies and other city departments must be addressed prior to approval of construction plans. (standard comment)
3. In all residential, commercial and industrial developments submitted after August 30, 2007, all utility wires, lines and/or cable in said developments utilized by electric and/or telecommunications companies shall be placed underground. Excluding 12Kv and above. (standard comment).
4. This development has been given the number L20-18. This number should be placed on the plans and all future correspondence and plats pertaining to this development.  
(standard comment)

## Chapter 56 Landscaping

1. Existing trees to be saved will be evaluated at time of CO to confirm compliance with perimeter landscaping standard. It appears several of the trees shown are on the adjacent property to the North.

### Commercial Design Comments (Site)

1. Sidewalks, no less than five (5) feet in width, shall be provided along the full length of the building along any façade featuring a customer entrance, and along any façade abutting public parking areas. Such sidewalk shall be located at least six (6) feet from the façade of the building to provide planting beds for foundation landscaping, except where features such as arcades or entryways are part of the façade.  
If permeable pavers are to be utilized in this space in lieu of plantings please apply for a variance accordingly. (Variance Item)
2. Provide screening doors for dumpster.
3. Provide completion of dumpster foundation landscaping at Northwestern side.

### Commercial Design Comments (Architectural)

1. Predominant exterior building materials as well as accents should be compatible with the surrounding area and not include the following: o Smooth-faced concrete block o Tilt-up concrete panels o Pre-fabricated steel panels (Variance Item)
2. Façade colors shall be low reflectance, subtle, neutral, or earth tone colors. The use of high intensity colors, metallic colors, black or fluorescent colors must be approved by Planning Commission. Please provide material/color samples for PC review.
3. All sides of a principal building that directly faces an abutting public right-of-way shall feature at least one customer entrances. Where a principal building directly faces more than two abutting public rights-of-way, this requirement shall apply only to two sides of the building, including the side of the building facing the primary street, and another side of the building facing a secondary street. When additional stores will be located in the principal building, each store shall have at least one exterior customer entrances. Please provide an architectural element such as a cantilevered canopy or other feature to emphasize entrance from the Western façade.

### Engineering Comments

#### 1. Chapter 106 – Stormwater Drainage

- **106.5.3\*\*** - A concrete trickle channel with a minimum width of 4 feet and a minimum slope of 0.40% shall be required for all detention ponds other than permanent lakes.
- **106.5.4.10\*\*** - Easements
  - An easement shall be provided in Plans for detention facilities. A minimum 20' wide drainage easement shall be provided around the

100-year flood pool, connecting the tributary pipes and the discharge system along the most passable routing of piping system.

- 
- **Might need to move pond further away from the property line to get full 20' easement**

## 2. Chapter 107 – Stormwater Pollution

(Ord. No. 3673, § 1, 5-10-05; Ord. No. 4796, § 1, 6-10-14; Ord. No. 5220, § 1, 10-24-17)

- **107.3**
  - The site area of disturbance is greater than 0.5 acre. A Grading Permit Application, a SWPPP delineating all anticipated disturbed areas, a plan in those areas to achieve final stabilization (which at minimum must provide 80% grass coverage and 100% stabilization), a Dust Control Plan with appropriate BMPs designed to control dust, and an appropriate fee as shown on the application must be submitted to the City of Springdale Stormwater Manager for review prior to receiving final plan approval.
  -
- **107.3.D.c** - A grading and drainage plan is required for all developments showing that each lot drains to the street right-of-way, a dedicated drainage easement with improvements, or an existing drainage way without flowing across a neighboring lot. No drainage from roof drains, landscaping, or lot runoff may be directed or diverted onto neighboring properties.

## 3. Chapter 130 – Zoning Ordinance

(Ord. No. 3307, 3-25-03)

- **130.7.6.1** ADA requirements.
  - Accessibility for persons with disabilities in parking lots and building approaches shall be as required by the current ADA and as may from time to time be amended.
    - **This note is left in place throughout the design process to insure that access is maintained.**

## 4. Other:

- **Permitting** - Some development within the City of Springdale may require additional state or federal permits not administered by the City of Springdale to be granted prior to approval of the project. This includes, but may not be limited to, any work that is being proposed within rights-of-way and/or easements within the jurisdiction of the Arkansas Department of Transportation, the Arkansas Natural Resources Commission, the Arkansas Department of Environmental Quality, or the U.S. Army Corps of Engineers. Prior to final approval of this project, please provide a copy of any required Federal, State, and Local permits that are required. Final approval of this project does not waive or exempt any requirements by State or Federal laws.
- **Construct-ability Review** – At the request of the Director of Engineering, this project has been submitted to the Large Scale Inspector for a Construct-ability review.
  - **ADA detail shows an incorrect dimension.**

- Add a stop bar at exit.
- Show how new curb/gutter will tie with the pavement edge on 40<sup>th</sup>.
- Add a note to sod to at least the 100 year water line.
- Contours show top of pond 1324 along the south side; however the control weir is set to 1324.5.?
- Wheel stops are needed when any sidewalk is adjacent to parking with aa width less than 7'.
- Set property corner at the SE corner.
- Will the top of junction box be used as part of the sidewalk surface?
- Why taper the sidewalk at the end of the property?
- Show all easements.
- Add the required drainage easement for the detention facility.

# 40TH STREET COMMERCIAL SPRINGDALE, ARKANSAS

## LARGE SCALE DEVELOPMENT PLAN L20-18



DATE	REVISIONS
5/28/20	
6/18/20	

40TH STREET COMMERCIAL  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-18  
 COVER SHEET  
 SPRINGDALE, ARKANSAS



DRAWING NO  
01

### GENERAL NOTES TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
- EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
- PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
- PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
- CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
- CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- CONTRACTOR SHALL ADJUST AND/OR NEATLY CUT EXISTING PAVEMENT TO ASSURE A SMOOTH FIT AND TRANSITION.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
- DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
- THE CONSTRUCTION AND INSTALLATION OF WATER AND SANITARY SEWER UTILITIES SHALL BE IN COMPLIANCE WITH THE CITY OF SPRINGDALE'S WATER AND SEWER SPECIFICATIONS, PROCEDURES AND DETAILS.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF SPRINGDALE'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
- IN ALL RESIDENTIAL, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS SUBMITTED AFTER AUGUST 30, 2007, ALL UTILITY WIRES, LINES, AND/OR CABLE IN SAID DEVELOPMENTS UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND. EXCLUDING 12KV AND ABOVE.
- CODES TO BE REFERENCED AS PART OF THIS DEVELOPMENT:  
 2009 ARKANSAS PLUMBING CODE  
 2012 INTERNATIONAL BUILDING CODE  
 2014 NATIONAL ELECTRIC CODE  
 2010 ARKANSAS MECHANICAL CODE



VICINITY MAP  
N.T.S. NORTH

A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.  
<http://www.springdalear.gov/documentcenter/home/view/3315>

**BASIS OF ELEVATION:**  
CITY OF SPRINGDALE MONUMENT #7 (NAVD 88 VERTICAL DATUM)

**BASIS OF BEARING:**  
GPS OBSERVATION - AR NORTH ZONE (NAD 83 HORIZONTAL DATUM)

**FLOOD CERTIFICATION:**  
NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR WASHINGTON COUNTY, ARKANSAS.  
(FIRM PANEL #05143C0060F. DATED 05/16/2008)

**GENERAL SURVEY NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

**SURVEY DESCRIPTION:**  
A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 18 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S02°15'23"W 375.50' FROM THE NORTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE S87°25'46"E 25.00' TO AN EXISTING REBAR, THENCE S02°15'23"W 69.28' TO AN EXISTING REBAR, THENCE S87°44'37"E 19.00' TO AN EXISTING REBAR, THENCE N02°15'22"E 69.18' TO AN EXISTING REBAR, THENCE S87°25'46"E 449.70' TO AN EXISTING REBAR, THENCE S02°14'13"W 145.81' TO AN EXISTING PIPE, THENCE N87°49'05"W 493.75', THENCE N02°15'23"E 149.16' TO THE POINT OF BEGINNING, CONTAINING 1.64 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN NORTH 40TH STREET RIGHT-OF-WAY ON THE WEST SIDE OF HEREIN DESCRIBED TRACT AND ALSO SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

**SITE AMENITIES:**  
1. BICYCLE RACKS  
2. PICNIC TABLE  
AMENITIES ARE TO BE COMPLEMENTARY TO THE PRINCIPAL MATERIALS OF THE BUILDING AND LANDSCAPE

**SITE AREA INFORMATION:**  
GROSS SITE AREA 48,050 SQ FT  
SITE AREA IN RIGHT OF WAY 4,040 SQ FT  
NET SITE AREA 44,010 SQ FT

**GREENSPACE CALCULATIONS:**  
TOTAL AREA OF SITE 44,010 SQ FT  
PROPOSED IMPERMEABLE AREA 32,503 SQ FT  
POST-DEVELOPED GREENSPACE 11,507 SQ FT  
TOTAL PERCENTAGE GREENSPACE: 26%

**BUILDING SETBACKS (C-2):**  
FRONT 30ft  
SIDE (W/ PARKING BETWEEN R/W AND BLDG) 50ft  
REAR 25ft  
REAR (ADJACENT TO RESIDENTIAL USES) 50ft

**PARCEL NUMBER:** PT. OF 815-29819-130  
**PROJECT SITE ADDRESS:** 755 N 40TH ST SPRINGDALE, ARKANSAS  
**ZONING CLASSIFICATION:** C-2  
**ACRES:** 1.10± (1.01 ACRES +/- PER M.S.P. R/W)  
**BUILDING TYPE:** TYPE II-B W/FIRE SUPPRESSION  
**OCCUPANCY:** B (10,600 S.F.) S2 (1,500 S.F.)  
**PROPOSED USE:** OFFICE  
**GROSS FLOOR AREA:** 13,500 SQ. FT.  
**BUILDING HEIGHT:** XX  
**OWNER/DEVELOPER:** MCLEOD & SMYTH LLC PO BOX 518 TONTONN, AR 72770 PHONE: (479) 751-7522 / (479) 200-3929 EMAIL: JMM@CONCRETESERVICESNWA.COM  
**ENGINEER/SURVEYOR:** BATES & ASSOCIATES, INC. GEOFFREY H. BATES P.E. 9810 DERRICK L. THOMAS P.L.S. 1642 FAYETTEVILLE, AR 72703 PHONE: (479) 442-9350 FAX: (479) 521-9350 EMAIL: GEOFF@BATESNWA.COM  
**ARCHITECT:** KEN SHANER, ARCHITECT PHONE: (479) 631-5057 EMAIL: KSHANER@GMAIL.COM

**PARKING REQUIREMENTS:**  
CHAPTER 130, ARTICLE 7, SECTION 7.4 - PARKING STANDARDS  
**BUSINESS & PROFESSIONAL OFFICE:**  
ONE (1) SPACE PER THREE HUNDRED (300) SQUARE FEET OF NET FLOOR SPACE. FOR STRUCTURES LARGER THAN TEN THOUSAND (10,000) SQUARE FEET, THE ABOVE PARKING REQUIREMENT SHALL BE PROVIDED AND THE FOLLOWING PERCENTAGE SHALL BE TAKEN TO THE REMAINING NET FLOOR AREA: 10,001-20,000 SQ. FT. - 95% OF PARKING REQUIREMENT  
SQUARE FOOTAGE OF BUILDING: 12,100 SQ. FT.  
SPACES REQUIRED: 40  
SPACES PROVIDED: 41  
ADA SPACES REQUIRED/PROVIDED: 2

PROPOSED	EXISTING	DESCRIPTION
---	---	ASPHALT (EDGE)
---	---	ASPHALT (SURFACE)
---	---	BOLLARD
---	---	BUILDING
---	---	BUILDING SETBACK LINE
---	---	CENTERLINE
---	---	CONCRETE (EDGE)
---	---	CONCRETE (SURFACE)
---	---	CONDUIT
---	---	CONTOURS
---	---	CURB & GUTTER
---	---	DUMPSTER
---	---	EASEMENT
---	---	ELECTRICAL (OVERHEAD)
---	---	ELECT. TRANSFORMER
---	---	SILT FENCE
---	---	FENCE (WIRE/WOOD/CHAIN)
---	---	FIRE HYDRANT ASSEMBLY
---	---	GAS MAIN
---	---	GAS METER/VALVE
---	---	GRAVEL (EDGE)
---	---	GRAVEL (SURFACE)
---	---	IRON PIN - (RE-BAR)
---	---	LIGHT
---	---	POWER POLE
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	RIGHT-OF-WAY
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER PIPE
---	---	SANITARY SEWER SERVICE
---	---	SIDEWALK
---	---	SIGN
---	---	SPOT ELEVATION
---	---	STORM SEWER PIPE
---	---	STRIPES (PAINTED OR STICKY)
---	---	TELEPHONE PED/MANHOLE
---	---	TREE
---	---	WATER MAIN PIPE
---	---	WATER METER
---	---	WATER VALVE

### UTILITY CONTACT INFORMATION

**CABLE:** COX COMMUNICATIONS  
JASON COMBS / MICHAEL MOORE  
4901 S. 48th STREET  
SPRINGDALE, AR 72762  
PHONE: (479) 717-3730

**FIRE:** CITY OF SPRINGDALE  
417 HOLCOMB STREET  
SPRINGDALE, AR 72764  
PHONE: (479) 750-4510

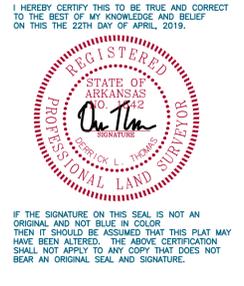
**GAS:** BLACK HILLS ENERGY  
655 E. MILLSAP DRIVE  
FAYETTEVILLE, AR 72703  
PHONE: (800) 563-0012

**TELEPHONE:** SOUTHWESTERN BELL  
SUE CLOUSER  
FAYETTEVILLE, AR 72701  
PHONE: (479) 442-3107

**WATER & SEWER:** SPRINGDALE WATER UTILITIES  
RICK RUSSELL  
526 OAK AVE.  
SPRINGDALE, AR 72764  
PHONE: (479) 571-5751

**WASTE:** WASTE MANAGEMENT  
11979 ARBOR ACRES RD.  
FAYETTEVILLE, AR 72701  
PHONE: (800) 443-5558

**ELECTRIC:** AEP/SWEPSCO  
NANCY S. GUISINGER  
101 W. TOWNSHIP STREET  
FAYETTEVILLE, AR 72703  
PHONE: (479) 225-0813



I HEREBY CERTIFY THIS TO BE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF ON THIS THE 22TH DAY OF APRIL, 2019.

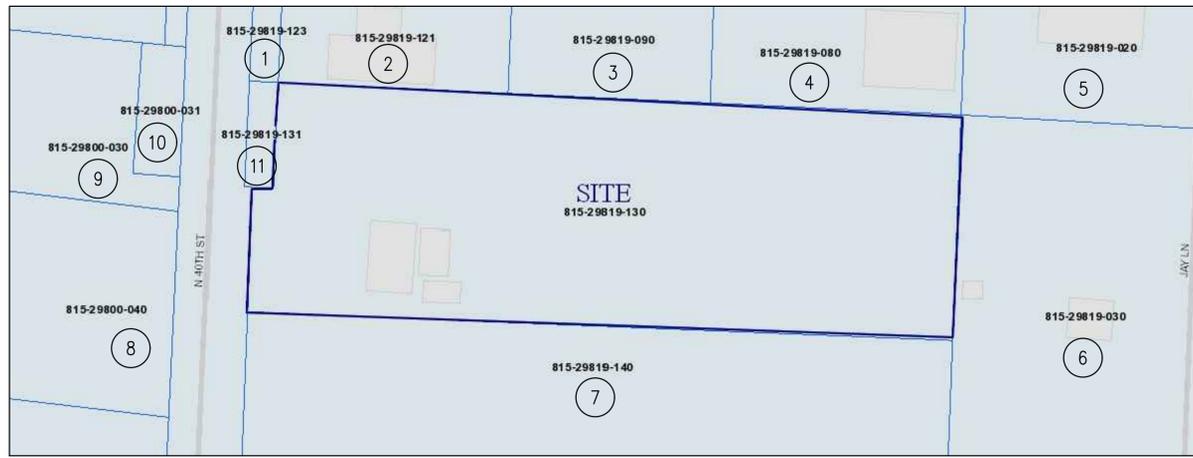
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 Date: 6/8/2017  
 Scale: 1=1 (FS)  
 Xrefs Used: BATES-AR, COA BBA, 24X36

**ENGINEER'S NOTICE TO CONTRACTOR**  
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN, AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

**OWNERSHIP OF DOCUMENTS**  
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

**SAFETY NOTICE TO CONTRACTOR**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.  
THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.





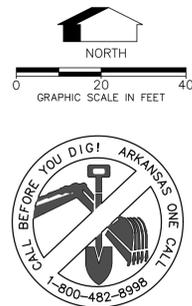
**ADJACENT PROPERTY OWNERS:**

- 1) PARCEL #815-29819-123  
CITY OF SPRINGDALE  
201 N SPRING ST  
SPRINGDALE, AR 72764  
ZONED: C-2
- 2) PARCEL #815-29819-121  
LUCKETT, DONNA  
787 N 40TH ST  
SPRINGDALE, AR 72762-0604  
ZONED: C-2
- 3) PARCEL #815-29819-090  
HORSEHEAD LLC  
PO BOX 162  
SPRINGDALE, AR 72764  
ZONED: C-2
- 4) PARCEL #815-29819-080  
CONCRETE SERVICES OF NWA  
NORTHWEST ARKANSAS, INC  
PO BOX 518  
TONTITOWN, AR 72770  
ZONED: C-2
- 5) PARCEL #815-29819-020  
COX, J C & BRENDA S  
833 S ELM SPRINGS RD  
SPRINGDALE, AR 72762-9206  
ZONED: O-1
- 6) PARCEL #815-30054-120  
U S BANK NATIONAL ASSOCIATION  
OPTION ONE MORTGAGE  
650 IRVIN CENTER DR  
IRVIN, CA 92618  
ZONED: O-1
- 7) PARCEL #815-29819-030  
PERRY, JOSHUA S & CANDICE N  
692 JAY LANE  
SPRINGDALE, AR 72762  
ZONED: C-2
- 8) PARCEL #815-29800-040  
SINGH, DILPREET  
6405 S 35TH ST  
ROGERS, AR 72758  
ZONED: C-5/C-2
- 9) PARCEL #815-29800-031  
SINGH, DILPREET  
6405 S 35TH ST  
ROGERS, AR 72758  
ZONED: C-2
- 10) PARCEL #815-29800-031  
CITY OF SPRINGDALE  
201 N SPRING ST  
SPRINGDALE, AR 72764  
ZONED: C-2
- 11) PARCEL #815-29819-131  
CITY OF SPRINGDALE  
201 N SPRING ST  
SPRINGDALE, AR 72764  
ZONED: C-2

**TREE LIST:**

#	DBH	SPECIES	CANOPY	STATUS
1.	28"	ELM	35'	PRESERVE (OFFSITE)
2.	28"	ELM	35'	PRESERVE (OFFSITE)
3.	ELM CLUSTER	50'	PRESERVE (OFFSITE)	
4.	22"	ELM	40'	PRESERVE (OFFSITE)
5.	14"	ELM	30'	REMOVE
6.	12"	DOUBLE ELM	30'	REMOVE
7.	8"	ELM	15'	REMOVE
8.	12"	ELM	30'	REMOVE
9.	20"	ELM	35'	PRESERVE (OFFSITE)
10.	4"	ELM	10'	PRESERVE
11.	12"	ELM	10'	REMOVE
12.	6"	ELM	15'	PRESERVE
13.	16"	ELM	25'	PRESERVE (OFFSITE)

PROPOSED	EXISTING	DESCRIPTION
---	---	ASPHALT (EDGE)
---	---	ASPHALT (SURFACE)
---	---	BOLLARD
---	---	BUILDING
---	---	BUILDING SETBACK LINE
---	---	CENTERLINE
---	---	CONCRETE (EDGE)
---	---	CONCRETE (SURFACE)
---	---	CONDUIT
---	---	CONTOURS
---	---	CURB & GUTTER
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---	---	FENCE (WIRE/WOOD/CHAIN)
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---	---	WATER MAIN PIPE
---	---	WATER METER
---	---	WATER VALVE



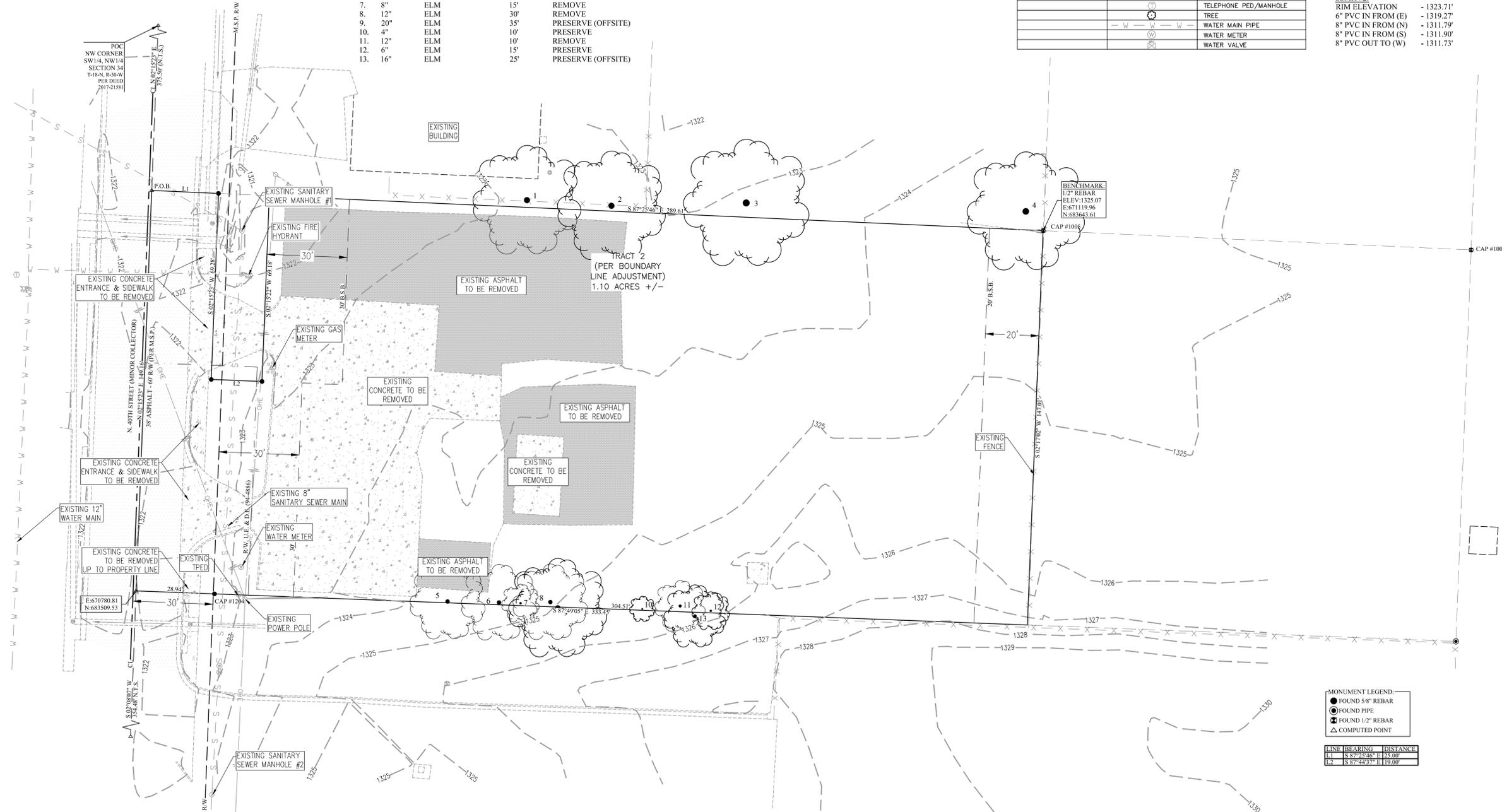
**SSMH #1:**

RIM ELEVATION	- 1321.53'
4" PVC IN FROM (N)	- 1316.38'
8" PVC IN FROM (NW)	- 1313.81'
8" PVC OUT TO (S)	- 1313.78'

**SSMH #2:**

RIM ELEVATION	- 1323.71'
6" PVC IN FROM (E)	- 1319.27'
8" PVC IN FROM (N)	- 1311.79'
8" PVC IN FROM (S)	- 1311.90'
8" PVC OUT TO (W)	- 1311.73'

REVISIONS	DATE
1ST SUBMITTAL	5/28/20
REVISIONS PER 6/10/20 TECHNICAL REVIEW COMMENTS	6/19/20



**MONUMENT LEGEND:**

- FOUND 5/8" REBAR
- FOUND PIPE
- ▲ FOUND 1/2" REBAR
- △ FOUND POINT

**LINE BEARING DISTANCE**

11	S 87°44'37" E 123.00'
12	S 87°44'37" E 119.00'

Time: 10:05 am  
Scale: 1/20 (FS)  
Date: 5/16/2017  
Drawing Name: 17\00017-017\Engineering\03 Site Plans.dwg  
Xrefs Used: BATES-AR\_24X36\_bosa\_COA\_BBA

40TH STREET COMMERCIAL  
LARGE SCALE DEVELOPMENT PLANS  
L20-18  
SITE PLAN  
SPRINGDALE, ARKANSAS

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Civil Engineering & Surveying  
www.batesinc.com  
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PROPOSED	EXISTING	DESCRIPTION
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BOLLARD
		BUILDING
		BUILDING SETBACK LINE
		CENTERLINE
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
1255		CONTOURS
		CURB & GUTTER
		DUMPSTER
		EASEMENT
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		SILT FENCE
		FENCE (WIRE/WOOD/CHAIN)
		FIRE HYDRANT ASSEMBLY
		GAS MAIN
		GAS METER/VALVE
		GRAVEL (EDGE)
		GRAVEL (SURFACE)
		IRON PIN - (RE-BAR)
		LIGHT
		POWER POLE
		PROPERTY LINE
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MANHOLE
		SANITARY SEWER PIPE
		SANITARY SEWER SERVICE
		SIDEWALK
		SIGN
		SPOT ELEVATION
		STORM SEWER PIPE
		STRIPE (PAINTED OR STICKY)
		TELEPHONE PED/MANHOLE
		TREE
		WATER MAIN PIPE
		WATER METER
		WATER VALVE

**PARKING REQUIREMENTS:**  
CHAPTER 130, ARTICLE 7, SECTION 7.4 - PARKING STANDARDS

**BUSINESS & PROFESSIONAL OFFICE:**

ONE (1) SPACE PER THREE HUNDRED (300) SQUARE FEET OF NET FLOOR SPACE. FOR STRUCTURES LARGER THAN TEN THOUSAND (10,000) SQUARE FEET, THE ABOVE PARKING REQUIREMENT SHALL BE PROVIDED AND THE FOLLOWING PERCENTAGE SHALL BE TAKEN TO THE REMAINING NET FLOOR AREA: 10,001-20,000 SQ. FT. = 95% OF PARKING REQUIREMENT

SQUARE FOOTAGE OF BUILDING: 12,100 SQ. FT.  
SPACES REQUIRED: 40  
SPACES PROVIDED: 41

ADA SPACES REQUIRED/PROVIDED: 2

**BUILDING SETBACKS (C-2):**

FRONT 30ft  
FRONT (W/ PARKING BETWEEN R/W AND BLDG) 50ft  
SIDE 00ft  
REAR 25ft  
REAR (ADJACENT TO RESIDENTIAL USES) 50ft

**GREENSPACE CALCULATIONS:**

TOTAL AREA OF SITE 44,010 SQ FT  
PROPOSED IMPERMEABLE AREA 32,503 SQ FT  
POST-DEVELOPED GREENSPACE 11,507 SQ FT

TOTAL PERCENTAGE GREENSPACE: 26%

**SITE AREA INFORMATION:**

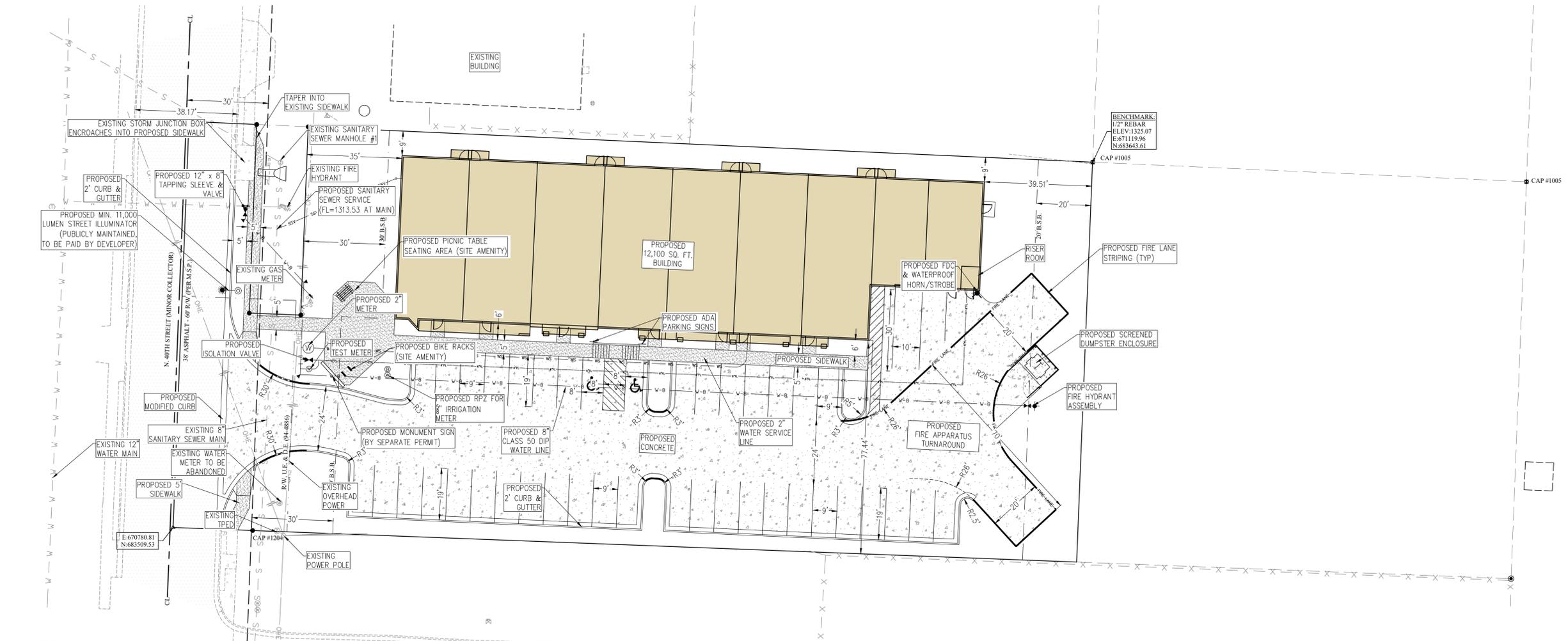
GROSS SITE AREA 48,050 SQ FT  
SITE AREA IN RIGHT OF WAY 4,040 SQ FT  
NET SITE AREA 44,010 SQ FT

**SITE AMENITIES:**

1. BICYCLE RACKS  
2. PICNIC TABLE

AMENITIES ARE TO BE COMPLEMENTARY TO THE PRINCIPAL MATERIALS OF THE BUILDING AND LANDSCAPE.

- GENERAL NOTES:**
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE COST OF ANY REQUIRED ADJUSTMENTS TO THE EXISTING WATER AND SEWER FACILITIES DUE TO SITE GRADING, PAVING, LOT LINE ADJUSTMENTS OR OTHER MATTERS.
  - SPRINGDALE WATER UTILITIES WILL INSTALL THE PROPOSED WATER METER SERVICE AT THE OWNER/DEVELOPER'S EXPENSE.
  - REQUESTS FOR METER SERVICES LARGER THAN A 3/4" WATER METER SETTER FOR IRRIGATION OR LARGER THAN 1" METER SETTER FOR POTABLE WATER WILL HAVE TO BE APPROVED IN WRITING BY THE ENGINEERING DIRECTOR OF SPRINGDALE WATER UTILITIES.
  - INSTALL DOMESTIC METER AND IRRIGATION METER WITH A BACKFLOW PREVENTER.
  - EXTERIOR GROUND-MOUNTED OR BUILDING-MOUNTED EQUIPMENT INCLUDING, BUT NOT LIMITED TO, MECHANICAL EQUIPMENT, UTILITIES, AND BANKS OF METERS SHALL BE SCREENED FROM PUBLIC VIEW WITH LANDSCAPING OR WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING ARCHITECTURE.
  - ALL UTILITY WIRES, LINES, AND/OR CABLE UTILIZED BY ELECTRIC AND/OR TELECOMMUNICATIONS COMPANIES SHALL BE PLACED UNDERGROUND. EXCLUDING 12KV AND ABOVE.
  - HANDICAPPED RAMPS SHALL BE PROVIDED WHEREVER A SIDEWALK CROSSES A CURB AT CROSSWALKS, DRIVEWAYS, AND STREET INTERSECTIONS.
  - ALL MATERIAL AND COMPONENTS INSTALLED AFTER JANUARY 3, 2014 IN DRINKING WATER SYSTEMS ARE REQUIRED TO COMPLY WITH THE FEDERAL DEFINITION OF 'LEAD FREE' CONTAINED IN PUBLIC LAW 111-380.
  - ANY RELOCATION OF EXISTING FACILITIES OR EXTENSION OF LINE THAT HAS TO BE BUILT SPECIFICALLY TO FEED THIS PROJECT WILL BE AT FULL COST TO THE DEVELOPER.
  - IF OFF SITE EASEMENTS ARE NEEDED FOR SWPCO TO PROVIDE ELECTRICITY TO THE DEVELOPMENT, EASEMENTS MUST BE OBTAINED BY DEVELOPER AND PROVIDED TO SWPCO BEFORE THE DESIGN WILL BEGIN. ON SITE EASEMENTS MUST BE SHOWN ON PLAT AND RECORDED WITH THE COUNTY.
  - ALL PROPERTY CORNERS AND EASEMENTS MUST BE CLEARLY MARKED BEFORE CONSTRUCTION WILL BEGIN.
  - ALL CONDUITS PLACED AT ROAD CROSSINGS BY DEVELOPER MUST HAVE 48 INCH OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY END OF CONDUITS. (3-4 INCH SCHEDULE CONDUITS TO BE USED FOR ELECTRIC ONLY AT ALL ROAD CROSSINGS. CONDUITS MUST EXTEND PAST THE EDGE OF ANY OBSTRUCTIONS SO THAT THEY ARE ACCESSIBLE DURING CONSTRUCTION.) THERE MUST BE MINIMUM SEPARATION OF 12 INCHES BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES. THIS IS NESC CODE 354. ALL CONDUITS FOR ROAD CROSSINGS AND SPECIFIC WIDTHS OF U.E. MUST BE SHOWN ON FINAL PLAT BEFORE SWPCO ELECTRIC WILL SIGN THE FINAL PLAT.
  - TRANSFORMER MUST HAVE A MINIMUM OF 30 FEET CLEARANCE FROM ANY STRUCTURE. ANY VARIATION OF THIS REQUIREMENT MUST HAVE WRITTEN APPROVAL FROM A SWPCO REPRESENTATIVE.
  - TRANSFORMER WILL NEED TO BE LOCATED IN AN AREA EASILY ACCESSIBLE TO SWPCO LINE TRUCKS FOR INSTALLATION AND CONTINUED MAINTENANCE.
  - BOLLARDS WILL NEED TO BE INSTALLED AT ALL FOUR CORNERS OF TRANSFORMER PAD.
  - A MINIMUM 15' UTILITY EASEMENT WILL BE REQUIRED FOR ALL UNDERGROUND CONDUCTORS UP TO AND INCLUDING THE LOCATION OF THE PAD MOUNT TRANSFORMER.
  - DEVELOPER WILL NEED TO CONTACT NANCY GUISINGER AT SWPCO (479-225-0813) AND PROVIDE HER WITH ELECTRICAL LOAD INFORMATION BEFORE ANY COST TO DEVELOPER CAN BE DETERMINED.
  - DEVELOPER TO PROVIDE ALL TRENCH AND PVC CONDUITS INCLUDING STEEL SWEEPS IN ACCORDANCE WITH SWPCO SPECIFICATIONS.
  - ALL UTILITY EASEMENTS TO BE CLEARED OF ALL TREES, BRUSH, DIRT PILES, BUILDINGS AND DEBRIS SO THAT THE EASEMENT IS ACCESSIBLE WITH EQUIPMENT. IF EASEMENT IS NOT CLEARED DEVELOPER MAY BE SUBJECT TO EXTRA CHARGES.
  - CONTRACTOR MUST APPLY FOR ELECTRIC TEMPORARY CONSTRUCTION AND PERMANENT SERVICE BEFORE ANY DESIGN AND COST IS DETERMINED BY SWPCO.
  - ANY ADDITIONAL WATER METER SERVICES OR SANITARY SEWER SERVICES NEEDED IN THE FUTURE SHALL BE INSTALLED BY SPRINGDALE WATER UTILITIES AT THE OWNER/DEVELOPER'S EXPENSE.
  - ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT THAT IS COMPATIBLE WITH THE BUILDING ARCHITECTURE. WHEN A COMMERCIAL DEVELOPMENT INCLUDES A FENCE OR WALL, THE FOLLOWING GUIDELINES AND STANDARDS APPLY:
    - MAXIMUM HEIGHT OF A FENCE OR WALL SHALL BE 6'
    - CONSTRUCTED OF HIGH QUALITY MATERIALS SUCH AS, DECORATIVE BLOCKS, BRICK, STONE, CYPRESS, CEDAR, REDWOOD, AND/OR WROUGHT IRON.
    - MAXIMUM LENGTH OF A CONTINUOUS, UNBROKEN, AND UNINTERRUPTED FENCE OR WALL SHALL BE 50'. BREAKS SHALL BE PROVIDED THROUGH THE USE OF COLUMNS, LANDSCAPING POCKETS, TRANSPARENT SECTIONS, AND/OR A CHANGE TO DIFFERENT MATERIALS.
  - STREETLIGHTS TO BE PAID FOR BY DEVELOPER. THE STREETLIGHT FIXTURE SHALL BE THE MOST ENERGY EFFICIENT MODEL PROVIDED BY THE ELECTRIC UTILITY AT THE TIME OF INSTALLATION, OR AS DIRECTED BY THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR OR HIS/HER DESIGNATED REPRESENTATIVE. THE MINIMUM INITIAL RATING FOR THE STREETLIGHT AT THE INTERSECTION OF CENTRAL AND 48TH SHALL BE 11,000 LUMENS. THE MINIMUM MINIMUM RATING FOR THE STREETLIGHT ALONG N 40TH ST SHALL BE 11,000 LUMENS.
  - WATER AND SEWER LINES MUST BE LOCATED A MINIMUM OF 7.5 FEET FROM THE TOP OF AN EMBANKMENT OR THE TOP OF ANY DETENTION POND SLOPE.
  - ALL WATER AND SANITARY SEWER TAP WHICH ARE NOT INDICATED ON THE PLANS SHALL BE IN ACCORDANCE WITH SPRINGDALE WATER UTILITIES STANDARD SPECIFICATIONS.
  - STOCKPILING OF CONSTRUCTION SPOIL MATERIAL AT PARTICULAR LOCATIONS SHALL ONLY BE ALLOWED FOR A LIMITED TIME PERIOD, NOT EXCEEDING (6) MONTHS. PRIOR TO A FINAL INSPECTION OF GRADING PERMIT, THE FOLLOWING STANDARDS SHALL BE ACHIEVED FOR COMPLETION OF CONSTRUCTION:
    - DEVELOPMENT AND GRADING WITHIN THE DISTURBED AREA IS COMPLETE AND MATCHES PLANS AS APPROVED BY PLANNING COMMISSION AND
    - THE DISTURBED SOIL AREA IS OBSERVED TO HAVE 80% GRASS COVERAGE AND 100% STABILITY, AND
    - NO SLOPES STEEPER THAN A 3:1 PITCH UNLESS OTHERWISE APPROVED IN WRITING BY THE DIRECTOR OF ENGINEERING, AND
    - NOTICE OF VIOLATIONS ISSUED HAVE ALL CORRECTIVE ACTIONS APPROVED WITH AN INSPECTION REPORT SID BY A REPRESENTATIVE OF THE DIRECTOR OF ENGINEERING, AND
    - ALL HEAVY EQUIPMENT, STOCKPILES, AND CONSTRUCTION SITE MATERIALS HAVE BEEN REMOVED FROM CONSTRUCTION SITE



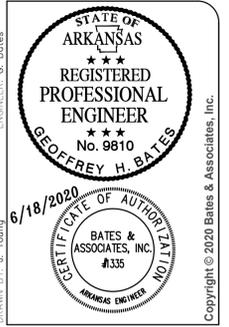
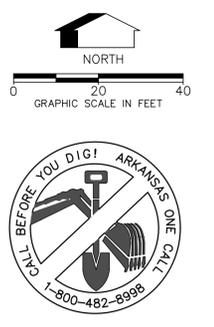
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8" PVC IN FROM (N) - 1311.79'  
8" PVC IN FROM (S) - 1311.90'  
8" PVC OUT TO (W) - 1311.73'

A 3200 SERIES KNOX BOX IS REQUIRED AT THE PRIMARY ENTRANCE TO THE BUILDING. BOXES MAY BE ORDERED AT WWW.KNOXBOX.COM OR AN ORDER FORM CAN BE OBTAINED FROM THE FIRE MARSHAL.

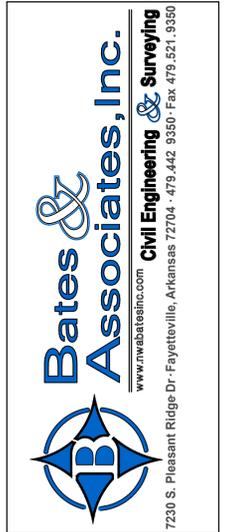
**GENERAL SURVEY NOTE:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



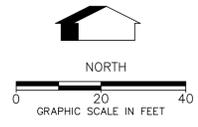
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40TH STREET COMMERCIAL  
LARGE SCALE DEVELOPMENT PLANS  
L20-18  
SITE PLAN  
SPRINGDALE, ARKANSAS





A CITY OF SPRINGDALE DETENTION/RETENTION CERTIFICATION FORM MUST BE COMPLETED, STAMPED, AND SIGNED BY A CERTIFIED PROFESSIONAL ENGINEER, POST-DEVELOPMENT AND SUBMITTED TO THE CITY OF SPRINGDALE ENGINEERING DEPARTMENT.  
 HTTP://WWW.SPRINGDALEAR.GOV/DOCUMENTCENTER/HOME/VIEW/3315



**SEDIMENT & EROSION CONTROL NOTES:**

- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.O. AND CITY REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL POST STORM WATER POLLUTION PREVENTION PLAN.
- ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL ALL EXCAVATION IS COMPLETE.
- THE PROPERTY OWNER OR MAIN CONTRACTOR ONSITE WILL BE RESPONSIBLE FOR RESTORING ALL EROSION AND SEDIMENT CONTROL SYSTEMS AND PUBLIC INFRASTRUCTURE DAMAGE OR DISTURBED BY UNDERGROUND PRIVATE FRANCHISED UTILITY CONSTRUCTION SUCH AS WATER AND SEWER SERVICE LEADS, TELEPHONE, GAS, CABLE, ETC. EROSION AND SEDIMENT CONTROL SYSTEMS MUST BE IMMEDIATELY RESTORED AFTER EACH UTILITY CONSTRUCTION.

**HANDICAP SPACE NOTES:**

- HANDICAP SPACES MUST HAVE A MAXIMUM OF 2% SLOPE IN ALL DIRECTIONS.

**CITY OF SPRINGDALE STANDARD NOTES:**

\*Stockpiling of construction spoil material at particular locations shall only be allowed for a limited time period, not to exceed (6) months. Prior to a final inspection of the Grading Permit, the following standards shall be achieved for Completion of Construction:

- development and grading within the disturbed area is complete and matches plans as approved by the Planning Commission, and
- the disturbed soil area is observed to have 80% grass coverage and 100% stability, and
- No slopes steeper than a 3:1 pitch unless otherwise approved in writing by the Director of Engineering, and
- Notice of Violations issued have all corrective actions approved with an inspection report signed by a representative of the Director of Engineering, and
- all heavy equipment, stockpiles, and construction site materials have been removed from the Construction Site.

**REVEGETATION NOTES:**

REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE THE FOLLOWING:

- PERMANENT IMPROVEMENTS, PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- TOP SOIL: TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- EXISTING VEGETATION, EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
- SEDIMENT CONTROLS SHALL REMAIN IN PLACE UNTIL RE-VEGETATION IS ESTABLISHED UNLESS OTHERWISE ALLOWED BY THE CITY.
- 4-1 TO 3-1 GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND HYDRO-SEEDING WITH MULCH AND FERTILIZER, OR STAKED SOD, OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.

**CONSTRUCTION NOTES:**

- ALL AREAS UNDER BUILDINGS AND PAVED AREAS SHALL BE STRIPPED OF TOPSOIL. THE RESULTING SUB GRADE SHALL BE THOROUGHLY COMPACTED. ANY SOFT OR YIELDING AREAS SHALL BE STABILIZED OR REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- FILL MATERIAL SHALL BE APPROVED BY THE ENGINEER. ALL FILL SHALL BE MADE IN LIFTS NOT EXCEEDING 8" THICKNESS WITH EACH LIFT COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL SLOPES SHALL NOT BE STEEPER THAN 3:1 SLOPE.
- ALL GRADED AREAS SHALL HAVE 4" OF TOPSOIL, SOD, EROSION FABRIC, HERBACEOUS GROUND COVER, AND/OR HYDROSEEDING WITH A WARM SEASON GRASS. REVEGETATION SHALL BE IMMEDIATELY AFTER THE PHYSICAL ALTERATION OF THE LAND IS COMPLETE (MAXIMUM OF 15 DAYS).
- ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY GRADING REGULATIONS, SILT FENCES, BERMS, DETENTION PONDS, OR OTHER MEANS NEEDED TO MEET THE CITY GRADING REQUIREMENTS SHALL BE PROVIDED AS REQUIRED TO MEET THESE REGULATIONS.
- ALL HEAVILY TRAVELED DIRT AREAS SHALL BE WETTED TO PREVENT EXCESSIVE DUST, DURING CONSTRUCTION.
- ALL MUD/DIRT LEFT ON PUBLIC STREETS OR ADJACENT PROPERTIES AS A RESULT OF THIS CONSTRUCTION SHALL BE IMMEDIATELY SHOVELLED OR SWEEP AWAY UNTIL IT IS COMPLETELY REMOVED BY THE CONTRACTOR AND PLACED BACK ON THE SITE.
- ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF SPRINGDALE'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
- CUT OR FILL SLOPES SHALL HAVE A FINISH GRADE NO STEEPER THAN 3:1.
- ANY RETAINING WALL MORE THAN FOUR FEET IN HEIGHT SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AND SHALL BE FIELD INSPECTED BY THE DESIGN ENGINEER.
- SAFETY RAILINGS ARE REQUIRED ON ANY RETAINING WALL GREATER THAN 30" IN HEIGHT. THE SAFETY RAILING SHALL BE BUILT IN TO THE MORE STRINGENT REQUIREMENTS OF THE SBCC OR AASHTO.
- AREAS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE IF CONSTRUCTION ACTIVITY IS TO TEMPORARILY CEASE FOR MORE THAN 21 DAYS.
- ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH.

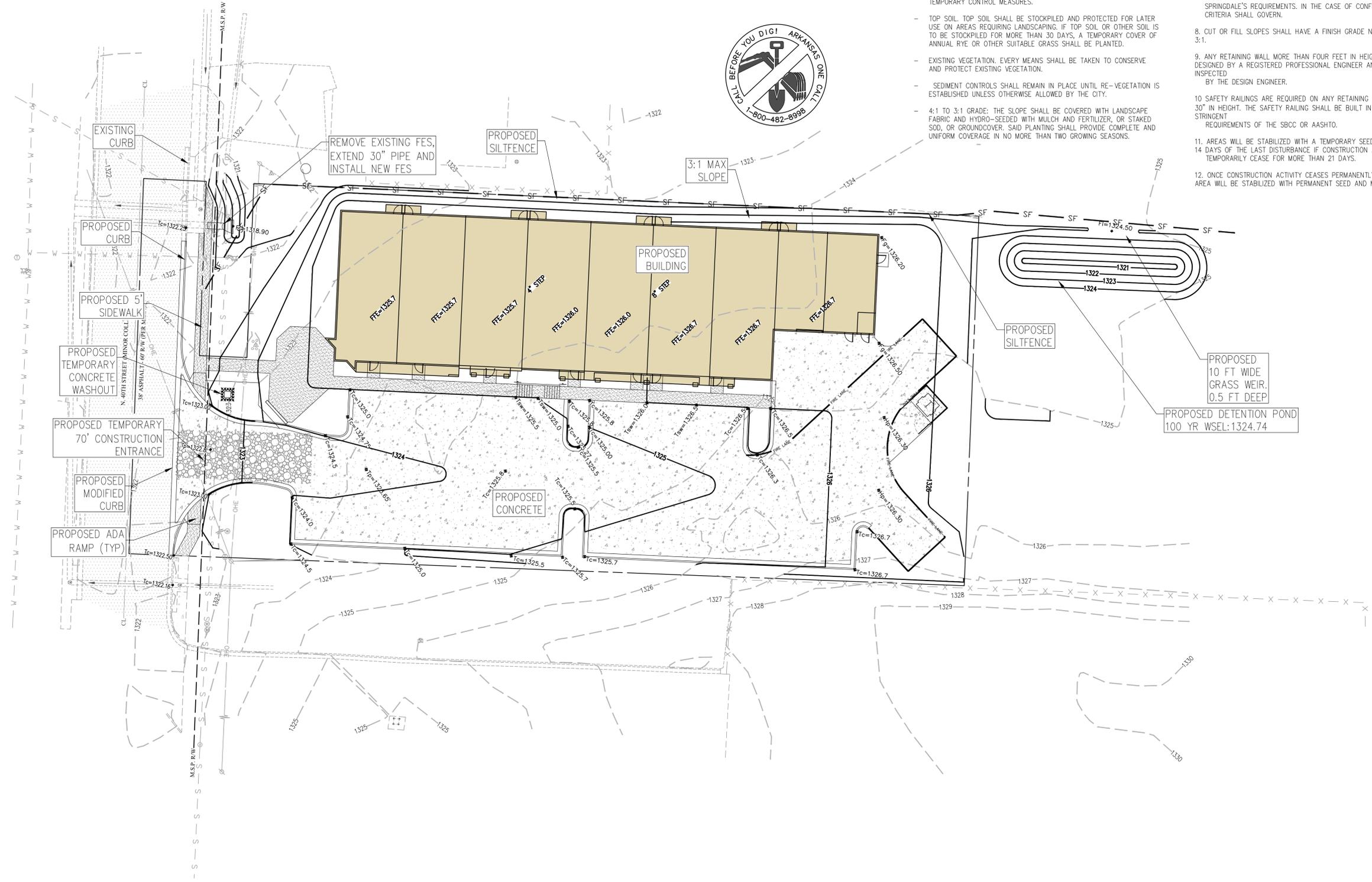
STATE OF ARKANSAS  
 REGISTERED PROFESSIONAL ENGINEER  
 GEOFFREY H. BATES  
 No. 9810  
 6/18/2020  
 BATES & ASSOCIATES, INC.  
 #335  
 ARKANSAS ENGINEER

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40TH STREET COMMERCIAL  
 LARGE SCALE DEVELOPMENT PLANS  
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 GRADING, DRAINAGE &  
 EROSION CONTROL PLAN  
 SPRINGDALE, ARKANSAS

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PROJECT NO: 20-112  
 DRAWING NO: 05



Time: 10:11 am  
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40TH STREET COMMERCIAL  
 LARGE SCALE DEVELOPMENT PLANS  
 L20-18  
 LANDSCAPE PLAN  
 SPRINGDALE, ARKANSAS

**LANDSCAPE REQUIREMENTS:**

**FRONTAGE LANDSCAPING: OPTION 1 (SEC. 56-31)**  
 1 SHADE TREE & 7 SHRUBS PER 25 LINEAR FEET OF STREET FRONTAGE

LINEAR STREET FRONTAGE: 148 FT.

REQUIRED: 6 TREES / 42 SHRUBS  
 PROVIDED: 6 TREES / 42 SHRUBS

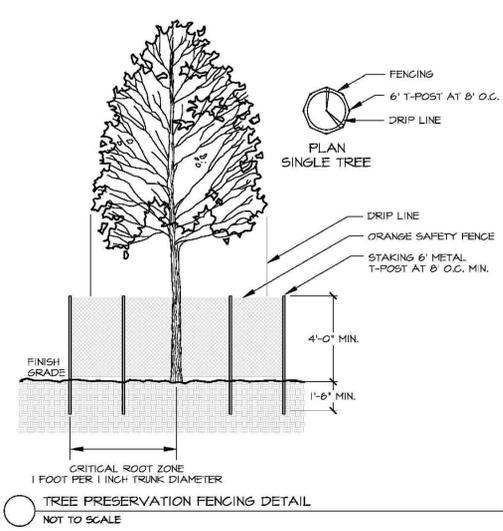
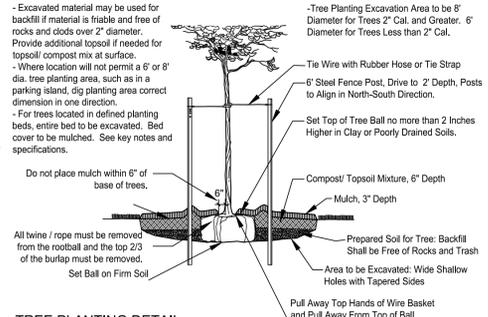
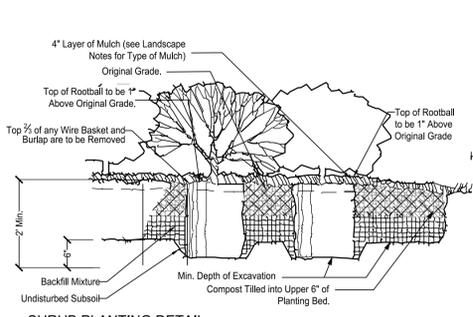
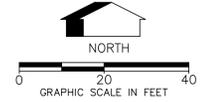
**INTERIOR LANDSCAPING:**  
 PROPOSED PARKING LOT AREA: 13,335 S.F.  
 INTERIOR LANDSCAPE AREA REQUIRED (8%): 906 SF  
 INTERIOR LANDSCAPE AREA PROVIDED: 939 SF

NUMBER OF PARKING SPACES: 41  
 ISLANDS REQUIRED (1 PER 15 SPACES): 3  
 ISLANDS W/ TREES PROVIDED: 3

**PERIMETER LANDSCAPING\*:**  
 5-FOOT LANDSCAPED STRIP ALONG THE SIDE AND REAR LOT LINES OF A DEVELOPMENT WITH ONE TREE PER 25 LINEAR FEET REQUIRED ALONG LOT LINES.

LENGTH OF PERIMETER: 756  
 TREES REQUIRED: 30  
 TREES PROVIDED: 36\*

\*FULL PLANTING OF PERIMETER LANDSCAPING NOT POSSIBLE DUE TO EXISTING OFF-SITE TREE CANOPY. TREES WOULD NOT GROW TO MATURITY.



**TREES**

- EXCAVATION FOR TREE PITS SHALL BE 8" IN DIAMETER. CIRCLE TO BE CENTERED ON TREE AND TRUE IN FORM.
- STAKE ALL TREES BY USING THREE METAL FENCE POST STAKES AND THREE TIES. DRIVE STAKES APPROXIMATELY 6" OUTSIDE OF TREE ROOTBALL AND AN EQUAL DISTANCE FROM TREE TRUNK.
- ALL PRESERVED MATURE TREES ON THE SITE SHALL HAVE A MULCH RING ADDED AROUND THE TRUNK.
- ALL PLANTING HOLES FOR TREES AND SHRUBS SHALL BE BACKFILLED WITH AMENDED SOIL FREE OF SOD.
- ALL LANDSCAPE TREES PLANTED TO MEET STREET TREE, MITIGATION TREE OR OTHER LANDSCAPE CODE REQUIREMENTS MUST BE SINGLE STEM, MINIMUM 2" CALIPER TREES. NO DOUBLE OR TRI-STEM TREES WILL BE COUNTED TOWARDS MEETING REQUIREMENTS.
- IF PLANTING MATERIAL IS TO BE B&B THEN THE B&B MUST BE NATURAL FIBERS AND NOT SYNTHETIC.

**LANDSCAPING**

- PREPARE TOPSOIL FOR SHRUB AND GROUND COVER BEDS BY TILLING A 2 INCH LAYER (165 CF PER 1000 SQ. FT.) OF COMPOST INTO THE UPPER 6 INCHES OF SOIL.
- ALL PLANTING BEDS THAT ADJUT LAWN AREAS TO BE BORDERED BY STEEL EDGING.
- SOLID SLAB SOD BERMUDA GRASS OR BERMUDA SEED TO BE PLANTED IN ALL TURF AREAS.
- TOPSOIL DEPTH SHALL BE MINIMUM 18" IN ALL SHRUB AND GROUND COVER BEDS.
- APPLY 3" OF ORGANIC MULCH TO ALL SHRUB AND GROUND COVER BEDS.
- APPLY 1/2 POUND OSMOCOTE 8-6-12 EVENLY OVER CULTIVATED AREA AROUND EACH TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTINGS.
- IRRIGATION SHALL BE EITHER UNDERGROUND AUTOMATIC SYSTEM.
- TREAT ALL LANDSCAPE AREAS TO CONTROL WEED GROWTH PRIOR TO STARTING CONSTRUCTION.
- ALL LANDSCAPE BEDS SHALL BE FREE OF SOD AND MULCH SHALL COVER THE BARE SOIL TO EASE MAINTENANCE.
- DIG DOWN THE EDGE OF ALL BEDS WHERE THEY ARE ADJACENT TO WALLS, WALKWAYS OR CURBS, SO THAT THE WALL, WALKWAY, OR CURB WILL WORK AS A BED EDGE TO CONTAIN THE MULCH OR GRAVEL.
- PLANTING BEDS SHALL HAVE AMENDED SOIL TO INSURE THE HEALTH OF THE PLANT MATERIALS.

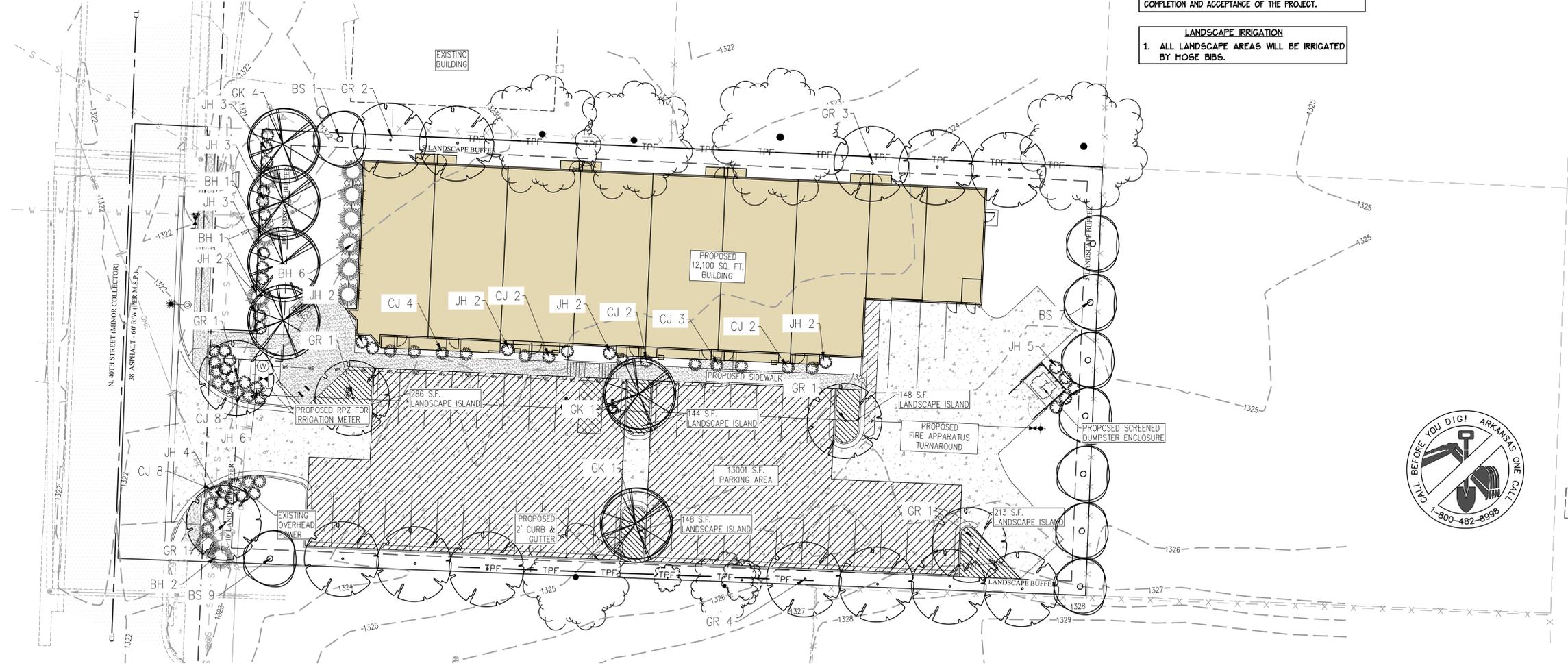
**PLANT LIST**

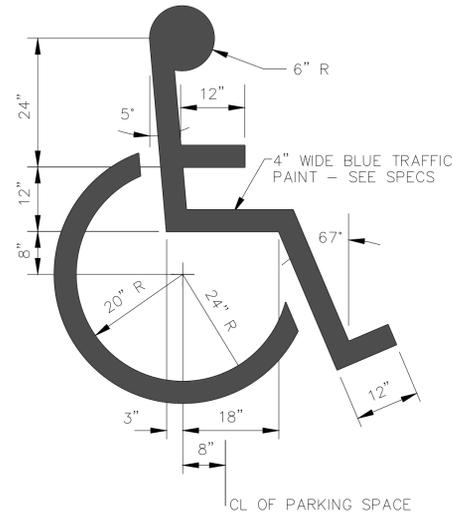
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOTMIN. SIZE	NOTES
17	GR	GOLDEN RAIN TREE <i>Koeleruteria paniculata</i>	B&B 2" CAL	8' TALL MIN.
9	BS	COLORADO BLUE SPRUCE <i>Picea pungens</i>	B&B 2" CAL	8' TALL MIN.
6	GK	GINKGO <i>Ginkgo biloba</i>	B&B 2" CAL	8' TALL MIN.
11	BH	SOUTHERN BLACK-HAW VIBURNUM <i>Viburnum nudifolium</i>	CONT.	3 GAL
32	JH	JAPANESE HOLLY <i>Ilex crenata 'Compacta'</i>	CONT.	3 GAL
29	CJ	CREeping JUNIPER <i>Juniperus horizontalis</i>	CONT.	3 GAL

SUGGESTED PLANTINGS MAY BE SUBSTITUTED WITH ALTERNATE SPECIES AS APPROVED BY CITY OF SPRINGDALE. LIST OF RECOMMENDED TREES AND SHRUBS CAN BE FOUND IN SPRINGDALE CODE OF ORDINANCES, CHAPTER 56, ARTICLE I SECTION 56-37.

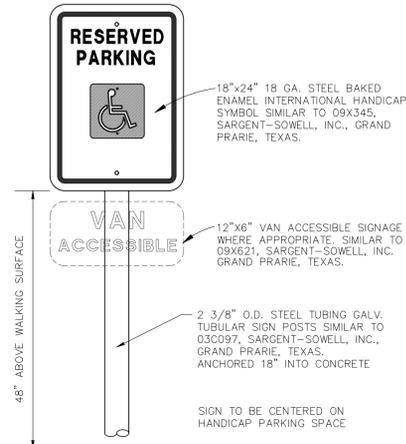
**PLANT WARRANTY**  
 WARRANT ALL PLANT MATERIAL TO BE IN HEALTHY, VIGOROUS CONDITION FOR A PERIOD OF 2 YEARS AFTER SUBSTANTIAL COMPLETION AND ACCEPTANCE OF THE PROJECT.

**LANDSCAPE IRRIGATION**  
 1. ALL LANDSCAPE AREAS WILL BE IRRIGATED BY HOSE BIBS.

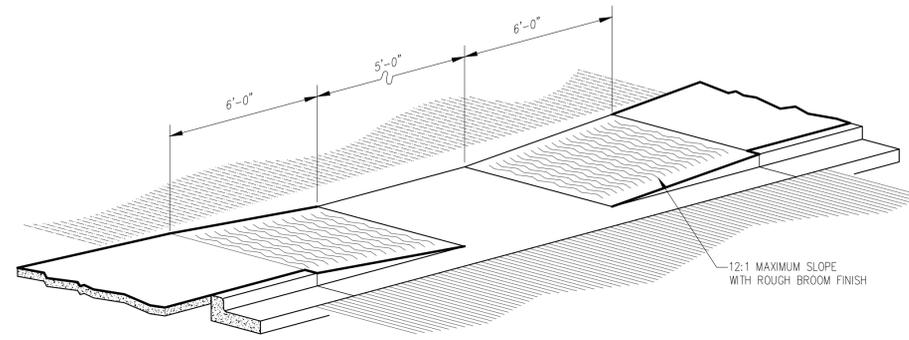




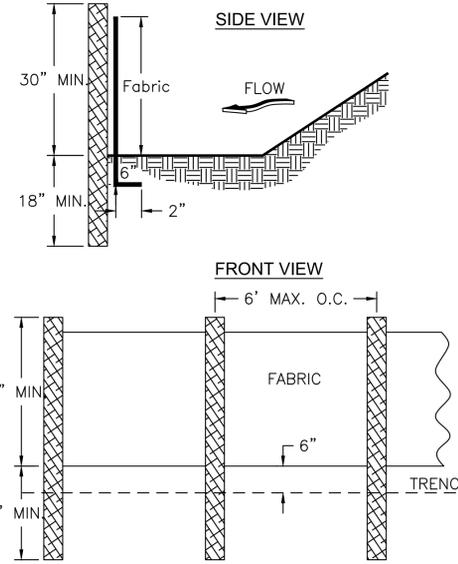
**HANDICAP PAVEMENT SYMBOL**  
N.T.S.



**HANDICAP SIGN**  
N.T.S.

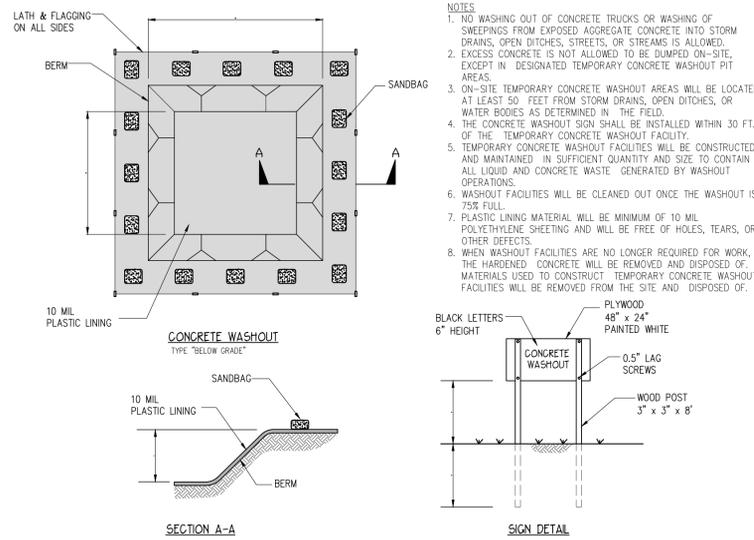


**HANDICAP RAMP**  
N.T.S.

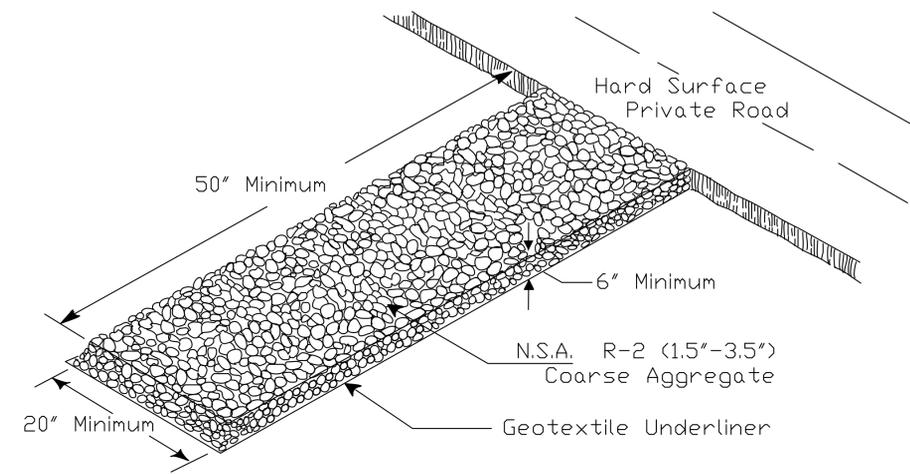


- NOTES:**
1. USE STEEL OR WOOD POSTS OR AS SPECIFIED BY THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  2. HEIGHT (H) IS TO BE SHOWN ON THE EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN.
  3. LOCAL REGULATIONS OFTEN TAKE PRECEDENCE OVER FEDERAL LAW AND MAY INCLUDE ADDITIONAL SPECIFIC REQUIREMENTS.

**SILT FENCE DETAIL**



**CONCRETE WASTE MANAGEMENT DETAIL**  
N.T.S.



**CONSTRUCTION ENTRANCE**  
N.T.S.

STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES

6/18/2020  
BATES & ASSOCIATES, INC.  
#1335  
ARIZONA ENGINEER

ENGINEER: G. Bates  
DRAWN BY: J. Young  
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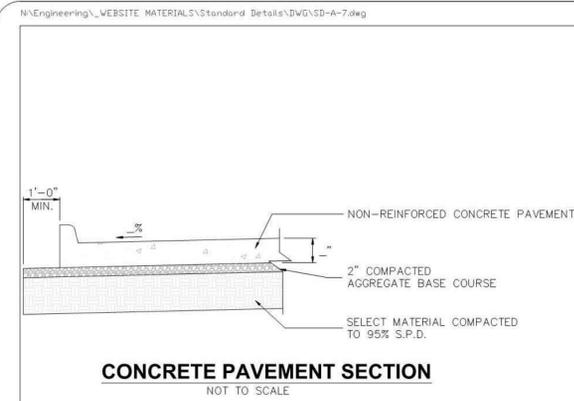
REVISIONS	DATE
1ST SUBMITTAL	5/28/20
REVISIONS PER 6/10/20 TECHNICAL REVIEW COMMENTS	6/19/20

40TH STREET COMMERCIAL  
LARGE SCALE DEVELOPMENT PLANS  
L20-18  
DETAILS  
SPRINGDALE, ARKANSAS

**Bates & Associates, Inc.**  
www.batesandassociates.com  
Civil Engineering & Surveying  
7230 S. Pleasant Ridge Dr. Fayetteville, Arkansas 72704 · 479.442.9350 · Fax 479.521.9350

PROJECT NO 20-112  
DRAWING NO 07





**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE

Note to Engineers: Paving depths and other dimensions to be per ordinance or formal design.

STANDARD DETAILS FOR  
STREET & DRAINAGE  
CONSTRUCTION

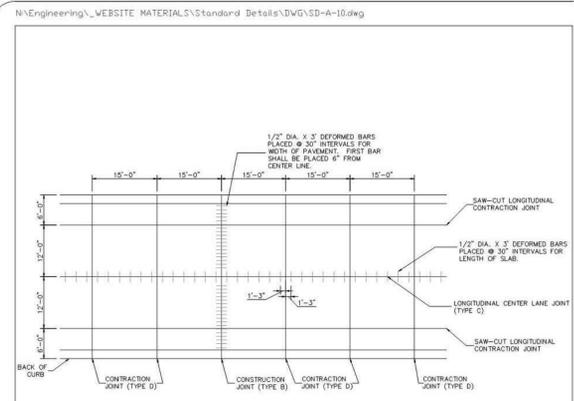
DATE: OCTOBER 2016  
DESIGNED BY: WWP  
DRAWN BY: WWP  
CHECKED BY: KPP  
APPROVED BY: BNB



**SPRINGDALE**  
WE'RE MAKING IT HAPPEN

SECTION A  
TYPICAL STREET  
SECTIONS & DETAILS

FILE NO. SD-A-7



**CONCRETE PAVEMENT  
JOINT LAYOUT PLAN**  
(36' STREET WIDTH)  
NOT TO SCALE

Note to Engineers: Joint layout for other street widths to be similar in joint spacing.

STANDARD DETAILS FOR  
STREET & DRAINAGE  
CONSTRUCTION

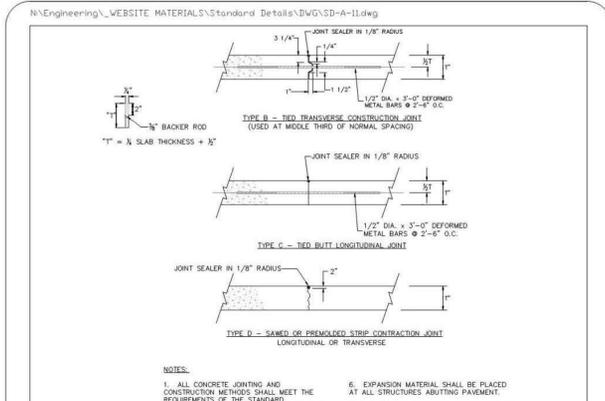
DATE: OCTOBER 2016  
DESIGNED BY: WWP  
DRAWN BY: WWP  
CHECKED BY: KPP  
APPROVED BY: BNB



**SPRINGDALE**  
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SECTION A  
TYPICAL STREET  
SECTIONS & DETAILS

FILE NO. SD-A-10



- NOTES:**
1. ALL CONCRETE JOINTING AND CONSTRUCTION METHODS SHALL MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND THE PORTLAND CEMENT ASSOCIATION FOR CONCRETE STREET PAVEMENTS.
  2. CONCRETE FOR PAVEMENTS SHALL BE CLASS B - 4000 P.S.I., 5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
  3. ALL CONCRETE SHALL HAVE A TYPED FINISH, EXCEPT FOR THE OUTSIDE 2' OF THE PAVEMENT WHICH SHALL HAVE A BROOM FINISH.
  4. THE CURB SHALL BE PLACED MANUALLY WITH THE PAVEMENT. ALL CURB JOINTS SHALL CONCLUDE WITH PAVEMENT JOINTS.
  5. ALL DOWEL BARS SHALL BE PLACED IN THE PAVEMENT BEFORE INITIAL SET UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  6. EXPANSION MATERIAL SHALL BE PLACED AT ALL STRUCTURES ADJUTING PAVEMENT.
  7. TRANSVERSE EXPANSION JOINTS SHALL BE CONSTRUCTED AT THE CURB RETURNS OF ALL INTERSECTIONS.
  8. THE EXPANSION MATERIAL SHALL BE PREFORMED ASPHALT IMPREGATED FIBERBOARD CONFORMING TO AASHTO M 213.
  9. ALL JOINTS SHALL BE SEALED WITH APPROVED JOINT SEALER. SEE JOINT DETAIL FOR JOINT SEALER.
  10. CONTRACTION JOINTS SHALL CONCLUDE WITH PAVEMENT JOINTS. SEE TYPICAL DETAILS.

**JOINTS FOR CONCRETE PAVEMENT**  
NOT TO SCALE

STANDARD DETAILS FOR  
STREET & DRAINAGE  
CONSTRUCTION

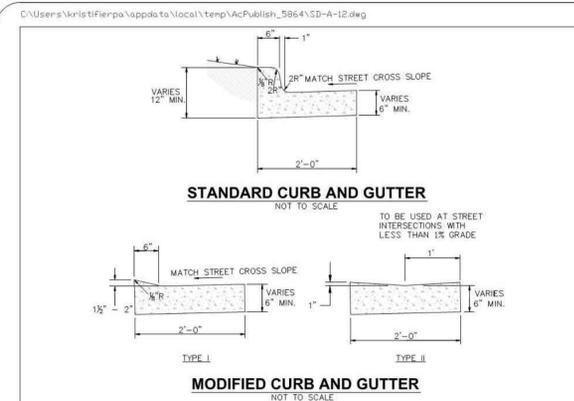
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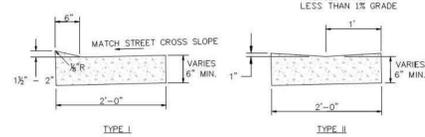
**SPRINGDALE**  
WE'RE MAKING IT HAPPEN

SECTION A  
TYPICAL STREET  
SECTIONS & DETAILS

FILE NO. SD-A-11



**STANDARD CURB AND GUTTER**  
NOT TO SCALE



**MODIFIED CURB AND GUTTER**  
NOT TO SCALE

- NOTES:**
1. CONCRETE FOR CURB AND GUTTER TO BE CLASS A, 3000 PSI, 5.5 BAG MIX WITH 4-7% AIR ENTRAINMENT.
  2. ALL CURB AND GUTTER SHALL HAVE A BROOMED FINISH UNLESS OTHERWISE SPECIFIED.
  3. MODIFIED CURB (TYPE I) SHALL BE PLACED ACROSS ALL DRIVEWAY ENTRANCES.
  4. MODIFIED CURB (TYPE II) SHALL BE PLACED ACROSS ALL SIDE STREETS WHERE THE LONGITUDINAL GRADE IS LESS THAN 1%.
  5. SAW CUT JOINTS AT 15' O.C. SEAL WITH ONE PART COLD APPLIED SILICONE JOINT SEALER OR OTHER APPROVED SEALANT. ALL JOINTS TO BE SEALED PRIOR TO FINAL ASPHALT PLACEMENT.
  6. PROVIDE 1/2" PREFORMED EXPANSION JOINT MATERIAL (ASPHALT IMPREGATED FIBERBOARD OR OTHER APPROVED MATERIAL) AT STATIONARY STRUCTURES, (DROP INLETS, END OF CURBS, DRIVEWAYS - SEE DETAIL) OR AS DIRECTED BY ENGINEER.

STANDARD DETAILS FOR  
STREET & DRAINAGE  
CONSTRUCTION

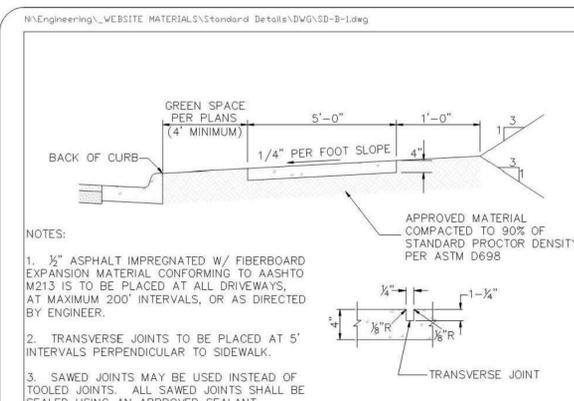
DATE: OCTOBER 2016  
DESIGNED BY: WWP  
DRAWN BY: WWP  
CHECKED BY: KPP  
APPROVED BY: BNB



**SPRINGDALE**  
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SECTION A  
TYPICAL STREET  
SECTIONS & DETAILS

FILE NO. SD-A-12



**SIDEWALK DETAIL**  
NOT TO SCALE

- NOTES:**
1. 1/2" ASPHALT IMPREGATED W/ FIBERBOARD EXPANSION MATERIAL CONFORMING TO AASHTO M213 IS TO BE PLACED AT ALL DRIVEWAYS, AT MAXIMUM 200' INTERVALS, OR AS DIRECTED BY ENGINEER.
  2. TRANSVERSE JOINTS TO BE PLACED AT 5' INTERVALS PERPENDICULAR TO SIDEWALK.
  3. SAWED JOINTS MAY BE USED INSTEAD OF TOOLED JOINTS. ALL SAWED JOINTS SHALL BE SEALED USING AN APPROVED SEALANT.
  4. OTHER JOINTS MAY BE REQUIRED IF DIRECTED BY THE ENGINEER.
  5. CONCRETE FOR SIDEWALK TO BE CLASS A, 3000 PSI, 5.5 BAG MIX W/ 4-7% AIR ENTRAINMENT.

STANDARD DETAILS FOR  
STREET & DRAINAGE  
CONSTRUCTION

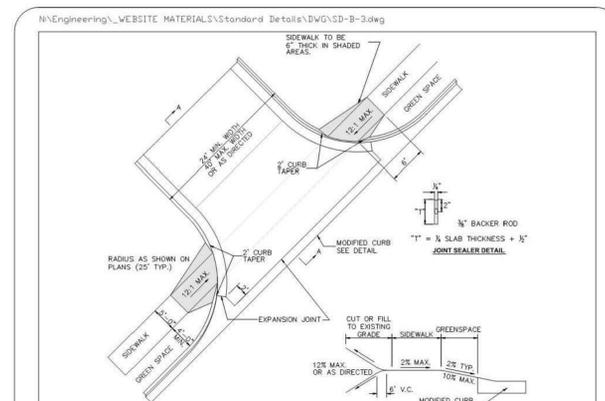
DATE: OCTOBER 2016  
DESIGNED BY: WWP  
DRAWN BY: WWP  
CHECKED BY: KPP  
APPROVED BY: BNB



**SPRINGDALE**  
WE'RE MAKING IT HAPPEN

SECTION B  
TYPICAL STREET, DRIVEWAY &  
SIDEWALK DETAILS

FILE NO. SD-B-1



**COMMERCIAL DRIVEWAY DETAIL**  
NOT TO SCALE

- NOTES:**
1. DRIVEWAY TO BE CONSTRUCTED TO THE RADIUS TANGENT POINTS AND ALSO TO STREET IN W/D AS DIRECTED, IF NEEDED.
  1. 3" PREFORMED EXPANSION MATERIAL CONFORMING TO AASHTO M213, ASTM-1702, TYPE I OR REDWOOD SHALL BE PLACED AS SHOWN, OR AS DIRECTED BY THE ENGINEER.
  2. CONCRETE CURB TO BE SAW CUT AT 15' INTERVALS PERPENDICULAR TO THE OUTER LINE AND SEALED SEE DETAIL.
  3. HANDICAP RAMP COMPLYING WITH A.D.A. REQUIREMENTS TO BE CONSTRUCTED AT ALL COMMERCIAL DRIVEWAYS.
  4. CONTRACTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY SO THAT NO SLAB DIMENSION IS MORE THAN 15'.
  5. DRIVEWAY SECTION TO BE 3" ASPHALT WITH 6" AGGREGATE BASE COURSE UNLESS OTHERWISE SPECIFIED.

STANDARD DETAILS FOR  
STREET & DRAINAGE  
CONSTRUCTION

DATE: OCTOBER 2016  
DESIGNED BY: WWP  
DRAWN BY: WWP  
CHECKED BY: KPP  
APPROVED BY: BNB



**SPRINGDALE**  
WE'RE MAKING IT HAPPEN

SECTION B  
TYPICAL STREET, DRIVEWAY &  
SIDEWALK DETAILS

FILE NO. SD-B-3

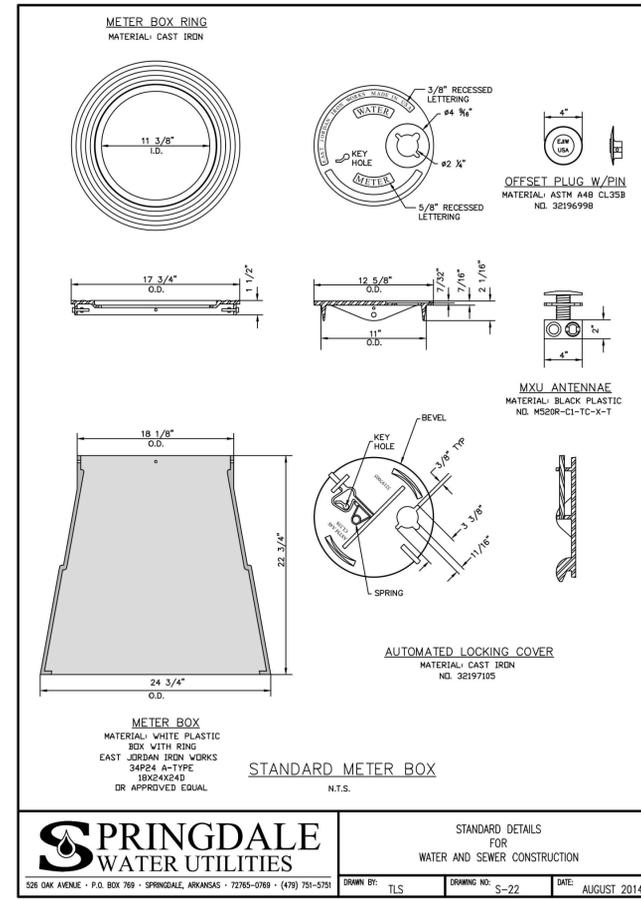
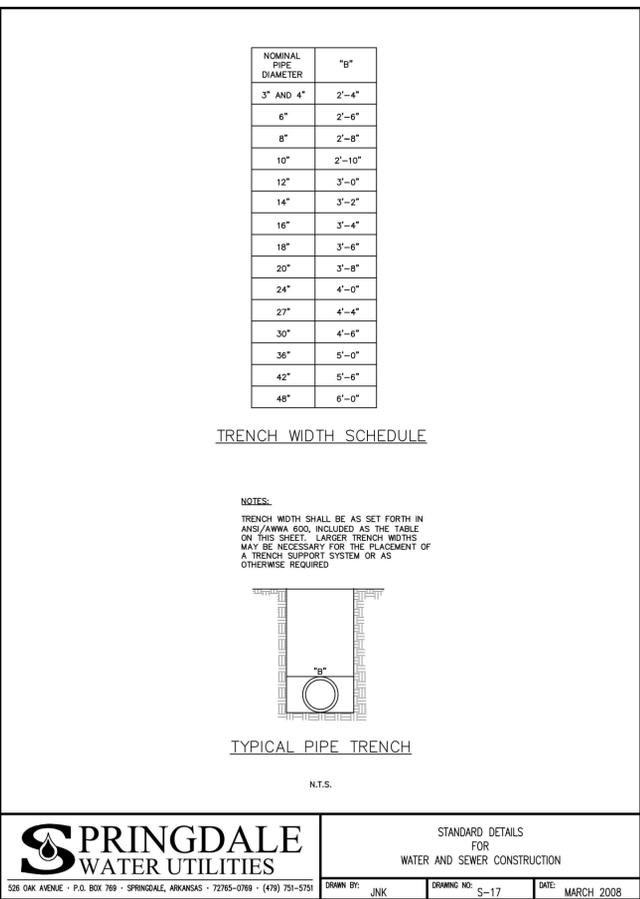
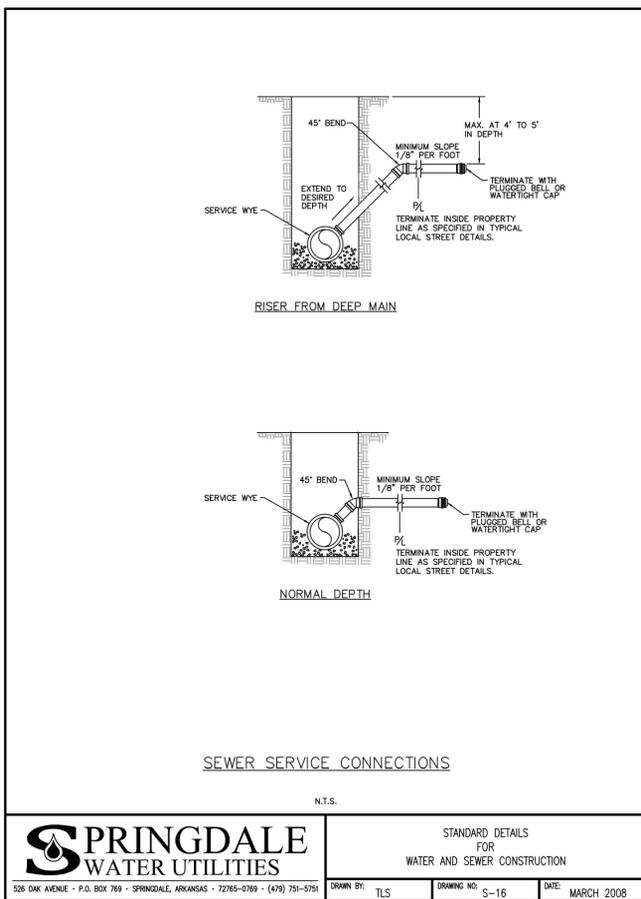
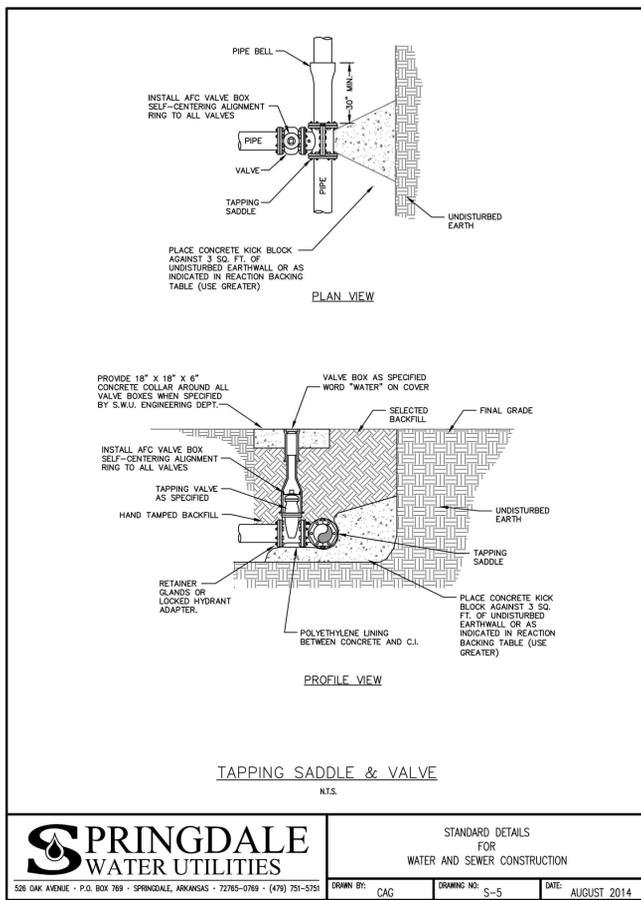
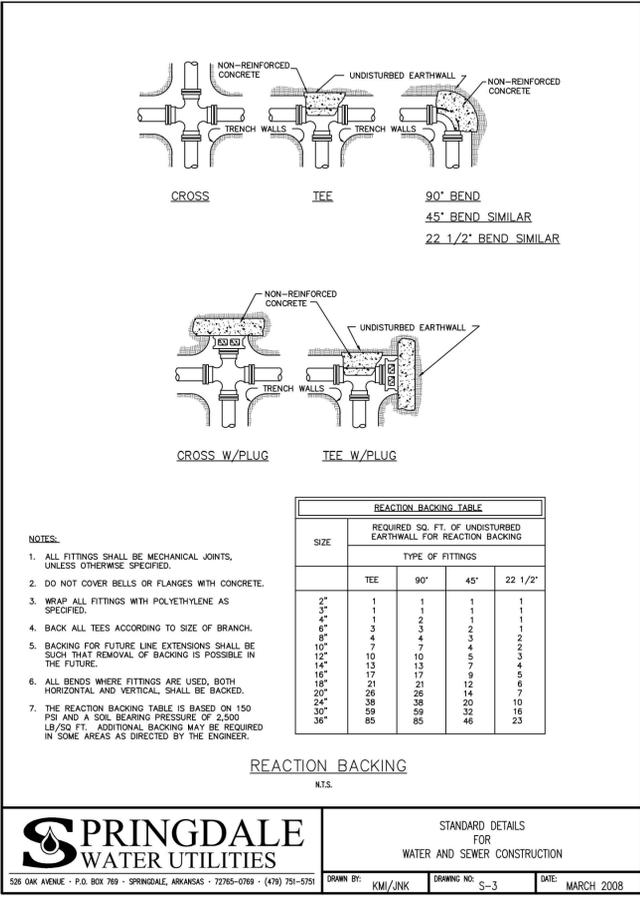
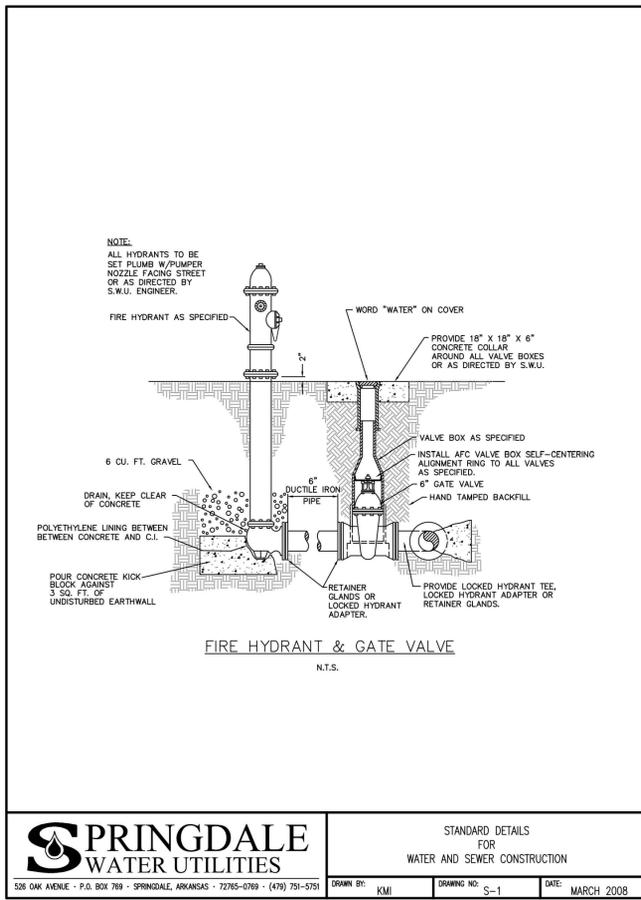


REVISIONS	DATE
1ST SUBMITTAL	5/28/20
REVISIONS PER 6/10/20 TECHNICAL REVIEW COMMENTS	6/18/20

40TH STREET COMMERCIAL  
LARGE SCALE DEVELOPMENT PLANS  
L20-18  
DETAILS  
SPRINGDALE, ARKANSAS



DRAWING NO  
09



STATE OF ARKANSAS  
REGISTERED PROFESSIONAL ENGINEER  
No. 9810  
GEOFFREY H. BATES

6/18/2020  
BATES & ASSOCIATES, INC.  
#335  
ARIZONA ENGINEER

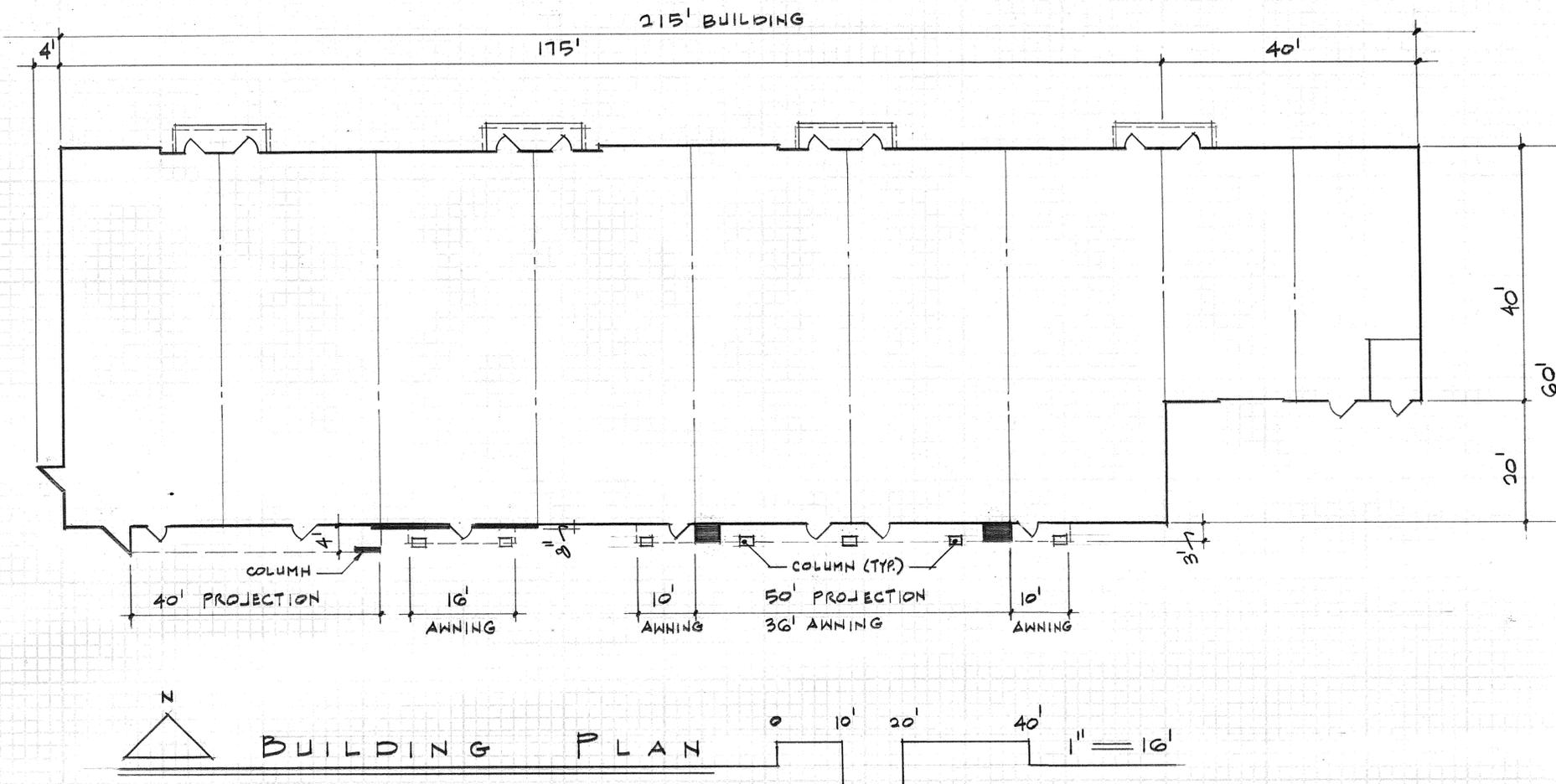
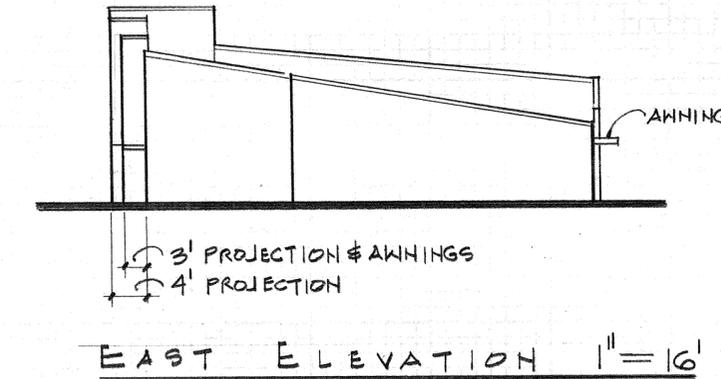
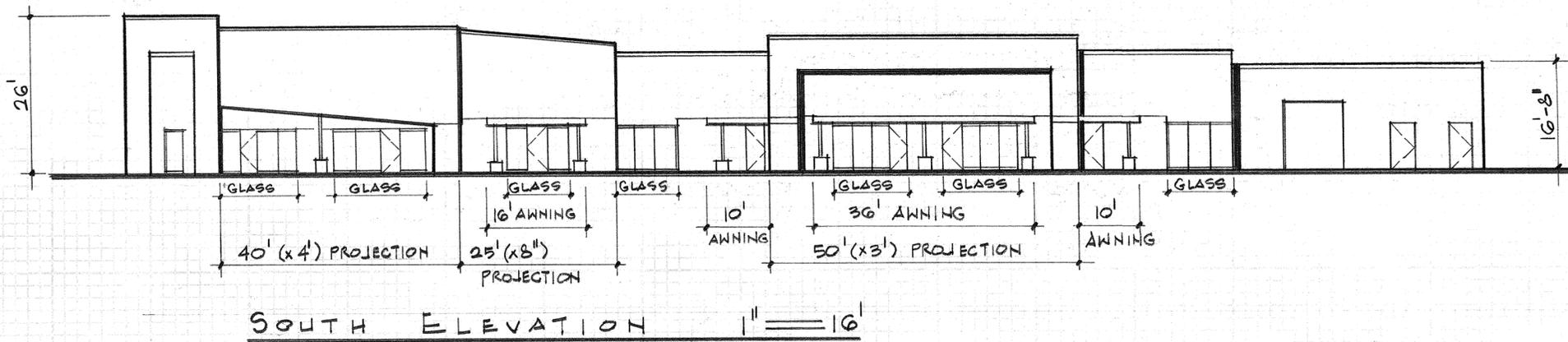
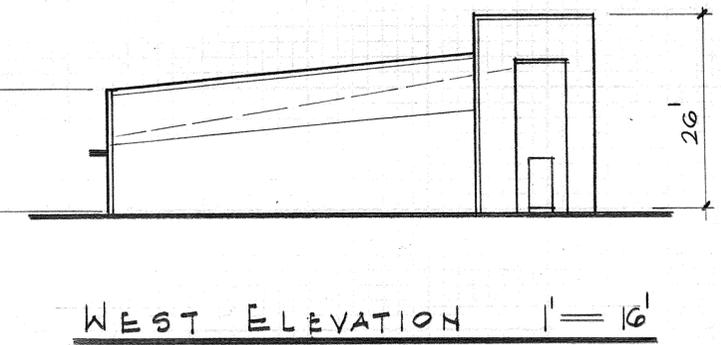
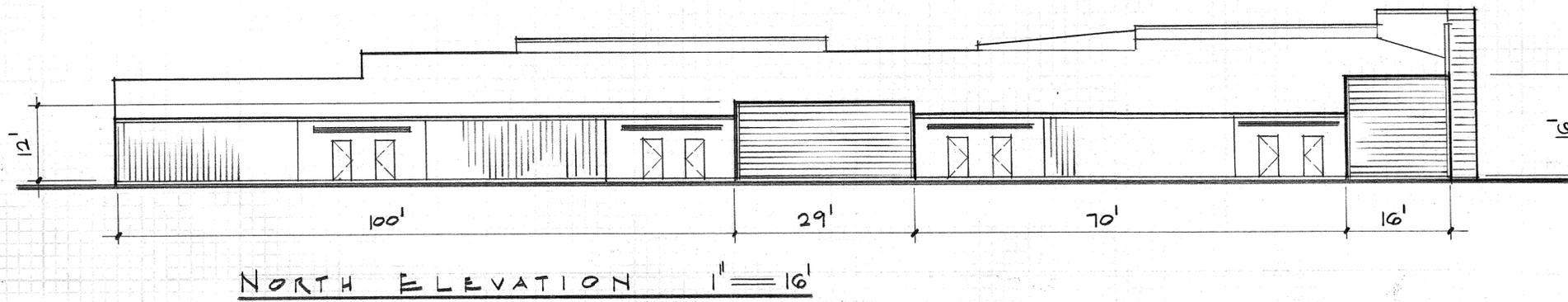
ENGINEER: G. Bates  
DRAWN BY: J. Young  
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REVISIONS	DATE
1ST SUBMITTAL	5/28/20
REVISIONS PER 6/10/20 TECHNICAL REVIEW COMMENTS	6/18/20

40TH STREET COMMERCIAL  
LARGE SCALE DEVELOPMENT PLANS  
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SPRINGDALE, ARKANSAS

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40TH STREET COMMERCIAL  
L20-12

CITY OF SPRINGDALE, ARKANSAS

B20-33

FILE NUMBER: ~~190-18~~

DATE: 6.17.2020

APPLICATION FOR VARIANCE  
COMMERCIAL DESIGN STANDARDS  
BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: N. 40th (east side ~ 500' south of Elm Springs Rd.)

Applicant Name: McLeod & Smyth, LLC

Address: P.O. Box 518

City: Tontitown State: AR Zip: 72770

Phone: 479-200-3929 Fax: \_\_\_\_\_ Email: jimmy@concrete-services-hwa.com

Property Owner     Owner's Representative     Contract Purchaser

Represented by: Same as Applicant

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Legal Description:  (Check if attached)

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 18 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S02° 15'23"W 375.50' FROM THE NORTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE S87° 25'46"E 25.00' TO AN EXISTING REBAR, THENCE S02° 15'23"W 69.28' TO AN EXISTING REBAR, THENCE S87° 44'37"E 19.00' TO AN EXISTING REBAR, THENCE N02° 15'22"E 69.18' TO AN EXISTING REBAR, THENCE S87° 25'46"E 449.70' TO AN EXISTING REBAR, THENCE S02° 14'13"W 145.81' TO AN EXISTING PIPE, THENCE N87° 49'05"W 493.75', THENCE N02° 15'23"E 149.16' TO THE POINT OF BEGINNING, CONTAINING 1.64 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN NORTH 40TH STREET RIGHT-OF-WAY ON THE WEST SIDE OF HEREIN DESCRIBED TRACT AND ALSO SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

P147

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses
  - Minimum 3' depth
  - Minimum of 20 contiguous feet within each 100' of façade length
  - Extends 20% of the façade
  
- DETAIL FEATURES**
  - Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
  - At least one element repeating horizontally
  - Elements repeat at intervals of more than 30' horizontally or vertically
  - Change in plane no less than 12" in width (offset, reveal or projecting rib)
  
- ROOFS** – change in height every 100 linear feet in building length
  
- MATERIALS AND COLORS**
  - Predominate exterior materials high quality materials
  - Façade color – low reflectance, subtle, neutral or earth tone
  
- ENTRYWAYS** – 3 defined, highly visible customer entrances
  
- LANDSCAPING**
  - Entryway landscaping
  - Parking lot landscaping
  - Perimeter parking area landscaping
  - Building foundation landscaping
  
- SCREENING**
  - Trash containers, trash compactor, and recycling bins screened from public view 4 sides
  - Exterior ground-mounted or building-mounted equipment
  - Rooftop equipment
  - Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
  - Required screening fence or wall maximum height 8', high quality materials
  - Required screening fence or wall maximum continuous length of 50'
  
- LIGHTING**
  - Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
  - Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
  - Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
  - Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
  - Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
  - Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy

- Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

**FOR EACH ITEM CHECKED**

Variance requested: (attach visual representation of request)

The owners desire to concentrate the use of premium materials on the street and storefront sides of the building. The use of metal wall panels would be used mainly on the north and east walls (see drawings), which will have limited to no public view.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)

The owners desire to provide a building which will compliment the area and still provide affordable lease areas for tenants.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)

A variance will allow the building to maintain much of the atmosphere of the existing area while providing an inviting location for new businesses.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)

The project is intended to compliment existing and future developments in the neighborhood.

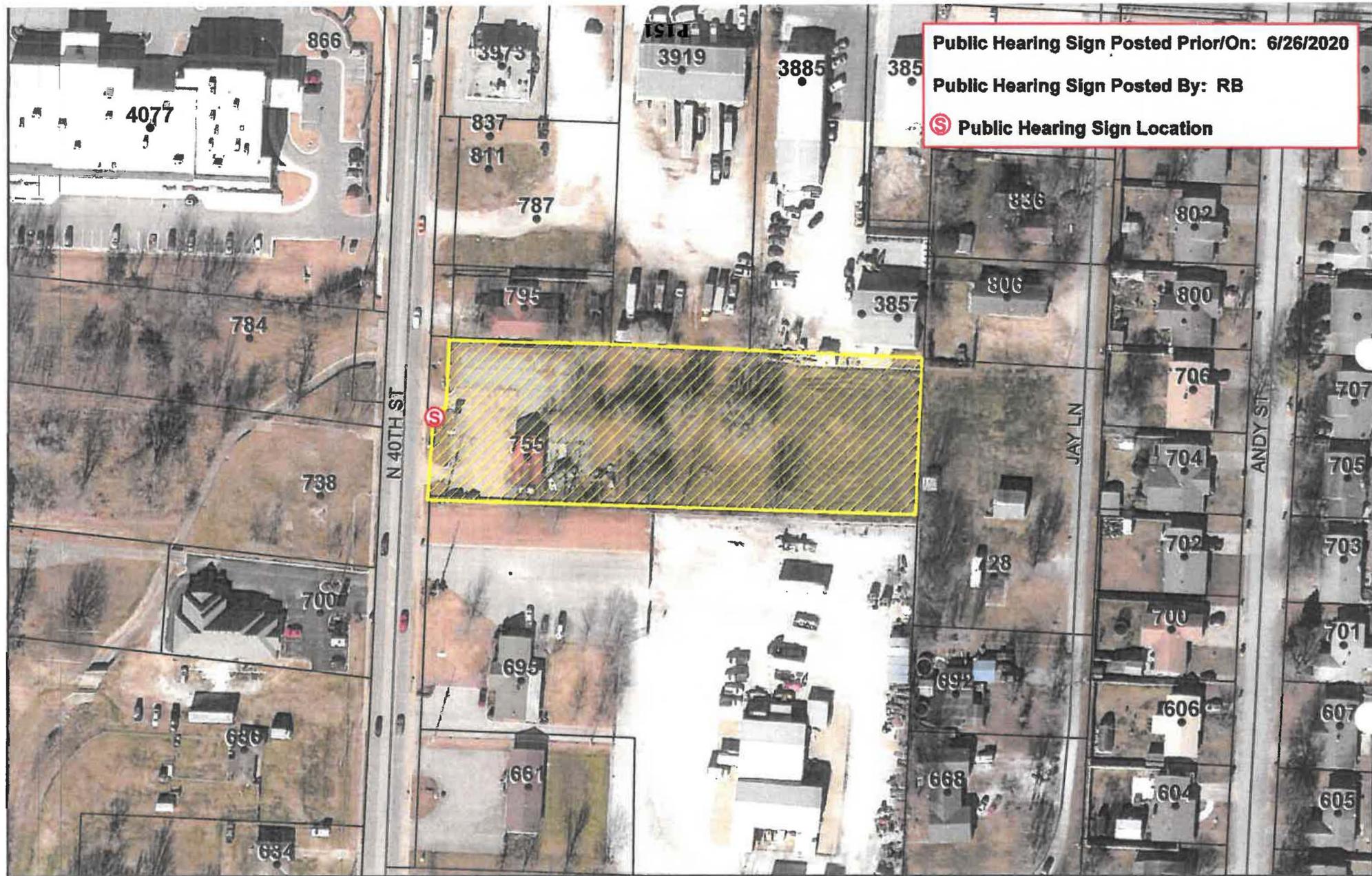


The Applicant understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

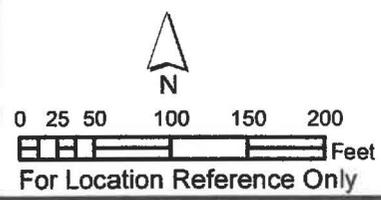
The Applicant understands that he/she must be present at the meeting to present the variance request and to answer questions. If the Applicant is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S)

DATE: 6/17/2021



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location



**FILE NO. B20-33**  
**APPLICANT: McLeod & Smyth, LLC**  
**REQUEST: Variance to allow for deviation from Commercial Design Standards**

**PLANNING COMMISSION MEETING**  
July 7, 2020

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B2020

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
**ZONING BOARD OF ADJUSTMENT**  
**SPRINGDALE PLANNING COMMISSION**  
**CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Mancia Properties

Applicant's Mailing Address:

2021 W. Sunset Avenue

Street Address or P.O. Box

Springdale, AR 72764

City, State & Zip Code

479-419-9454

Telephone Number

Property Owner's Name

(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:

(If different from Applicant): \_\_\_\_\_

\_\_\_\_\_ Street Address or P.O. Box

\_\_\_\_\_ Telephone Number

\_\_\_\_\_ City, State & Zip Code

Address of Variance Request: 601 N. Thompson Road

Zoning District: Currently C-6, requesting C-5 Thoroughfare Com. District

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit

5. The applicant shall be responsible for providing the name and address of all adjacent property owners. This must be a certified list by a licensed abstractor or licensed land surveyor within the past sixty (60) days. The notice to all adjacent property owners must be sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.
6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required:            Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested:           Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance:            Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.*

**Off-site parking allowance (Ordinance Chapter 130, article 7, section 4)**

**No Foundation Landscaping (CDS III.D.5).**

*The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:***

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):** **Off-site parking:** The current layout of the two lots located on this site, creates a great a opportunity for a shared parking arrangement. The proposed improvements will create additional parking on property adjacent to the site that is not currently in use. Both properties are owned by the same owner.
2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**The small rectangle shape of the lot does not allow proper spacing for significant parking.
3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):** The owner will also create additional parking on the existing lot that is not currently in place.
4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):** Foundation Landscaping: The building concept provides sidewalk along the entire building frontage. The sidewalk serves for the placement of trash receptacles as well as store frontage. Foundation landscaping near the building creates some maintenance concerns. Additional landscaping will be provided to offset the absence of foundation landscaping.
  
2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):** This arrangement is typical of many new development concepts of this type.
  
3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):** The nature of the services available along the front of development do not support the use of foundation landscaping.
  
4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
  
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
  
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

David Mancia  
Applicant Signature\*

  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas )  
County of Benton ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 28 day of May, 2020.

Bertha S. Valverde  
Notary Public

BERTHA S VALVERDE  
Notary Public - Arkansas  
Benton County  
Commission # 12703688  
My Commission Expires Mar 28, 2028

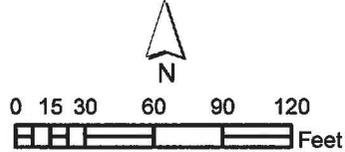
P156



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location

**FILE NO. B20-26**  
**APPLICANT: Mancia Properties**  
**REQUEST: Variance to allow for deviation of off-site parking & foundation landscaping**

PLANNING COMMISSION MEETING  
July 7, 2020



**Staff Use Only**

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B20-27

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Mayby N. Iraheta & Jorge S. Iraheta

Applicant's Mailing Address:

1211-A Crutcher St.  
Street Address or P.O. Box  
Springdale AR 72764  
City, State & Zip Code

818-279-5933  
Telephone Number

Property Owner's Name  
(If different from Applicant): Mayby Iraheta

Property Owner's Mailing Address:  
(If different from Applicant):

1207-A Crutcher St.  
Street Address or P.O. Box  
Springdale AR 72764  
City, State & Zip Code

818-279-5933  
Telephone Number

Address of Variance Request: 1211 -A Crutcher St.

Zoning District: MF-12

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

fence height from 3' to 6'

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

front fence height from 3' to 6'

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

trespassers to access the Crutcher

Street apartments as well as the littering in to

our property.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

we would like to discourage trespassing

through our property.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood; or otherwise detrimental to the public welfare.

### VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

P161

*[Signature]*  
Applicant Signature\*

*[Signature]*  
Property Owner Signature\*  
*(If different from Applicant)*

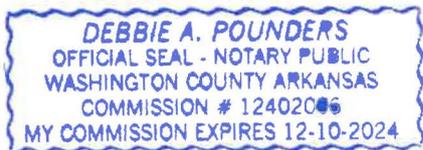
*[Signature]*  
Applicant Signature\*

*[Signature]*  
Property Owner Signature\*  
*(If different from Applicant)*

*\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 16 day of June, 2020.



*[Signature]*  
Notary Public



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
S Public Hearing Sign Location

FILE NO. B20-27  
 APPLICANT: Meyby & Jorge Iraheta  
 REQUEST: Variance to allow for deviation of fence height from 3' to 6'

PLANNING COMMISSION MEETING  
 July 7, 2020

0 25 50 100 150 200 Feet

N

**Staff Use Only**

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File #

2028

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Feliciano + Medin Moran

Applicant's Mailing Address:

1211-B Crutcher St.  
Street Address or P.O. Box  
Springdale, AR 72764  
City, State & Zip Code

323 304-1471  
Telephone Number

Property Owner's Name  
(If different from Applicant): \_\_\_\_\_

Property Owner's Mailing Address:  
(If different from Applicant):

1207-B Crutcher St.  
Street Address or P.O. Box  
Springdale AR 72764  
City, State & Zip Code

323 304-1471  
Telephone Number

Address of Variance Request: 1211-B Crutcher St.

Zoning District: MF-12

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

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sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

front fence height from 3' to 6'

We are on a tondome lot, with an access road

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

front fence from 3' to 6'

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

to keep out trespassers to access the Crutcher street apartment through our property.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

we would like to discourage trespassers from using our property to access the Crutcher street apartments.





Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B20-29

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Richard + Janet Harris and Colin Harris

Applicant's Mailing Address:

1082 Oak Grove Road  
Street Address or P.O. Box  
Springdale, AR 72702  
City, State & Zip Code

479-530-1043 or  
Telephone Number  
479-466-2120

Property Owner's Name  
(If different from Applicant): Richard and Janet Harris Revocable Trust  
dated February 4, 2019 and Colin Harris

Property Owner's Mailing Address:  
(If different from Applicant):

\_\_\_\_\_  
Street Address or P.O. Box  
\_\_\_\_\_  
City, State & Zip Code

\_\_\_\_\_  
Telephone Number

Address of Variance Request: 1082 Oak Grove Road Springdale

Zoning District: A-1

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

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sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: 35 Side: 20 Back: 35  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 35 ft Side: 5 ft Back: 35 ft  
(if granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.*

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**The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

The house on 1082 Oak Grove Road does not have a garage or a carport. Previous owners parked in <sup>the</sup> grass in front of house. We did major renovations to the house and added a 2 car carport that matches the style of the house to provide covered parking.

(see additional sheet)

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

Because of the setback of 20 feet on the side, it would not be possible to add a carport that would be useful and aesthetically pleasing to the appearance of the house and neighborhood if we had to place the carport 20 feet away from the side property line.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

The special circumstances occurred because we wanted to have covered parking on the property located at the end of the driveway.

(see additional sheet)

1. The house sits      feet from the property line on the south side. The driveway is on the southside as well. The logical and convenient place for the carport would be at the end of the driveway by the house.
2. We would have to relocate the driveway and/or place the carport directly in front of the house to adhere to the 20 ft. side setback. Other properties near our house have carports on the side of their houses.
3. The special circumstances occurred because we wanted to have covered parking on the property located at the end of the driveway.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

[Signature]  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

[Signature]  
Applicant Signature\*

[Signature]

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

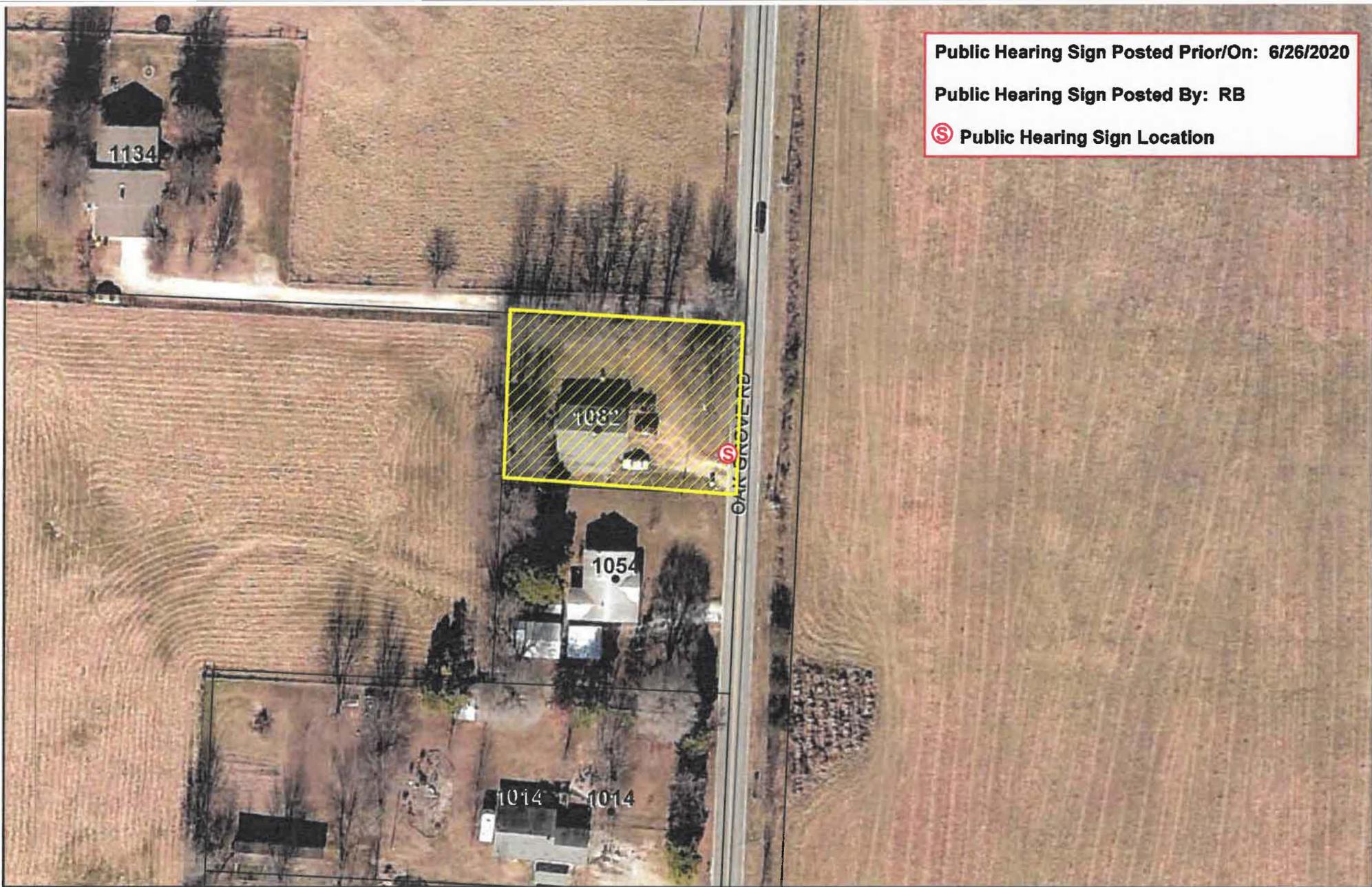
State of Arkansas )  
County of Washington ) ss.

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 26<sup>th</sup> day of May, 2020.



[Signature]  
Notary Public

Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Ⓢ Public Hearing Sign Location



0 15 30 60 90 120  
Feet  
For Location Reference Only

**FILE NO. B20-29**  
**APPLICANT: Richard & Janet Harris**  
**REQUEST: Variance to allow for deviation**  
**of side setback from 20' to 5'**

PLANNING COMMISSION MEETING  
July 7, 2020

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC  
 Warranty Deed  
 Authorization of Representation  
 Drawing/Photo or Other Exhibit

File # B20-30

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
**ZONING BOARD OF ADJUSTMENT**  
**SPRINGDALE PLANNING COMMISSION**  
**CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Dave Hodges, Keller Williams Market Pro Realty

Applicant's Mailing Address:

3801 Johnson Mill Blvd

479-530-2237

Street Address or P.O. Box

Telephone Number

Fayetteville AR 72704

City, State & Zip Code

Property Owner's Name

(If different from Applicant):

Hillside Ranch LLC, KD Hill, President

Property Owner's Mailing Address:

(If different from Applicant):

3543 E MONITOR RD

479-841-6718

Street Address or P.O. Box

Telephone Number

SPRINGDALE, AR 72764

City, State & Zip Code

Address of Variance Request: 3543 E MONITOR RD, Springdale AR 72764

Zoning District: A-1

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required:      Front: \_\_\_\_\_ Side: 20ft      Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested:      Front: \_\_\_\_\_ Side: 13ft      Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance:      Front: \_\_\_\_\_ Side: 7ft      Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.*

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**The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

---

A barn was constructed on the property in approx 1960, prior to the property being within the city limits. In the process of creating lot split, a survey was done that showed the barn is 13ft 8" from the property side boundary and would be encroaching on the 20ft side boundary set back for A-1 zoning.

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2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

---

The barn was constructed well before current owner's ownership of the property and prior to the property being in the city limits. It would be

---

unreasonable to require the structure to be removed after existing for approx 50 years. With the barn now showing as encroaching into the set back,

---

the owner will have a title issue where title insurance companies will exclude the encroachment from title insurance, which will now create issues for the property to be financed with a mortgage.

---

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

---

The barn encroachment was created by the property being annexed into the city limits, and thus should be "grandfathered in". When the barn was constructed it was not built into any existing set back.

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4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

### VERIFICATION

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

*Dave Hodges*

\_\_\_\_\_  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

\_\_\_\_\_  
Applicant Signature\*

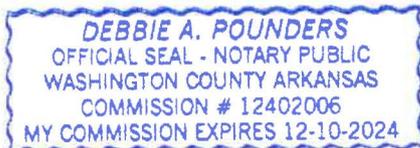
\_\_\_\_\_  
Property Owner Signature\*  
(If different from Applicant)

*\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas            )  
  ) ss.  
County of Washington    )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 17 day of June, 2020.

*Debbie A. Pounders*  
\_\_\_\_\_  
Notary Public



P177



0 30 60 120 180 240

Feet

For Location Reference Only

**FILE NO. B20-30**  
**APPLICANT: KD Hill**  
**REQUEST: Variance to allow for deviation**  
**of side setback from 20' to 13'**

**PLANNING COMMISSION MEETING**  
July 7, 2020

Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # B20-31

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE**  
 ZONING BOARD OF ADJUSTMENT  
 SPRINGDALE PLANNING COMMISSION  
 CITY OF SPRINGDALE, ARKANSAS

Applicant's Name: Bill Oliver of Southwest Homes +  
ATLAS Professional Land Surveying  
(Tim West)

Applicant's Mailing Address:

4264 N. Thompson Road  
 Street Address or P.O. Box  
Springdale, AR 72764  
 City, State & Zip Code

479-756-2626  
 Telephone Number

Property Owner's Name  
 (If different from Applicant): Daniel Lemus / Juana Lemus

Property Owner's Mailing Address:  
 (If different from Applicant):

2510 Shadowbrook Court Apt. 104  
 Street Address or P.O. Box  
Springdale AR 72764  
 City, State & Zip Code

479-306-9180  
 Telephone Number

Address of Variance Request: 506 Zachary Street, Springdale, AR 72764

Zoning District: SF-2

The following information should be attached to this application:

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail; return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please contact staff to determine the required setback.

Required: Front: 30' Side: 30' Exter. or Back: 8'  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 30' Side: 13'7" Back: 8'  
(if granted what the setback would be.)

Variance: Front: Ø Side: 16'5" Back: Ø  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Building setback variances is requested  
due to the parcel being a corner lot.  
Corner lot has two setbacks of 30' which  
greatly reduces the amount of buildable area

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):

The parcel is a corner lot which has two setbacks of 30'. It greatly reduces the buildable area of the parcel. The existing home has burned down and the owners are requesting the variance in order to build a new home.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):

Since the parcel is ~~the~~ a corner lot the setbacks are more restrictive. Buildable area is greatly reduced

3. That the special conditions and circumstances do not result from the actions of the applicant. Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):

Existing house burned down, owners wish to ~~re~~ build a new home to replace the home that burned.

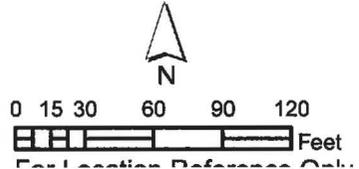




Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location

**FILE NO. B20-31**  
**APPLICANT: Daniel & Juana Lemus**  
**REQUEST: Variance to allow for deviation of front setback from 30' to 13.7'**

PLANNING COMMISSION MEETING  
July 7, 2020



Staff Use Only

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # 820-32

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Buddy D. Philpot and Jamie L. Philpot

Applicant's Mailing Address:

6135 Nancy's Vista Terrace

Street Address or P.O. Box

Springdale, AR 72762

City, State & Zip Code

\_\_\_\_\_  
Telephone Number

Property Owner's Name

(If different from Applicant): Same As Above

Property Owner's Mailing Address:

(If different from Applicant):

Same as above

Street Address or P.O. Box

\_\_\_\_\_  
City, State & Zip Code

\_\_\_\_\_  
Telephone Number

Address of Variance Request: 2735 Jean Street, Springdale, AR 72762

Zoning District: SF-2: Low/Medium Density Single Family Residential District

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

- 6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

*Not Applicable*

*Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.*

Required: Front: 30' Side: 8' Back: 20'  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: 30' Side: 6.5' Back: 20'  
(if granted what the setback would be.)

Variance: Front: None Side: 1.5' Back: None  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

*Not Applicable*

*Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed. **Any attachments must be labeled as "Exhibit A, B, C" etc.***

*Applicant requests a 1.5' variance of the 8' side setback to allow a 6.5' side setback along south side of the property*

*for an existing non-conforming residence.*

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**The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

Special circumstance is the south side of the existing residence on this lot is located within the 8 feet wide side building setback required by city ordinance as shown on the survey of the property. The southwest corner of the building is 7.6 feet from the property boundary, and the eave at the southwest corner is approximately 6.6 feet from the property line.

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

The right to enjoy and use the property.

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

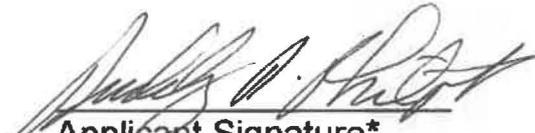
Building was non-conforming when purchased by applicant, who was not in any way associated with the original construction and has made no alterations or improvements which affected the need for the variance. Applicant is attempting to bring a non-conforming property into compliance with city code.

4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

**I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.**

P187

  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
*(If different from Applicant)*

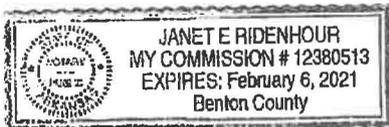
  
Applicant Signature\*

\_\_\_\_\_  
Property Owner Signature\*  
*(If different from Applicant)*

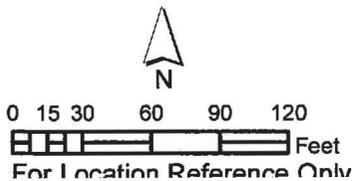
*\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.*

State of Arkansas            )  
  ) ss.  
County of BENTON            )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 16TH day of JUNE, 2020.



  
\_\_\_\_\_  
Notary Public



**FILE NO. B20-32**  
**APPLICANT: Buddy & Jamie Philpot**  
**REQUEST: Variance to allow for deviation**  
**of side setback from 8' to 6.5'**

**PLANNING COMMISSION MEETING**  
July 7, 2020

CITY OF SPRINGDALE, ARKANSAS

B20-33

FILE NUMBER: ~~120-18~~

DATE: 6.17.2020

APPLICATION FOR VARIANCE  
COMMERCIAL DESIGN STANDARDS  
BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: N. 40th (east side ~ 500' south of Elm Springs Rd.)

Applicant Name: McLeod & Smyth, LLC

Address: P.O. Box 518

City: Tontitown State: AR Zip: 72770

Phone: 479-200-3929 Fax: \_\_\_\_\_ Email: jimmy@concrete-servicesllc.com

Property Owner     Owner's Representative     Contract Purchaser

Represented by: Same as Applicant

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Fax: \_\_\_\_\_ Email: \_\_\_\_\_

Legal Description:  (Check if attached)

A PART OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 34, TOWNSHIP 18 NORTH, RANGE 30 WEST, WASHINGTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: BEGINNING AT A POINT WHICH IS S02° 15'23"W 375.50' FROM THE NORTHWEST CORNER OF SAID FORTY ACRE TRACT AND RUNNING THENCE S87° 25'46"E 25.00' TO AN EXISTING REBAR, THENCE S02° 15'23"W 69.28' TO AN EXISTING REBAR, THENCE S87° 44'37"E 19.00' TO AN EXISTING REBAR, THENCE N02° 15'22"E 69.18' TO AN EXISTING REBAR, THENCE S87° 25'46"E 449.70' TO AN EXISTING REBAR, THENCE S02° 14'13"W 145.81' TO AN EXISTING PIPE, THENCE N87° 49'05"W 493.75', THENCE N02° 15'23"E 149.16' TO THE POINT OF BEGINNING, CONTAINING 1.64 ACRES, MORE OR LESS. SUBJECT TO THAT PORTION IN NORTH 40TH STREET RIGHT-OF-WAY ON THE WEST SIDE OF HEREIN DESCRIBED TRACT AND ALSO SUBJECT TO ALL OTHER EASEMENTS AND RIGHTS-OF-WAY OF RECORD.

P189

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses
  - Minimum 3' depth
  - Minimum of 20 contiguous feet within each 100' of façade length
  - Extends 20% of the façade

- DETAIL FEATURES**
  - Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
  - At least one element repeating horizontally
  - Elements repeat at intervals of more than 30' horizontally or vertically
  - Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ROOFS** – change in height every 100 linear feet in building length

- MATERIALS AND COLORS**
  - Predominate exterior materials high quality materials
  - Façade color – low reflectance, subtle, neutral or earth tone

- ENTRYWAYS** – 3 defined, highly visible customer entrances

- LANDSCAPING**
  - Entryway landscaping
  - Parking lot landscaping
  - Perimeter parking area landscaping
  - Building foundation landscaping

- SCREENING**
  - Trash containers, trash compactor, and recycling bins screened from public view 4 sides
  - Exterior ground-mounted or building-mounted equipment
  - Rooftop equipment
  - Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
  - Required screening fence or wall maximum height 8', high quality materials
  - Required screening fence or wall maximum continuous length of 50'

- LIGHTING**
  - Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
  - Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
  - Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
  - Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
  - Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
  - Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy

- Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

### FOR EACH ITEM CHECKED

Variance requested: (attach visual representation of request)

The owners desire to concentrate the use of premium materials on the street and storefront sides of the building. The use of metal wall panels would be used mainly on the north and east walls (see drawings), which will have limited to no public view.

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)

The owners desire to provide a building which will compliment the area and still provide affordable lease areas for tenants.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)

A variance will allow the building to maintain much of the atmosphere of the existing area while providing an inviting location for new businesses.

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)

The project is intended to compliment existing and future developments in the neighborhood.

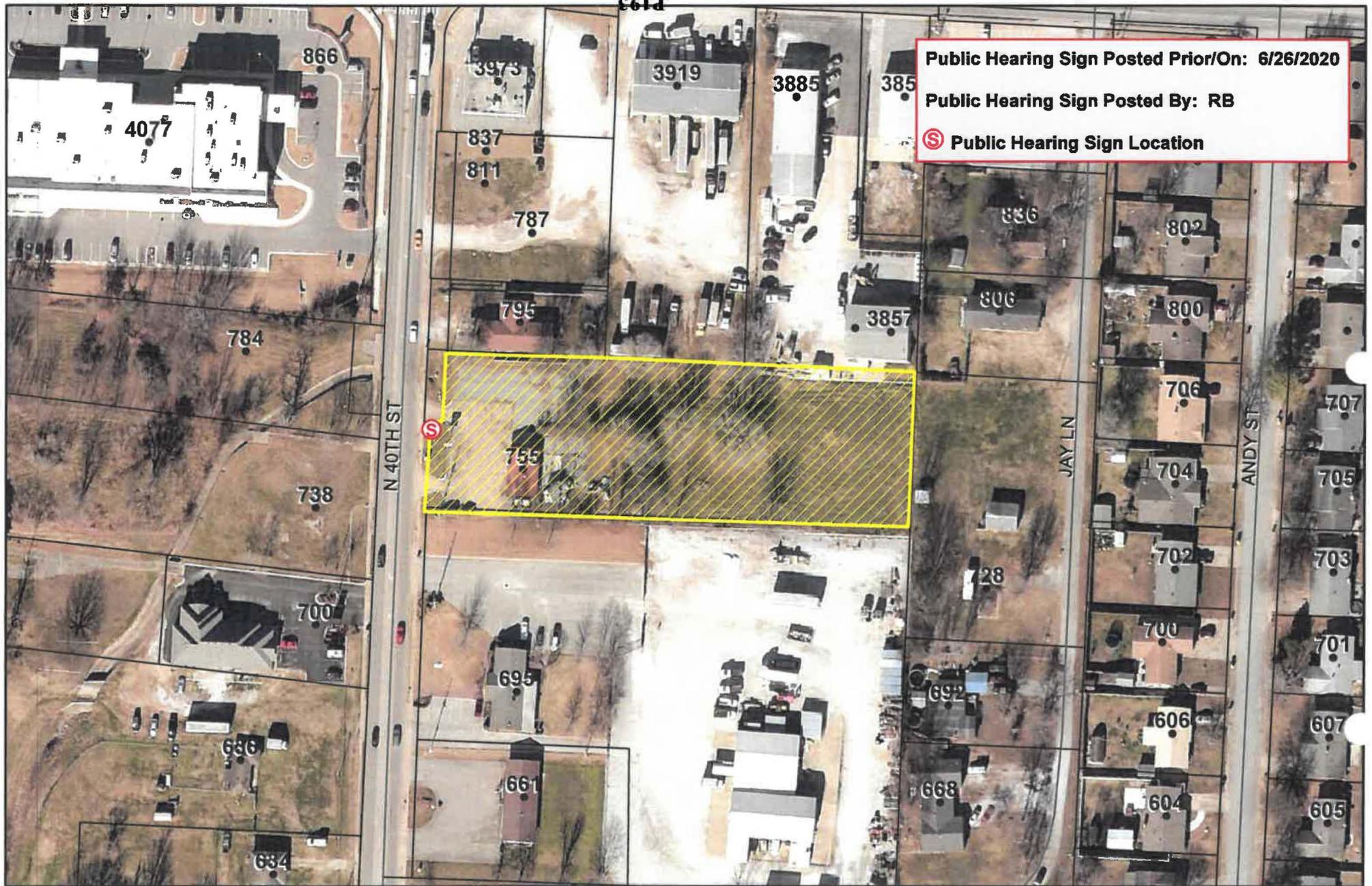


The Applicant understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

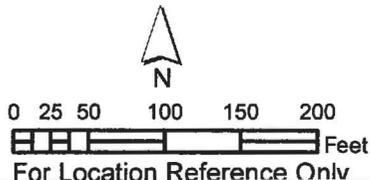
The Applicant understands that he/she must be present at the meeting to present the variance request and to answer questions. If the Applicant is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S) James A. Smith  
\_\_\_\_\_  
\_\_\_\_\_

DATE: 6/17/2021



Public Hearing Sign Posted Prior/On: 6/26/2020  
 Public Hearing Sign Posted By: RB  
 S Public Hearing Sign Location



**FILE NO. B20-33**  
**APPLICANT: McLeod & Smyth, LLC**  
**REQUEST: Variance to allow for deviation from Commercial Design Standards**

PLANNING COMMISSION MEETING  
 July 7, 2020

CITY OF SPRINGDALE, ARKANSAS

FILE NUMBER: B20-34  
DATE: \_\_\_\_\_

**APPLICATION FOR VARIANCE**  
**COMMERCIAL DESIGN STANDARDS**  
BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS

Street Address/Location of Request: 772 S. 40<sup>TH</sup> ST SPRINGDALE, AR

Applicant Name: JOSAN GURMEET

Address: 105 S 21<sup>ST</sup> ST.

City: ROGERS, AR State: AR Zip: 72758

Phone: 417-846-3411 Fax: \_\_\_\_\_ Email: JOSAN\_GURMEET@YAHOO.COM

Property Owner     Owner's Representative     Contract Purchaser

Represented by: BATES & ASSOCIATES

Address: 7230 S. PLEASANT RIDGE DR

City: FAYETTEVILLE State: AR Zip: \_\_\_\_\_

Phone: 479-442-9350 Fax: \_\_\_\_\_ Email: CHRISTIAN@BATESNWA.COM

Legal Description:  (Check if attached)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

P194

The Planning Commission may approve variances to depart from the literal requirements of the Commercial Design Standards where strict enforcement of said requirements would cause undue hardship due to circumstances unique to the individual property under consideration, and the granting of such variance is demonstrated to be within the spirit and intent of the provisions of the design standards.

Check item(s) for which variance is requested:

- ENTRANCES** – one customer entrance on all sides of principal building directly facing abutting public right of-way
- PARKING LOT ORIENTATION** – no more than 60% of off-street parking area located between the front façade within the front yard of the principal building
- STRUCTURE BACK AND SIDES**
  - Minimum setback according to zoning district requirements
  - Earthen berm installed with trees and landscaping for façade facing adjacent residential uses or area on Comprehensive Land Use Plan
- PEDESTRIAN FLOW**
  - 5' sidewalk along all sides of lot abutting public right-of-way
  - 5' continuous internal pedestrian walkways from public sidewalk to principal customer entrance of all principal building on site
  - 5' sidewalk along the full length of building on façade featuring customer entrance an façade abutting public parking areas 6' from façade of building
  - Weather protection features within 30' of all customer entrances, constructed parallel to building façade
  - Internal walkway distinguished from driving surface through use of durable, low maintenance surface materials to enhance safety and comfort
- CENTRAL FEATURES AND COMMUNITY SPACES**
  - Provision of at least 2 central features
  - Direct access to public sidewalk network
- MULTIPLE BUILDINGS IN COMMERCIAL CENTERS**
  - Use of similar building materials
  - Use of similar architectural styles or theme
- OUTDOOR STORAGE, TRASH COLLECTION AND LOADING AREAS**
  - Not visible from public right-of-way, located within 20' of any public street, sidewalk or internal pedestrian way
  - Incorporated into the overall design of the building
  - Screening material similar to principal materials of the building and landscape
  - Landscaped so that visual and acoustic impacts fully contained and out of view of adjacent property and public streets
  - Landscaped so not attention is attached to the function by the use of screening material an no attention is attached to the function by the use

- FACADES AND EXTERIOR WALLS** – face over 100' in linear length incorporate wall projections or recesses

- Minimum 3' depth
- Minimum of 20 contiguous feet within each 100' of façade length
- Extends 20% of the façade

- DETAIL FEATURES**

- Facades include a repeating pattern with no less than 3 elements (color change, texture change, material change)
- At least one element repeating horizontally
- Elements repeat at intervals of more than 30' horizontally or vertically
- Change in plane no less than 12" in width (offset, reveal or projecting rib)

- ROOFS** – change in height every 100 linear feet in building length

- MATERIALS AND COLORS**

- Predominate exterior materials high quality materials
- Façade color – low reflectance, subtle, neutral or earth tone

- ENTRYWAYS** – 3 defined, highly visible customer entrances

- LANDSCAPING**

- Entryway landscaping
- Parking lot landscaping
- Perimeter parking area landscaping
- Building foundation landscaping

- SCREENING**

- Trash containers, trash compactor, and recycling bins screened from public view 4 sides
- Exterior ground-mounted or building-mounted equipment
- Rooftop equipment
- Solid fence or wall not less than 6' in height along all rear and side property lines common to property zoned for residential purposes
- Required screening fence or wall maximum height 8', high quality materials
- Required screening fence or wall maximum continuous length of 50'

- LIGHTING**

- Pedestrian walkway lighting – 4' maximum height for bollard-type lighting, pedestrian areas illuminated a minimum of 1 footcandle
- Parking lot lighting – 35' maximum mounting fixture height with all parking areas maintaining 3 footcandles
- Parking lot lighting – maximum maintained vertical footcandle at any adjoining residential property line 0.5 footcandle measured at 5' above grade
- Uniformity ratios throughout parking lot – not more than a 6:1 ratio of average to minimum illumination and not more than 20:1 maximum to minimum
- Canopy lighting – 35 footcandles maximum average maintained footcandles under canopy
- Canopy lighting fixtures lens cover recessed or flush with bottom surface (ceiling) of canopy

- Canopy indirect light beamed upward and then reflected down shielded focused exclusively on the underside of canopy

**FOR EACH ITEM CHECKED**

Variance requested: (attach visual representation of request)

INCLUDED ARCHITECTURAL PACKET

Difficulty or hardship: (why strict application of the provision would prohibit or unreasonably restrict the use of the property)

APPLICATION OF PROVISION WOULD UNREASONABLY RESTRICT INTENDED USE THROUGH FINANCIAL HARDSHIP. PORTIONS OF UNITS OUTSIDE PUBLIC VIEW ARE BEING PROPOSED TO BE EXEMPT FROM CDS. INTENT IS KEPT BY FOLLOWING CDS FOR UNITS IN VIEW.

Effect of variance: (how variance would alleviate a demonstrable hardship, as distinguished from a special privilege or convenience sought by the applicant)

VARIANCE WOULD ALLOW ECONOMICAL DEVELOPMENT WHILE MEETING THE INTENT OF THE COMMERCIAL DESIGN STANDARDS "CDS"

Harmony with intended purpose of the standards: (how the proposed develop will remain in harmony with the intended purpose of the commercial design standards with the approval of the variance)

HARMONY WILL BE MAINTAINED WITH ADJACENT PROPERTIES BY KEEPING APPLICATION OF STANDARDS FOR THOSE PORTIONS OF BUILDINGS IN PUBLIC VIEW.



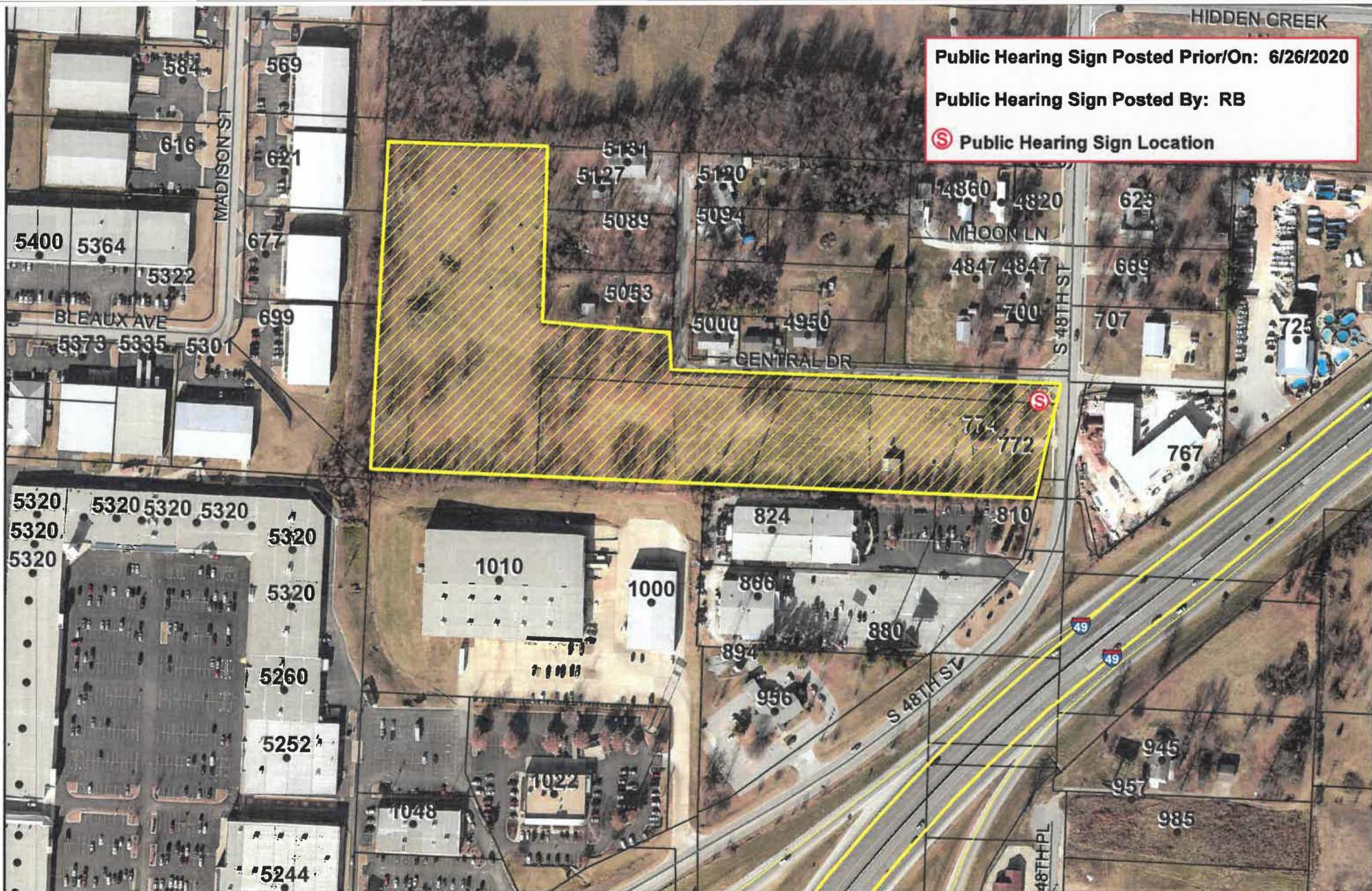
The **Applicant** understands that he/she is responsible to send a notice of the public hearing to owners of adjacent properties in accordance with the requirements set forth in the instruction given with this application and that an affidavit must be submitted with supporting documents no later than seven (7) calendar days prior to the meeting date. It is further understood that the cost of such notice(s) is borne by the Applicant.

The **Applicant** understands that he/she must be present at the meeting to present the variance request and to answer questions. If the **Applicant** is unable to attend, written authorization must be attached designating a representative and any decisions made by this individual shall be binding on the applicant.

APPLICANT SIGNATURE(S) GURMEET, JOSAN

\_\_\_\_\_  
\_\_\_\_\_

DATE: 6-18-20



0 50 100 200 300 400  
Feet  
For Location Reference Only

**FILE NO. B20-34**  
**APPLICANT: Josan Gurmeet**  
**REQUEST: Variance to allow for deviation**  
**from Commercial Design Standards**

**PLANNING COMMISSION MEETING**  
July 7, 2020

**Staff Use Only**

- Fee Paid (\$75)  Cash  Check  CC
- Warranty Deed
- Authorization of Representation
- Drawing/Photo or Other Exhibit

File # **B2035**

A "Notice of Violation" was issued to the Applicant/Property Owner by Code Enforcement.

**APPLICATION FOR VARIANCE  
ZONING BOARD OF ADJUSTMENT  
SPRINGDALE PLANNING COMMISSION  
CITY OF SPRINGDALE, ARKANSAS**

Applicant's Name: Larry Gibson

Applicant's Mailing Address:

2600 Truitt Ln. 479 409 3991  
Street Address or P.O. Box Telephone Number  
Springdale, AR 72762  
City, State & Zip Code

P200

Property Owner's Name  
(If different from Applicant): Larry Gibson

Property Owner's Mailing Address:  
(If different from Applicant):

2600 Truitt Ln. 479 409 3991  
Street Address or P.O. Box Telephone Number  
Springdale, AR 72762  
City, State & Zip Code

Address of Variance Request: 2600 Truitt Ln.

Zoning District: SF 1

**The following information should be attached to this application:**

1. \$75.00 Fee
2. Warranty Deed
3. Authorization of Representation (If the Property Owner will not be present at the meeting.)
4. Drawings, Photos, or Other Exhibit
5. The applicant shall be responsible for providing the name and address of all adjacent property owners. The notice to all adjacent property owners must be

sent by certified mail, return receipt requested at least ten (10) days prior to the Planning Commission meeting. Evidence in the form of a signed Affidavit, that notice has been given to all adjacent property owners by certified mail, return receipt requested, will be submitted. Notification should be sent after the Planning Department has accepted the application and the date of the public hearing has been confirmed.

6. The required Affidavit and supporting exhibits (mailing receipts, list of property owners of record and copy of notice) shall be filed with the Planning Office no later than seven (7) days prior to the meeting date.

**SETBACK VARIANCES:**

Not Applicable

Please complete the following to apply for a setback variance. Required setbacks vary by zoning district, please **contact staff** to determine the required setback.

Required: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(This is the minimum required by the Springdale Code of Ordinance)

Requested: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(if granted what the setback would be.)

Variance: Front: \_\_\_\_\_ Side: \_\_\_\_\_ Back: \_\_\_\_\_  
(The difference between the "Required" and the "Requested" setback)

**VARIANCES OTHER THAN SETBACK:**

Not Applicable

Use the space below to describe the variance request. If possible please reference the applicable section of the Springdale Code of Ordinance. Attach a separate sheet if needed.

Increase height of fence greater than 6' to 14'

P201

The Zoning Board of Adjustment, after a hearing, may vary the application of certain provisions of the Springdale Code of Ordinance. The variance can be granted when, in the Board's opinion, the specific case will not be contrary to public interest, where, owing to special conditions, a literal enforcement of the provisions of the ordinance would result in unnecessary hardship, and also finds **ALL of the following:**

**\*The Applicant must respond to items 1, 2, and 3.\***

1. That special conditions and circumstances exist which are particular to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district. **Use the space below to describe to the Board of Adjustment the special conditions and circumstances that exist on the property (attach a separate sheet if necessary):**

To be shielded from un  
sightly condition of neighbors

2. That the literal interpretation of the provision of the Springdale Code of Ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district. **Use the space below to explain the rights of which the applicant is being deprived (attach a separate sheet if necessary):**

Peace and quiet

3. That the special conditions and circumstances do not result from the actions of the applicant. **Use the space below to explain how the special conditions or circumstances occurred (attach a separate sheet if necessary):**

Neighbors allowed  
to have un-sightly and  
un-sawtooth conditions

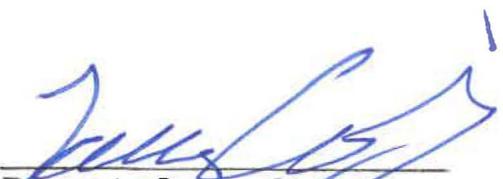
4. That granting the variance will not confer on the applicant any special privilege that is denied by this ordinance to other lands, structures, or buildings in the same district.
5. That the variance granted is the minimum variance that will make possible that reasonable use of the land, building or structure.
6. That the granting of the variance will be in harmony with the general purpose and intent of this ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.

**VERIFICATION**

I/We, the undersigned, herewith state on solemn oath that we have read the above and foregoing application for rezoning and that all the facts, statements, and allegations therein contained are true and correct to the best of my knowledge and belief and that complete disclosure of all material facts have been made.

P203

  
 \_\_\_\_\_  
 Applicant Signature\*

  
 \_\_\_\_\_  
 Property Owner Signature\*  
 (If different from Applicant)

\_\_\_\_\_  
 Applicant Signature\*

\_\_\_\_\_  
 Property Owner Signature\*  
 (If different from Applicant)

\*If the Applicant or Property Owner is a Trust (Living, Revocable, etc.) or a corporation (Inc., LLC, LLP, etc) or another type organization provide staff with documentation stating that the person signing the application is authorized to do so.

State of Arkansas )  
 ) ss.  
 County of Washington )

SUBSCRIBED AND SWORN TO before me, a Notary Public, this 18 day of June, 2020.



  
 \_\_\_\_\_  
 Notary Public



Public Hearing Sign Posted Prior/On: 6/26/2020  
Public Hearing Sign Posted By: RB  
Public Hearing Sign Location



0 40 80 160 240 320

Feet  
For Location Reference Only

**FILE NO. B20-35**  
**APPLICANT: Larry Gibson**  
**REQUEST: Variance to allow for deviation of fence height from 6' to 14'**

PLANNING COMMISSION MEETING  
July 7, 2020

6/22/20  
12:58:30

SUPERION, LLC CAD  
CAD CALL INFORMATION

PAGE 1  
201740096

Call Number: 201740096 Call Type.: 172 NEIGHBOR PROBLEMS/DISPUT Police  
Entry Day/Tm: 6/22/20 11:05:04 172 NEIGHBOR PROBLEMS/DISPUT Police

CmnN: GLEN TRUITT RESIDENCE Agency.....: 001 Springdale Police  
Location...: 2600 TRUITT LN Apt:  
City.....: SPRINGDALE Block#: 2600 Loc ID: Mapr: 62  
Intersectn.: CHAPMAN JEAN

Caller Name: L: GIBSON F: LARRY M:  
Address...: 2600 TRUITT LN Apt:  
City/State: SPRINGDALE AR Phone#: 479-409-3991 P3 Source: 8178

Call Taker.: 180888 NEVAREZ JASMINE DPPOLICE3  
Dispatcher.: 190192 DE LA TORRE MIRIAM PDPTL024C1

NARRATIVE

CLR AV THAT HE HAD OFFICERS OUT THERE BEFORE ABOUT HIS 11:05:04  
 NEIGHBORS TRESPASSING ONTO HIS PROPERTY 11:05:22  
 CLR ADV THAT TODAY HE IS CALLING ABOUT HIS NEIGHBORS 11:06:47  
 HAVING A LARGE RETIRED BUS IN THEIR BACK YARD, ADV THAT 11:06:47  
 THEY SIT ON TOP OF THE BUS AND LOOK INTO THE CLRS BACK 11:06:47  
 YARD, CLR ADV ITS BEEN AT LEAST 2 DIFFERENT PEOPLE 11:07:32  
 DOING THIS. ADVISE ITS TWO W/M'S UPPER 20S-30S 11:07:32  
 CLR ADV THAT IT OVERLOOKS HIS POOL WHERE HIM, HIS WIFE, 11:08:03  
 AND HIS [REDACTED] SWIM 11:08:03  
 ADV THAT THEY HAVE MADE COMMENTS TO HIS WIFE WHILE DOING 11:08:23  
 THIS. CLR IS UNCOMFORTABLE WITH THIS 11:08:23  
 CLR ADV HE IS TRYING TO PETITION TO BUILD A FENCE HIGHER 11:09:23  
 THAN THE PRIVACY FENCE SO THAT HE CAN HAVE PRIVACY BUT 11:09:23  
 THEY SAID HE HAS TO HAVE A REPORT FILED FIRST 11:09:23  
 NO WEAPONS 11:09:26  
 CLR ADV THAT HE DOES HAVE PICTURES 11:09:39  
 NO ORDERS IN PLACE. 11:09:50  
 NEG EIDS 11:10:52  
 643/ADV CLR AN OFFICER MAY BE CONTACTING HIM OVER THE PHONE 11:11:36  
 360/ THEY HAVE BEEN ADVISED OF THEIR OPTIONS 11:32:09

P205

\*NONE Unit Status History Information

6/22/20 11:05:07 18 Route Call Time RT |

360 Unit Status History Information

6/22/20 11:12:37 4 Dispatched D | 88166 BAKER, RIC  
 6/22/20 11:12:37 11 Assigned as Primary PR |  
 6/22/20 11:12:54 31 RESPONDING RS |  
 6/22/20 11:31:56 6 On Scene OS |  
 6/22/20 11:32:12 20 Available AV |

6/22/20  
12:58:30

SUPERION, LLC CAD  
CAD CALL INFORMATION

PAGE 2  
201740096

|  
|

D I S P O S I T I O N S

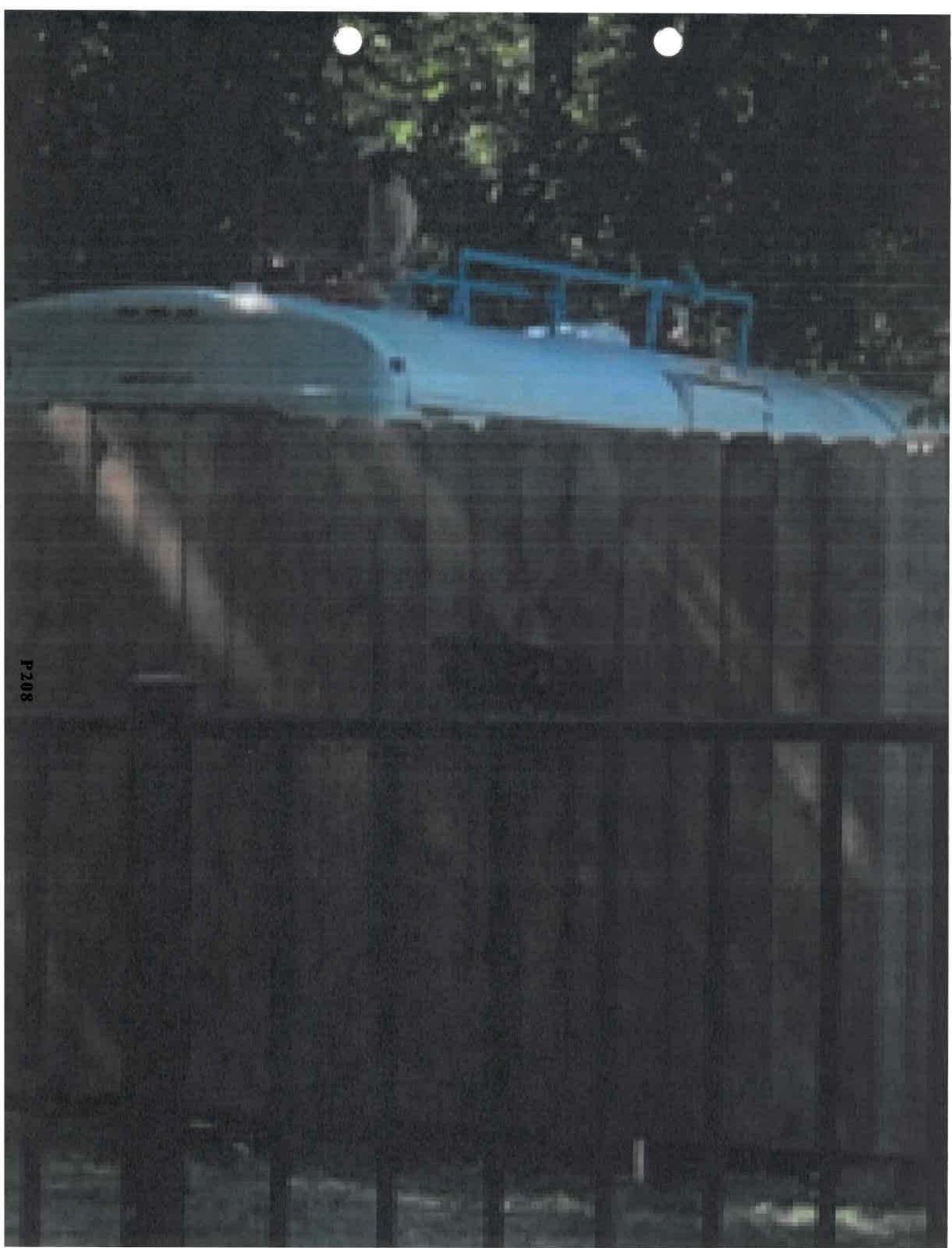
1 014 COMPLAINT ONLY

Case# 1 - 00-000000 Unit: 360

P206



P207

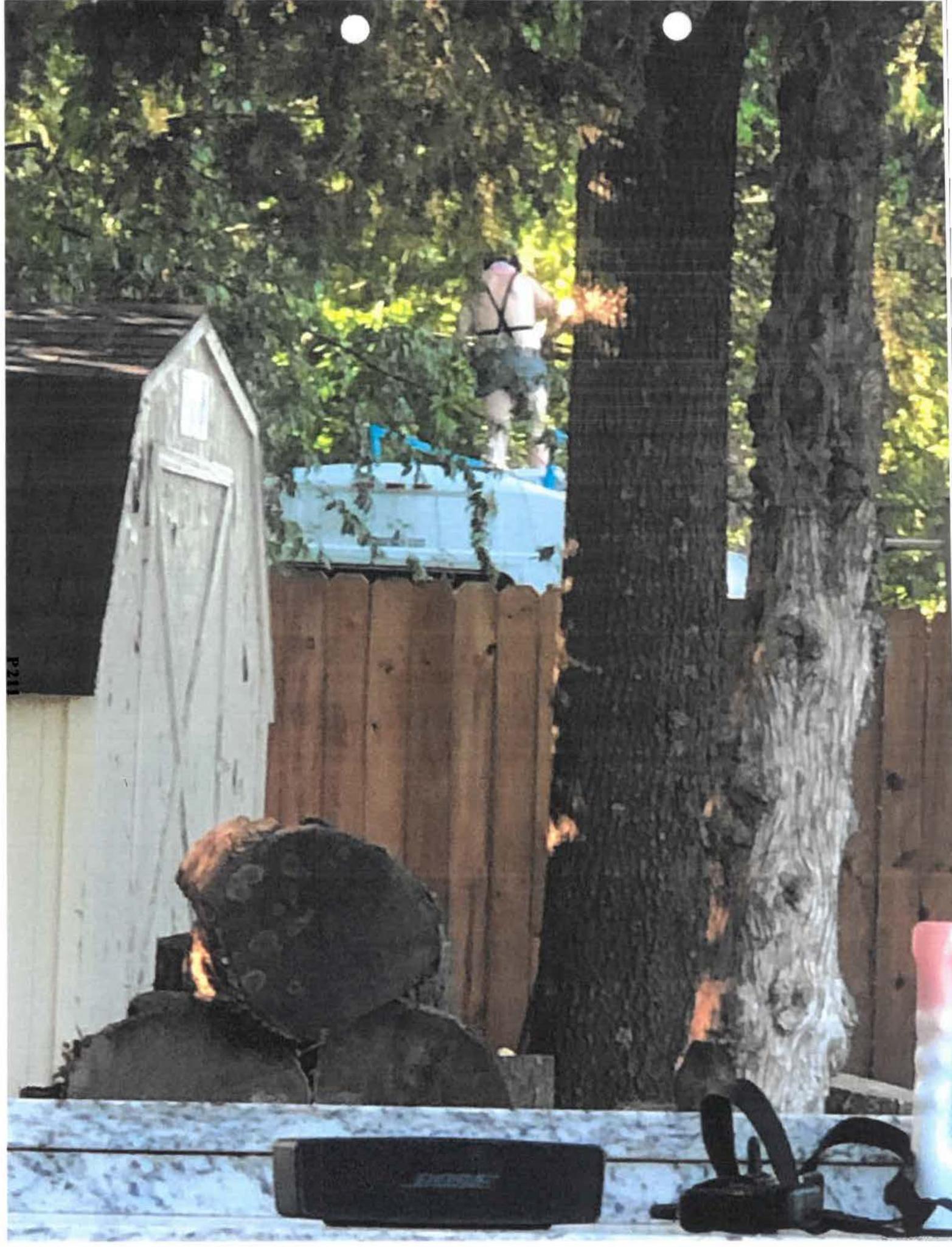


P 208





P210



**Debbie Pounders**

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**From:** Yvonne Blalock <yvonnebbci@gmail.com>  
**Sent:** Friday, May 29, 2020 9:57 AM  
**To:** dpounders@springdalear.gov  
**Cc:** Bill Burckart  
**Subject:** Sidewalk Waiver w/ Bill of Assurance

Hi Debbie,

I just spoke to Austin and he recommended I email you to ask that we be placed on the next meeting agenda.

I will be bringing the Bond Check to the Planning Department with in the hour.

The property is Lot 11 Sunset Ridge Springdale. Our address and my contact info are listed below. If there is anything more I need to do please let me know.

We had originally thought we needed to complete the Sidewalk Waiver Application but have been instructed that this is not needed at this time. Please advise if this is correct.

We are needing the Waiver for C of O at this time.

Thank you kindly,

*Ms. Yvonne Blalock*

**Burckart Construction Inc.**

**2111 SW Huntwick Av**

**Bentonville, AR 72713**

Accounting Manager

[yvonnebbci@gmail.com](mailto:yvonnebbci@gmail.com)

479 273-1881 Ofc

417 342-1298 Cell

P212

W20-07



0 25 50 100 150 200

Feet

For Location Reference Only

**FILE NO. W20-07**  
**APPLICANT: Burckart Construction, Inc**  
**REQUEST: Waiver of Sidewalk requirements**

PLANNING COMMISSION MEETING  
July 7, 2020

Date: June 06, 2020

To:  
Springdale Planning Commission  
Springdale, Arkansas

Dear Springdale Planning Commission,

I formally request a Subdivision Regulations Waiver for the proposed lot split at 3543 Monitor Rd, Springdale AR 72764. The proposed split is splitting the property into 2 tracts. One 5.7 acre tract and one 7.7 acre tract. It appears the property was last split in February 2001.

Sincerely,

*KD Hill*

KD Hill, President  
Hillside Ranch LLC



CITY OF SPRINGDALE  
201 SPRING STREET, ROOM 203  
SPRINGDALE, AR 72764  
479-750-8118

\*\*\* CUSTOMER RECEIPT \*\*\*

Batch ID: CITYCLERK      5/29/20 01      Receipt no:      5149

Type	SvcCd	Description	Amount
20		BONDS/COMPLETION	\$1575.00

BURCKART CONSTRUCTION INC  
ACCOUNTS PAYABLE /      10100002024000  
COMPLETION BOND - L11  
SUNSET RIDGE

CK Ref#:              17381              \$1575.00  
Total payment:              \$1575.00  
Trans date:      5/29/20      Time: 12:40:17

THANK YOU FOR YOUR PAYMENT

COPY

P214



0 40 80 160 240 320  
Feet  
For Location Reference Only

**FILE NO. W20-08**  
**APPLICANT: KD Hill**  
**REQUEST: Waiver of Sidewalk requirements**

PLANNING COMMISSION MEETING  
July 7, 2020

## Debbie Ponders

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**From:** Edgar Barrios <barriosedgar18@gmail.com>  
**Sent:** Friday, June 19, 2020 3:29 PM  
**To:** dpounders@springdalear.gov  
**Subject:** Sidewalk waiver

Hi Debbie!

I would like to request a waiver of sidewalk for my house that I plan to start building in the next few weeks in this address 8300 W Gibbs Rd, Springdale Arkansas 72762 with the parcel number 815 33683 400

I would like to request this waiver for the following reasons. One of the reasons is that there's no other property with sidewalk on this street, also my property is located on a corner lot with 471 feet frontage on W Gibbs Rd and 1,041 feet on Summer Rd that will required building many feet of sidewalk.

If you have any question or need more information you can call me to this Phone number (479)365-2732

Thank You!

P216

W20-09

